



July 14, 2017

JDE Project 1519

**Sean Mason Homes (Essa Road) Inc.**  
405 Essa Road  
Barrie, ON L4N 9C8

**RE: Traffic Impact Study - Addendum  
369, 379, 401 & 405 Essa Road Development, City of Barrie**

This letter was prepared by **JD Northcote Engineering Inc.** [JD Engineering] for the account of **Sean Mason Homes (Essa Road) Inc.** [Developer].

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of such third parties. JD Engineering accept no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this project.

### **1.0 BACKGROUND**

JD Engineering has been retained by the Developer to prepare an addendum to the Traffic Impact Study (dated August 28<sup>th</sup>, 2015) by JD Engineering [TIS]. The purpose of this letter is to assess the impact of an additional expansion of the proposed development and provide recommendations to ensure the revised future traffic can be accommodated in an acceptable manner.

### **2.0 PROPOSED DEVELOPMENT REVISIONS**

The TIS included a review of 125 townhouse units for Phase 1 and 2 of the development, which encompassed 369, 379 and 401 Essa Road. Subsequently, an additional lot has been added (405 Essa Road), which will be referred to as Phase 3. The revised plan (attached in Appendix) includes a total of 104 townhouse units in Phase 1 and 2, plus 12 stacked townhouse units and 4 standard townhouse units in Phase 3.

The proposed location of the site access and the internal driveway network has not changed. A driveway extension is proposed at the south end of Phase 2, which will service the units in Phase 3.

### **3.0 TRAFFIC IMPACT ANALYSIS**

The total number of townhouse units currently proposed (120 units) is less than the number of units reviewed in the TIS (125 units); consequently, the analysis and recommendations provided in the TIS remain valid for the new proposed development plan.

The proposed driveway connection in Phase 3 will operate efficiently as an unsignalized driveway access with one-way stop control for northbound (egress) movements.



**JD Engineering**  
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We trust that you find this letter satisfies your requirements.

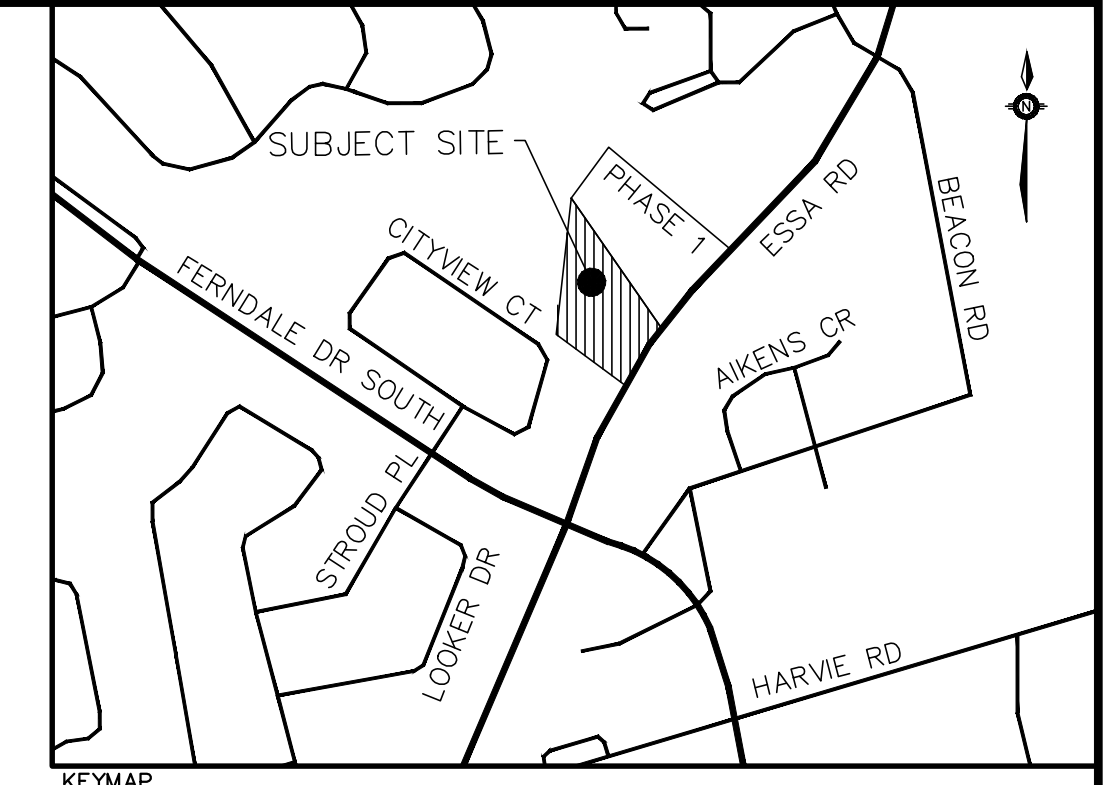
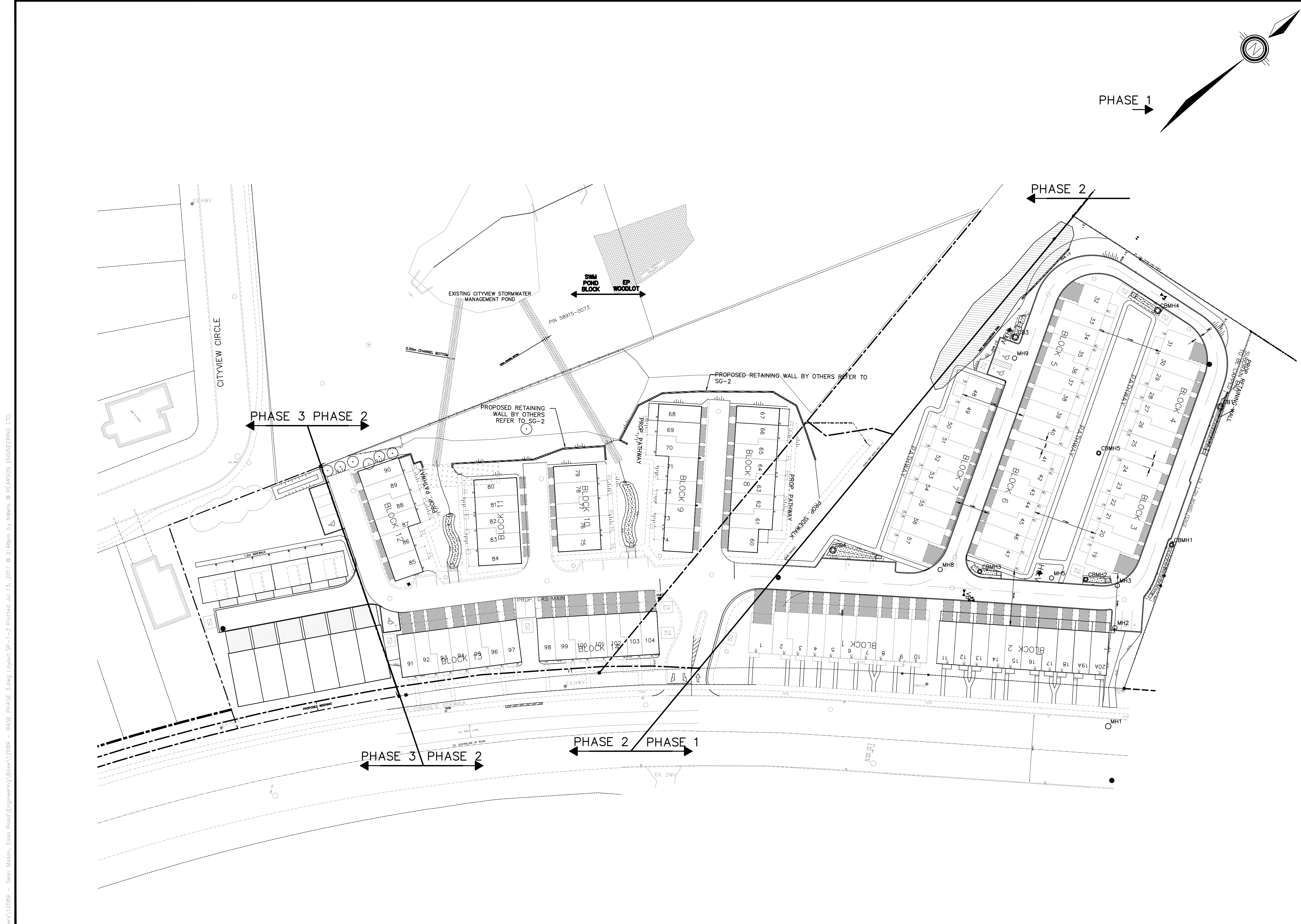
Yours truly,  
**JD Northcote Engineering Inc.**

A handwritten signature in blue ink, appearing to read 'John Northcote', is positioned above the typed name.

John Northcote, P.Eng.  
President

## Appendix





- LEGEND**
- PROPOSED SANITARY MANHOLE
  - CB PROPOSED CATCH BASIN
  - ⊙ CBMH PROPOSED CATCH BASIN MANHOLE
  - MH PROPOSED STORM MANHOLE
  - SERVICE CAP
  - ◆ HYD. FIRE HYDRANT
  - ⊕ WV WATER VALVE
  - ⊙ EX.CS EXISTING CURB STOP
  - EX.SMH EX. SANITARY MANHOLE
  - EX.MH EX. STORM MANHOLE
  - EX.CB EX. CATCH BASIN
  - 255.92 PROPOSED ELEVATION
  - 255.92 EXISTING ELEVATION
  - 1.5% PROPOSED DIRECTION AND GRADE
  - ▼ DOOR LOCATION
  - PROPOSED BARRIER CURB AND GUTTER (OPSD 600.040)
  - PROPOSED ROLLOVER CURB AND GUTTER (OPSD 600.100)
  - PROPOSED BIO RETENTION TRENCH

**SNOW STORAGE**  
 THERE WILL BE NO SNOW STORAGE ON SITE. ALL SNOW CLEARED FROM ROADWAYS WILL BE REMOVED FROM THE SITE.

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF SEAN MASON HOMES LOCATED AT 405 ESSA ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

**BENCHMARK**  
 THE SITE BENCHMARK IS LOCATED ON THE TOP FIRE HYDRANT LOCATED IN FRONT OF NO. 379 ESSA ROAD HAVING AN ELEVATION OF 311.26 METERS.

**ELEVATIONS**  
 ELEVATIONS HERE ON ARE GEODETIC IN ORIGIN AND ARE REFERRED TO VERTICAL CONTROL MONUMENT NO. 00819688097 HAVING AN ELEVATION OF 252.746 METERS.

NO.	REVISION	NOTE	DATE	BY

**HORIZONTAL CONTROL MONUMENTS**  
 03120040021 IS LOCATED AT THE BACK OF THE SIDEWALK ON THE SOUTH-WEST CORNER OF ESSA ROAD AND FERDALE DRIVE SOUTH. NOTE: A PROTECTIVE WATER VALVE COVER HAS BEEN PLACED OVER MONUMENT CAP.  
 U.T.M. COORDINATES: ZONE 17 NAD 83 EASTING METRES NORTHING METRES GEOGRAPHIC COORDINATES: LATITUDE 44-20-48.37885 NORTH LONGITUDE 79-42-16.45556  
 03120040050 IS LOCATED AT THE CURB LINE ON THE NORTH SIDE OF ESSA ROAD, APPROXIMATELY 0.5KM NORTH OF FERDALE DRIVE SOUTH ON THE WEST SIDE OF ENTRANCE TO 4379 ESSA ROAD. NOTE: A PROTECTIVE WATER VALVE COVER HAS BEEN PLACED OVER MONUMENT CAP.  
 U.T.M. COORDINATES: ZONE 17 NAD 83 EASTING METRES NORTHING METRES GEOGRAPHIC COORDINATES: LATITUDE 44-20-57.07023 NORTH LONGITUDE 79-42-09.43567

**VERTICAL CONTROL MONUMENTS**  
 WATER RESERVOIR ON HARVIE RD 0.5 KM EAST OF VETERANS DRIVE THE VERTICAL CONTROL MONUMENT IS SET FLUSH IN THE SOUTH END OF THE EAST WING WALL TO THE WATER RESERVOIR. THE TABLET IS CENTERED IN THE WALL AND 90 CM BELOW THE TOP OF THE WALL.  
 EASTING 4033003 METRES NORTHING 4911651 METRES  
 HOLLY MEADOWS ELEMENTARY SCHOOL - 151 MAPLETON AVE THE VERTICAL CONTROL MONUMENT IS SET FLUSH IN THE CORNER OF THE MOST NORTHERLY WALL TO SCHOOL. THE TABLET IS 80 MM BELOW THE BRICK WORK AND 79 CM WEST OF THE NORTH-EAST CORNER. NOW LOCATION HAS BEEN BURIED WITHIN A GARDEN.  
 EASTING 622476 METRES NORTHING 4910401 METRES

SEAN MASON HOMES – PHASE 3  
 405 ESSA ROAD  
 CITY OF BARRIE

**PEARSON ENGINEERING LTD.**  
 PEARSONENG.COM PH. 705.719.4785

DESIGNED BY	MWD/AMC	HORIZ SCALE	1:500	PROJECT #	12089.02
DRAWN BY	AMC	VERT SCALE	AS SHOWN	DRAWING #	SP-1
CHECKED BY	MWD/GMP	DATE	MARCH 2017	REVISION #	0

P:\Aurora\sk\Working\Folders\2089 - Sean Mason, Essa Road\Engineering\Bases\2089 - BASE PHASE 3.dwg Layout:SP-1-3 Plotted Jul 13, 2017 @ 2:48pm by N.Wells @ PEARSON ENGINEERING LTD.