

SITE PLAN LEGEND	
	EXISTING SPOT GRADE
	NEW FINISH GRADE
	BORE HOLE (BH) TEST PIT (TP)
	HYD. YARD HYDRANT
	CB CATCH BASIN
	PEDESTRIAN ENTRY DOOR LOCATION
	SERVICE/OVERHEAD DOOR LOCATION
	B.F. PARKING STALL
	B.F. CURB CUT - WITH DETECTABLE GROOVES
	S.C. SIAMESE CONNECTION
	LS LIGHT STANDARD
	WALL MOUNTED LIGHT FIXTURE
	CJ CONTROL JOINT
	ASPHALT TYPE 1
	CONCRETE WALKWAY
	FH FIRE HYDRANT
	HP HYDRO POLE
	T TRANSFORMER
	PAINTED STOP BAR
	HB HOSE BIB
	LB LIGHT BOLLARD
	SITE FURNITURE
	MH MAN HOLE

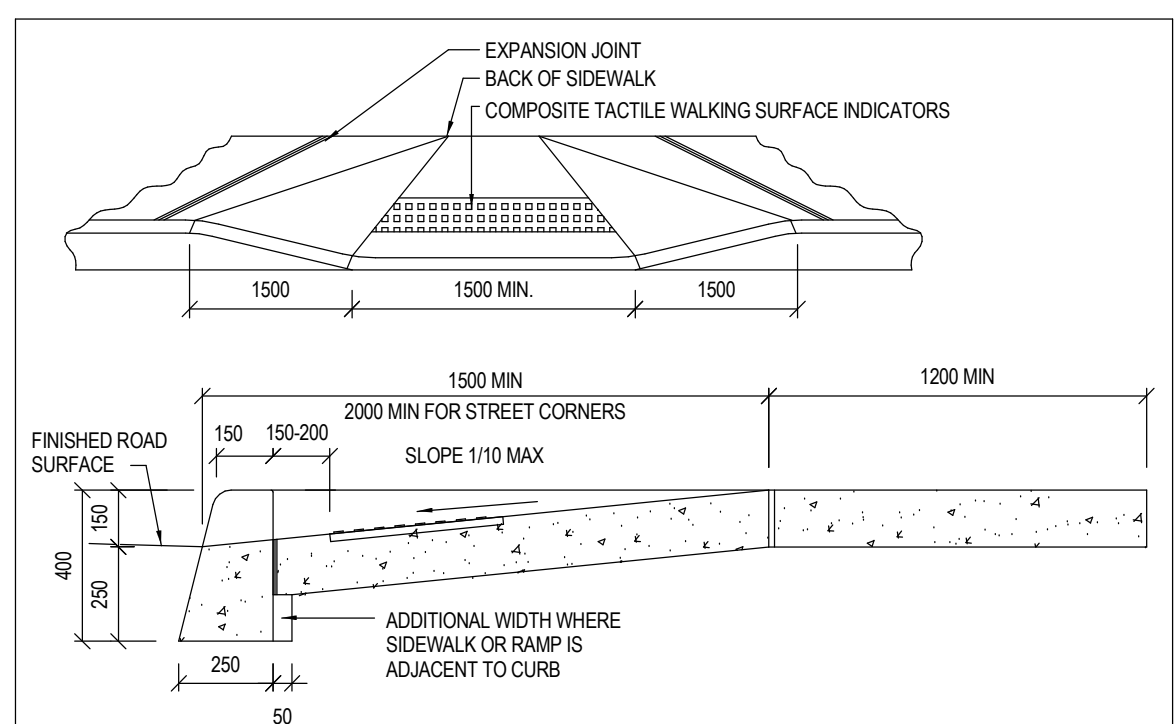
  

SIGN LEGEND	
	BARRIER FREE VAN PARKING SIGN
	BARRIER FREE PARKING SIGN
	STOP SIGN
	SNOW STORAGE SIGN

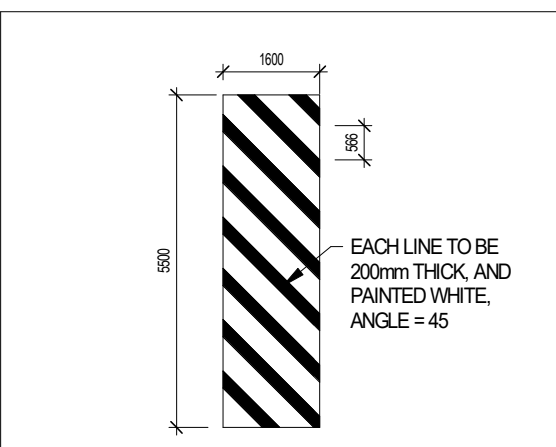
No.	REVISIONS	DATE
3.	SITE PLAN 2ND SUBMISSION	10/03/2019
2.	ISSUED FOR PERMIT	09/06/2019
1.	SITE PLAN APPLICATION	08/09/2019

ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE. DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. LATEST APPROVED STAMPED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

1 SITE PLAN  
A1.1 1 : 200



2 FLUSH CURB DETAIL  
A1.1 1 : 20

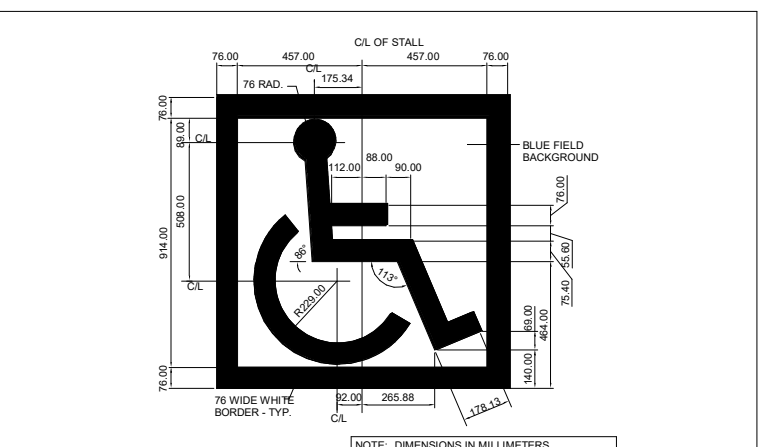


**BARRIER FREE PARKING AISLE, CROSSWALK (CW) AND NO PARKING AREA (NPA) DETAIL (TYP.)**

NOTE:

- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL CONFORM TO THE ONTARIO TRAFFIC MANUAL.
- PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE PAINTED WHITE AND CONFORM TO OPS 17.12.
- PAIN COLOR SPECIFIED ON DRAWING. PAINT TO BE QUICK DRYING WATER BASED LATEX PAINT (WITHOUT GLASS BEADS)

3 B.F. PARKING  
A1.1 1 : 125



**BARRIER FREE PARKING STALL PAINT MARKING**

REFER TO THE ONTARIO TRAFFIC MANUAL FOR ALL SIGNAGE AND PAVEMENT MARKINGS DETAILS UNLESS NOTED OTHERWISE.

PROPOSED SIGN & DESIGNATION

368-376 ESSA ROAD		
SITE STATISTICS	REQUIRED	PROPOSED
LOT AREA (ORIGINAL)	1300 SM	3,801 SM (0.38 Ha)
LOT FRONTAGE	30.0 M	69.5 M
FRONT YARD SETBACK	5.2 M MIN. PER SP-532	5.2 M
INTERIOR SIDE YARD SETBACK	5.0M MIN. (7.0 M AT SUITE WALKOUT)	8.695 M
REAR YARD SETBACK	4.4 M MIN. PER SP-532	4.5 M
LOT COVERAGE	35% MAX.	24.2% (920.6 SM)
LANDSCAPED AREA	35% MIN.	1,873 SM = 49.3%
PAVED AREA		1040 M
HEIGHT OF BUILDING	30.0 M MAX.	20.0 M
RESIDENTIAL DWELLING UNITS	N/A	69
PARKING SPACES (1.15 PER UNIT -SP-532)	80 SPACES	89
BARRIER FREE PARKING SPACES	4 SPACES	5
GFA	200% LOT AREA MAX.	5,672 SM = 149%
PARKING PAVED AREA	35% MAX.	1,062 SM = 28%

UNIT STATS		
RESIDENTIAL DWELLING UNITS	GROUND FLOOR	69 TOTAL
	2ND-6TH FLOORS	9 UNITS
UNIT TYPES	1 BEDROOM UNITS	12 UNITS/FLOOR
	2 BEDROOM UNITS	59 UNITS
		10 UNITS
		MIN. AREA: 57.8 SM
		MIN. AREA: 86.0 SM

**MCL ARCHITECTS**  
MCKNIGHT CHARRON LIMITED

45 ALLIANCE BLVD. UNIT 110  
BARRIE, ONTARIO L4M 9K3  
WWW.MCLARCHITECTS.CA

T 705 726 6739  
F 705 726 5418

PROJECT TITLE:  
**SITE PLAN**

PROJECT NAME:  
**THE BEACON CONDOMINIUMS**

368-376 ESSA ROAD, BARRIE, ON.

DATE:	PROJECT #:	SHEET #:
OCTOBER 01, 2019	-	A1.1
DRAWN BY:	SCALE:	
KB	As indicated	