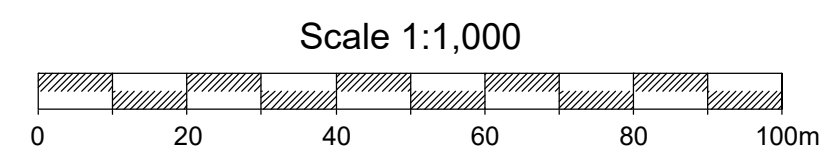


DRAFT PLAN OF SUBDIVISION

FERNDALE DRIVE NORTH & SPROULE DRIVE
PART OF LOT 23, CONCESSION 7
CITY OF BARRIE



LAND USE SCHEDULE

	BLOCKS	ha	ac	%
RESIDENTIAL	1	3.657	9.04	45.79
COMMERCIAL	2	2.086	5.15	26.12
STORMWATER MANAGEMENT	3	0.530	1.31	6.64
PARK	4	0.989	2.44	12.38
ROAD WIDENING	5	0.119	0.29	1.49
STREET	6	0.605	1.49	7.58
TOTAL	6	7.986	19.72	100

ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT

- a) SHOWN ON PLAN
- b) SHOWN ON PLAN
- c) SHOWN ON PLAN
- d) SHOWN ON PLAN
- e) RESIDENTIAL, COMMERCIAL & STORMWATER MANAGEMENT
- f) NONE
- g) SHOWN ON PLAN
- h) MUNICIPAL WATER
- i) TIOGA SANDY LOAM & MUCK
- j) SHOWN ON PLAN
- k) ALL MUNICIPAL SERVICES
- l) NONE

OWNER'S CERTIFICATE

I HEREBY AUTHORIZE INNOVATIVE PLANNING SOLUTIONS TO PREPARE THIS DRAFT PLAN OF SUBDIVISION AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION FOR APPROVAL.

DATE _____ PREVIN COURT HOMES SIGNING OFFICER

SURVEYOR'S CERTIFICATE

I CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN.

DATE _____ DINO ASTRIS SURVEYING LTD

SCHEDULE OF REVISIONS

No.	Date	Description	By
2	March 20, 2020	Revise SHM Block Limits; Update Land Use Schedule;	AS
1	March 12, 2020	Revise Block 6 street width; Update Land Use Schedule;	AS

IPS INNOVATIVE PLANNING SOLUTIONS
PLANNERS • PROJECT MANAGERS • LAND DEVELOPERS
647 WELHAM RD, UNIT 9A, BARRIE, ONTARIO, L4N 0B7
tel: 705 • 612 • 3281 fax: 705 • 612 • 3434 e: info@ipsconsultinginc.com www.ipsconsultinginc.com

Date: November 12, 2019 Drawn By: AS
File: 17-682 Reviewed By: GB