

- Legend:**
- EXISTING FEATURES (EX)**
- EX SIB EX STD IRON BAR
  - EX IB EX IRON BAR
  - EX MAILBOX EX MAILBOX
  - EX UP EX UTILITY POLE
  - EX BELL PED
  - EX HYDRO TRANSFORMER
  - EX WS EX WATER SERVICE
  - EX HYD EX FIRE HYD.
  - EX WV EX WATER VALVE
  - EX ST NAME SIGN
  - EX STOP SIGN
  - EX ELEVATION
  - EX FENCE
  - EX U/G GASMAIN
  - EX U/G BELL
  - EX O/H HYDRO
  - EX WATERMAIN & VALVE
  - EX 000mm SAN @ 0.0%
  - EX 000mm STM @ 0.0%
  - EX SAN SEWER & MH
  - EX STM SEWER & MH

- PROPOSED FEATURES (PR)**
- NS PR STREET NAME SIGN
  - SS PR STOP SIGN
  - SF PR SILT FENCE
  - SL PR STREET LIGHT
  - WS PR WATER SERVICE
  - SS PR SAN SERVICE
  - STM PR STM SERVICE
  - HYDRO PR HYDRO TRANSFORMER
  - W/M PR WATERMAIN
  - HYDRANT & VALVE PR FIRE HYDRANT
  - WV PR WATER VALVE
  - 0m-000mm SAN @ 0.0% PR SAN SEWER
  - 0m-000mm STM @ 0.0% PR SANITARY MANHOLE
  - CBMH 1 PR STM SEWER
  - MH 1 PR CATCHBASIN MANHOLE
  - CB 1 PR MANHOLE
  - LCB 1 PR CATCHBASIN
  - 000.00 PR LANDSCAPE CATCHBASIN
  - 000.00 PR ELEVATION
  - 000.00 PR MATCH EXISTING ELEVATION (INTERPOLATED)
  - 0.0% PR SLOPE
  - SW PR SWALE
  - DC PR DEPRESSED CURB
  - LS PR LINEAR LID STORM SEWER
  - FB PR FIRE BREAK LINE

- GENERAL NOTES:**
- BASEPLAN INFORMATION OBTAINED FROM THE SITE PLAN PREPARED BY INNOVATIVE PLANNING SOLUTIONS.
  - EXISTING SERVICES INFORMATION OBTAINED FROM CITY OF BARRIE DRAWINGS AND SERVICE LOCATE SHEETS.
  - ALL SWALES ARE 0.15m DEPTH WITH 3:1 SIDE SLOPES UNLESS OTHERWISE NOTED.

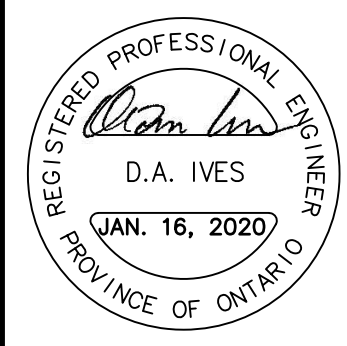
- GRADING NOTES:**
- PROVIDE POSITIVE DRAINAGE WITH MINIMUM 1.0% SLOPES TO ALL CATCHBASINS.
  - ALL SWALES ARE 0.15m DEPTH WITH 3:1 SIDE SLOPES UNLESS OTHERWISE NOTED.
  - MUNICIPAL BOULEVARDS ARE TO BE RE-INSTATED TO EXISTING CONDITION OR BETTER (MIN. 100mm TOPSOIL AND SOD).
  - CONSTRUCTION OF THE LANDSCAPE L.L.D. FACILITIES IS TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND LANDSCAPE CONTRACTOR.

**CAUTION**  
CONTRACTOR TO DETERMINE  
LOCATION OF EXISTING UTILITIES  
PRIOR TO CONSTRUCTION.

**Notes:**

- Unless noted otherwise, the measurements and distances shown on this drawing are shown in meters.
- Do not scale drawings.
- It is the contractor's responsibility to verify all dimensions, levels and datums on site and report any discrepancies or omissions to WMI & Associates Ltd. prior to construction.
- This drawing is to be read and understood in conjunction with all other relevant documents applicable to this project.
- This drawing is the exclusive property of WMI & Associates Ltd. and the reproduction of any part of this document without prior written consent is strictly prohibited.

**Benchmark:** 237.11m  
Top nut of hydrant located between #46 and #48 Patterson Road on the east side of Patterson Road.



No.	Issue / Revision	Date
1	1ST SUBMISSION	July 12, 2019
2	2ND SUBMISSION	OCT. 22, 2019
3	3ND SUBMISSION	JAN. 16, 2020

**Client:**  
46-56 PATTERSON ROAD  
LOT GRADING PLAN

**Client:**  
Farrage Developments Inc.  
185 Goulding Avenue  
Toronto, Ontario  
M2R 2P3

Drawn By: JA	Checked By: DAI	Drawing No. LGR
Scale: 1:200	Project No: 17-428	