

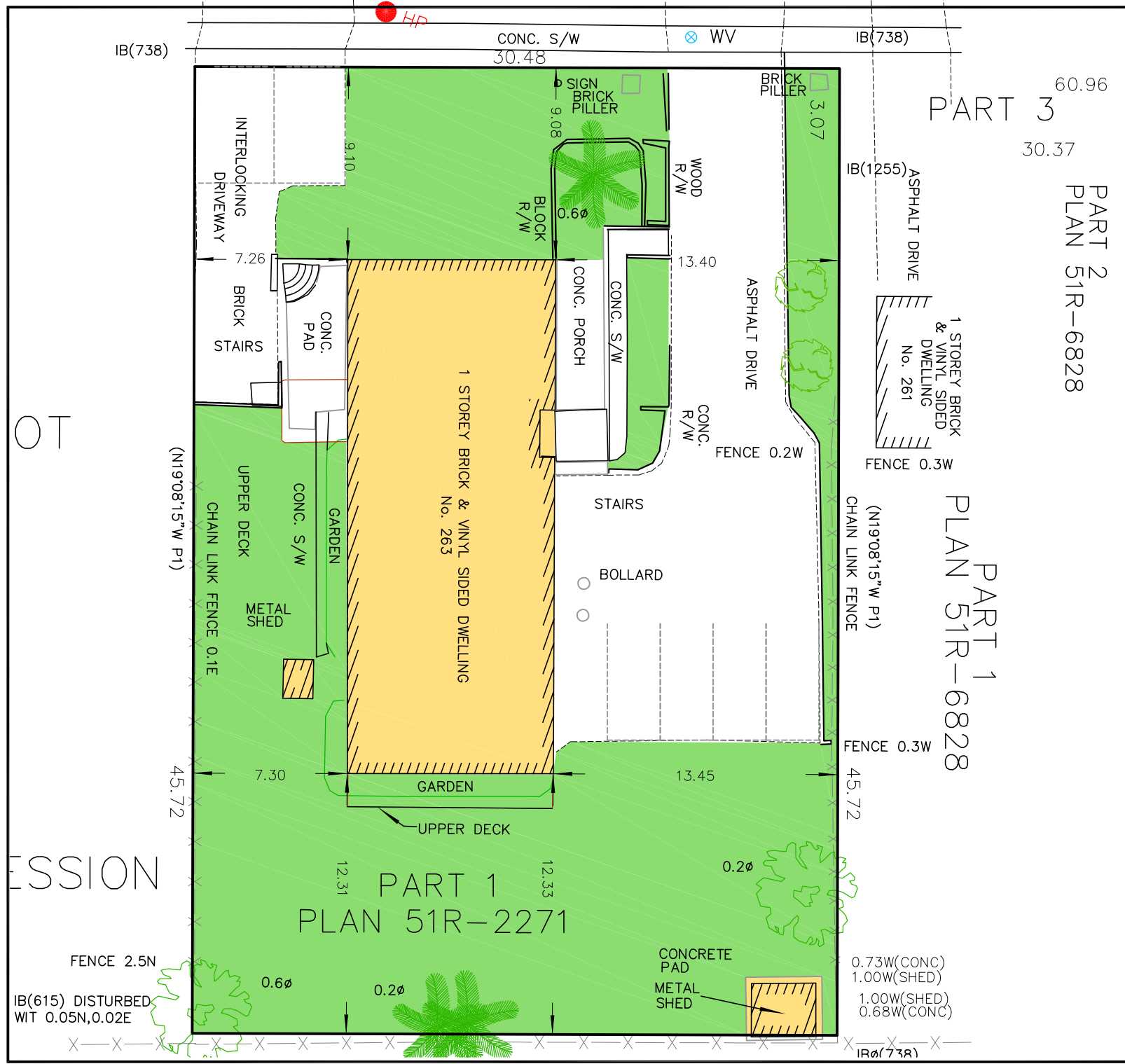
Site Plan  
263 Edgehill Drive  
City of Barrie

Figure 4



**Development Standard Table**

RM2(SP- ) Zone	Required	Provided
Minimum Lot Area	720m <sup>2</sup>	1393m <sup>2</sup>
Minimum Lot frontage	21m	30.48m
Minimum Front Yard Setback	7m	9.10m
Minimum East Side Yard Setback	1.8m	13.4m
Minimum West Side Yard Setback	1.8m	7.26m
Minimum Rear Yard Setback	7.0m	12.31m
Minimum Landscaped Open Space Percentage on Lot	35%	50%
Minimum Dwelling Unit Floor Area (1 bedroom)	45m <sup>2</sup>	45m <sup>2</sup> +
Maximum Lot Coverage	35%	18%
Maximum GFA as a % of Lot Area	60%	34.2%
Maximum Building Height	10m	7m
Minimum Parking Space Dimensions	2.7m x 2.7m x	5.5m x 5.5m
Minimum Parking Aisle Width	6.4m	5.4m
Minimum Percentage of Landscape in Front Yard	50%	61%
Minimum Full Curb between Landscape and Parking Space/ aisle	Yes	No
Maximum Front Yard Parking/ Driveway Coverage	50%	37%
Minimum Parking Space per Dwelling Unit	1.5	1
Multiple Dwelling Maximum	none	4max.



**GOODREID PLANNING GROUP**  
Goodreid Planning Group  
Development & Municipal Planning  
Brian J. Goodreid, MCIP, RPP  
Consulting Planner, Principal  
274 Burton Ave., Suite 1201, Barrie, Ontario, L4N 5W4  
Office 705-331-5717 Home 705-728-5132  
goodreidplanninggroup@gmail.com  
www.landplanningbarrie.ca