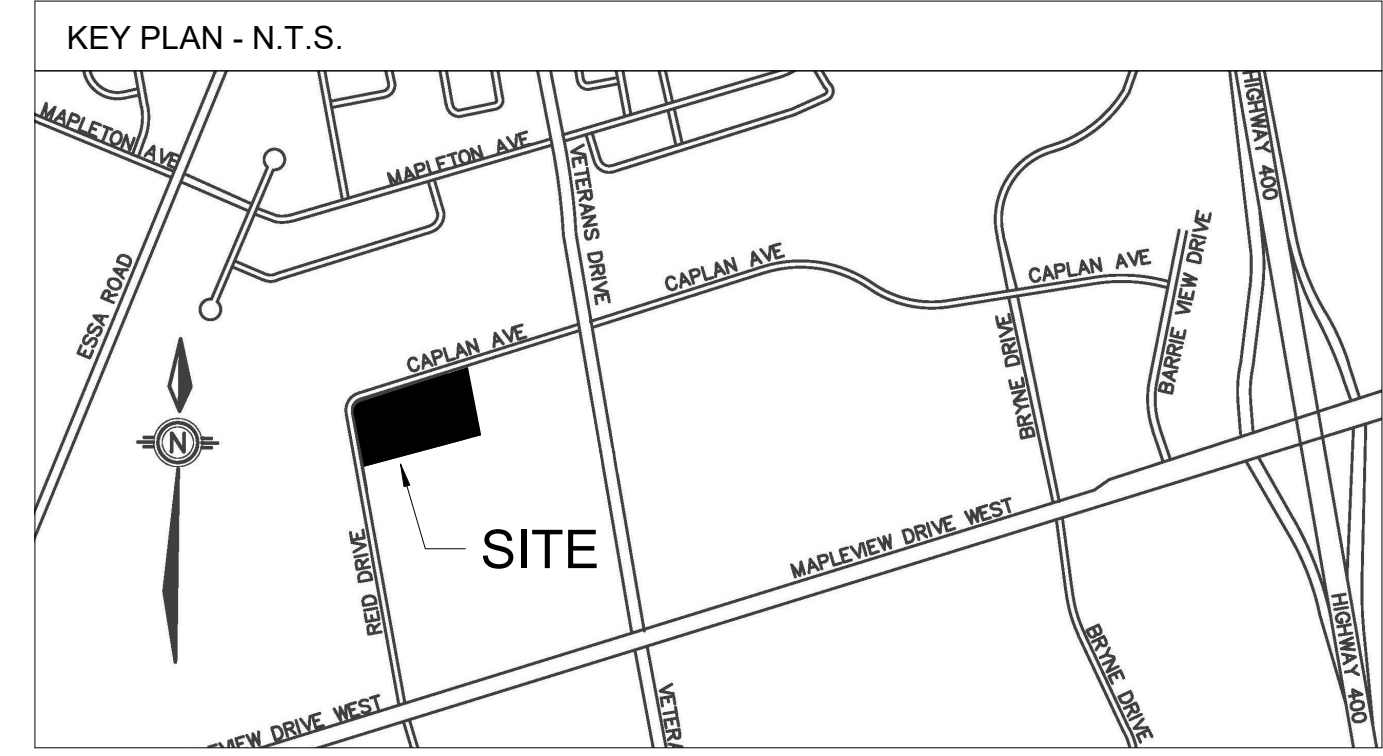


SITE LEGEND	
	ENTRY/EXIT DOOR
	OVERHEAD DOOR
	ASHPALT AREA
	LANDSCAPE BUFFER AREA
	LANDSCAPING AREA
	NO PARKING AREA (PAINTED LINES)
	CONCRETE SIDEWALK
	BARRIER FREE ROLLOVER CURB
	TACTILE ATTENTION INDICATOR (TIA)
	CROSSWALK

PARKING LEGEND				
TABLE 4.6 USE: OTHER - 1 PER 30sm TOTAL GROSS AREA = 6948.8sm				
ASSUMED FUTURE USE	% OF BUILDING	AREA	REQUIRED SPACES	PROVIDED
WAREHOUSE	100%	6948.8sm	1/11000sm GFA = 7	
			TOTAL REQ. = 7	105 PROVIDED (INCLUDING 5 BARRIER FREE SPACES)
PARKING SIZES STANDARD SIZE - 90 DEGREES = 2.7m x 5.5m W/6.4m AISLE				
BARRIER FREE PARKING: OVER 100 SPACES = 1 + 3% REQUIRED REQUIRED = 1+(105x0.03) = 5 (2 TYPE A, 3 TYPE B)				
TYPE A SPACE = 3.4m x 5.5m WITH 1.5m AISLE, TYPE B SPACE = 3.1m x 5.5m WITH 1.5m AISLE, AISLES MAY BE SHARED				
LOADING REQUIREMENTS SIZE: MIN 3m x 9m (4m VERTICAL CLEARANCE) 3000sm-7499sm = 2 SPACES ASSUMED TRUCK LOADING SPACES: 27 PROVIDED				

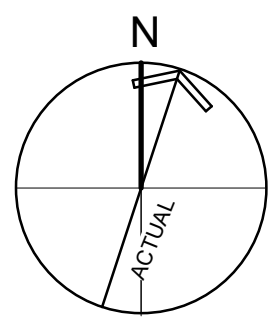
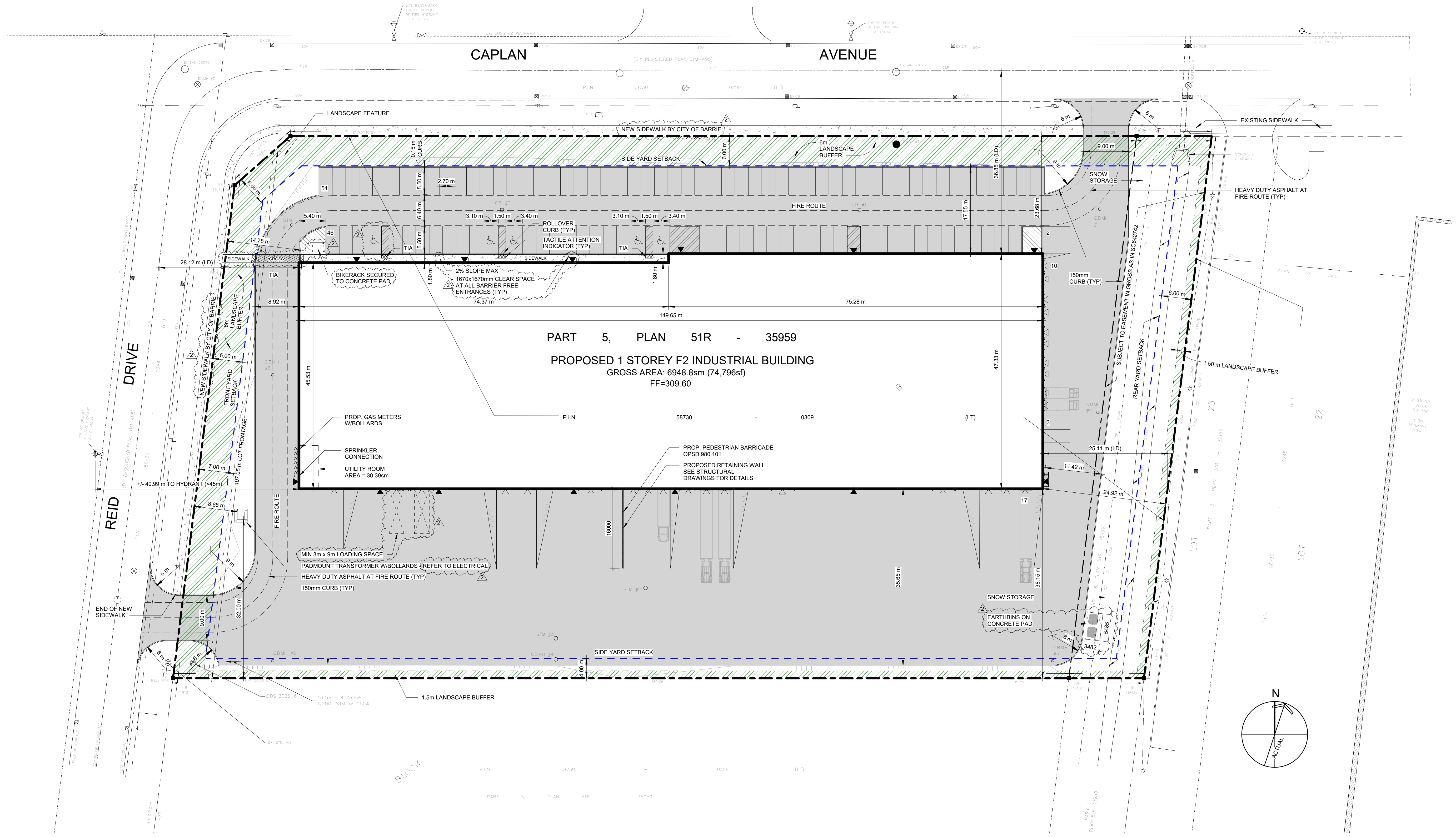
CITY OF BARRIE ZONING BY-LAW 2014-44

ZONING LEGEND		
ZONE	BP (SP-338) - BUSINESS PARK	
USE	FUTURE MANUFACTURING/ PROCESSING/ WAREHOUSING IN WHOLLY ENCLOSED BUILDING (F2)	
STANDARDS	REQUIRED/PERMITTED	PROVIDED
LOT AREA (MIN)	1300sm	21272.3sm
LOT FRONTAGE (MIN)	30m	107.05m
FRONT YARD	6m(MIN)	14.78m
SIDE YARD (NORTH)	6m	23.68m
SIDE YARD (SOUTH)	4m	38.15m
REAR YARD	6m	24.52m
LANDSCAPE BUFFER	6m* (AT STREET) 1.5m	SEE PLAN
LOT COVERAGE (MAX)	AT ALL OTHER LOT LINES	32.7%
HEIGHT OF MAIN BUILDING	50% max	10m
CONSERVATION AUTHORITY REGULATION: (NVCA) N/A		
* MIN 50% OF FRONT YARD (>50% PROVIDED)		



GENERAL NOTES:
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. REPRODUCTION OF DRAWINGS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE ALL STRUCTURAL, MECHANICAL AND ELECTRICAL WORK.

NO.	DESCRIPTION	DATE
1	Issued for Site Plan Application	Dec 22/20
2	Site Plan Revisions	Mar 22/21



1 Site
1:400

STUDIO HOFFMAN
177 COOK STREET
BARRIE ONT
705.241.7835

CAPREID Inc.
1 Reid Drive
Barrie, ON

Site Plan

DRAWN BY	EMH
CHECKED BY	EMH
SCALE	As Indicated
PROJECT #	202011

A1.1