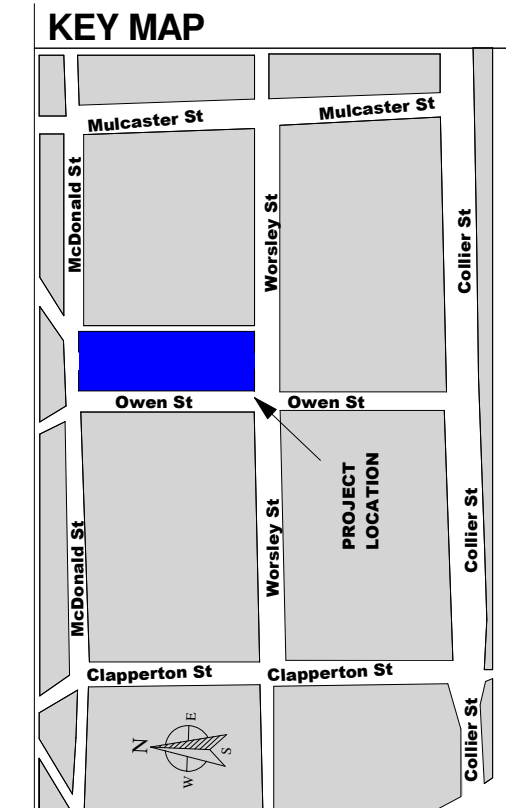
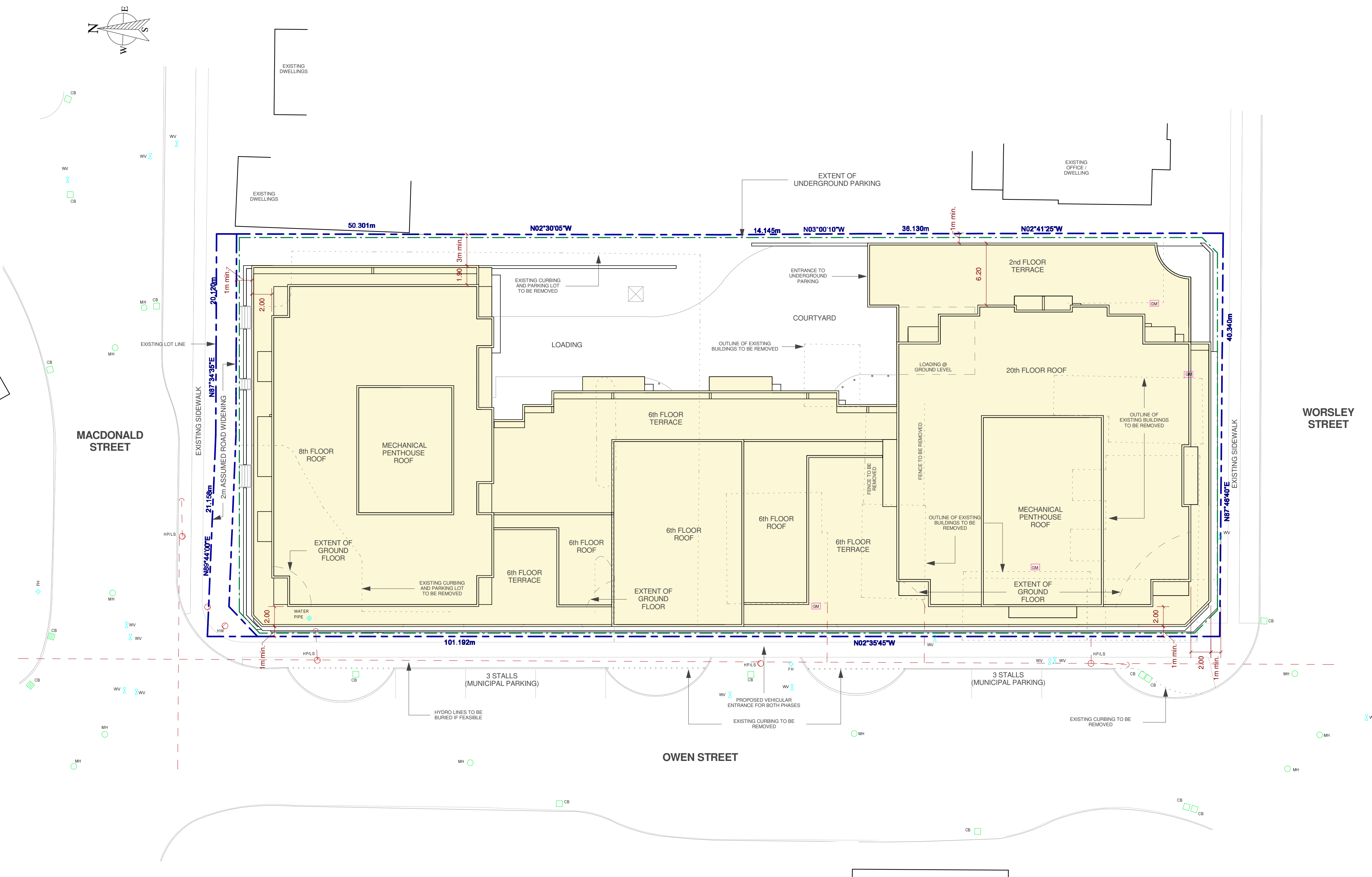


STATISTICS		
Gross Site Area		4053 ± m ²
Road Widening		85 ± m ²
Net Site Area		3968 ± m ²
GFA		27997 m ² approx.
Building Area		3,009 m ²
CRU		413 m ²
Unit Count	Residential	7 Townhouses, 300 Suites
	CRU	5 Units
Density		774 UPH
Parking	Resident	307 (1/Unit)
	CRU	19 (1/24m ²)
	Total	326 Spaces

ZONING STANDARDS MATRIX (C2-1)		
	REQUIRED	PROPOSED
LOT AREA	N/A	0.4ha
LOT FRONTAGE	N/A	40.3m
FRONT YARD SETBACK	N/A	1.0m
SIDE YARD ADJOINING STREET	3m + 0.5m/2m OF HEIGHT ABOVE 11m OF MAIN BUILDING	1m
SIDE YARD ADJOINING, RESIDENTIAL	6m + 0.5m/2m OF HEIGHT ABOVE 11m OF MAIN BUILDING	South = 1m / North = 3m
REAR YARD ADJOINING STREET	N/A	1.0m
LOT COVERAGE	N/A	75%
BELOW GRADE SETBACK	N/A	0m
GFA	400%	706%
BUILDING HEIGHT	C2-1 10m Within 5m of FRONT LOT LINE AND FLANKAGE 30M BEYOND 5m OF FRONT LOT LINE & FLANKAGE	South = 67m North = 29m
MIN. COVERAGE, COMMERCIAL	50%	10%
PARKING	C2-1 RES. 1.0/UNIT	1.0/UNIT
	C2-1 COMMERCIAL 1 SPACE/24 SM GROSS FLOOR AREA	19 Spaces



We Merchandise Space Ltd., and The Forrest Group are collectively, referred to as the Designer.
 This drawing, as an instrument of service, is provided by and is the property of the Designer.
 The Contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer of any variations from the supplied information.
 This drawing is not to be scaled.
 The Designer is not responsible for the accuracy of survey, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate Consultant's drawings before proceeding with the work.
 Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
 The Contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.
 The Designer retains ownership of copyright in all these drawings. You are granted a license to construct, reproduce, distribute, exhibit or otherwise use, said materials, in accordance with this agreement.
 It is expressly understood and agreed that no action, lawsuit or claim may be made against the employees, officers, or directors of We Merchandise Space Ltd., and The Forrest Group for any reason whatsoever.
 For greater clarity the Designer shall not be liable, directly or indirectly, in any manner whatsoever by any party by reason of the use of the drawings and materials referred to herein.



Site Plan (Scale: 1:250)

Utilities Legend	
	Hydro Pole with Lamp Standard
	Hydro
	Manhole
	Catch Basin
	Water Valve
	Fire Hydrant
	Gas Meter

ISSUES		
No.	Date	Description
1	11/14/17	Issued for Review
2	11/16/17	Issued for co-ordination
3	11/23/17	Revised
4	12/01/17	Issued for ZBA
5	12/08/17	Revised Issue for ZBA

FORREST GROUP
 ASSERTIVELY GREEN

590 Alden Rd., Suite 211
 Markham, Ont.
 Tel. 416.497.6776 Fax. 416.497.8974
 e-mail: bobfor@bobfor.com

www.forrestgroup.ca

CLIENT: Barrie Owen Service Inc. 590 Alden Rd Suite 211, Markham, ON		
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT, OWEN ST. BARRIE		
DRAWING: Concept Site Plan		
Designer: PR	Project number: 2489	DRAWING NO: A-01
Drawn by: LMG	Date: 11/23/2017	
Checked by: PR	SCALE: As indicated	