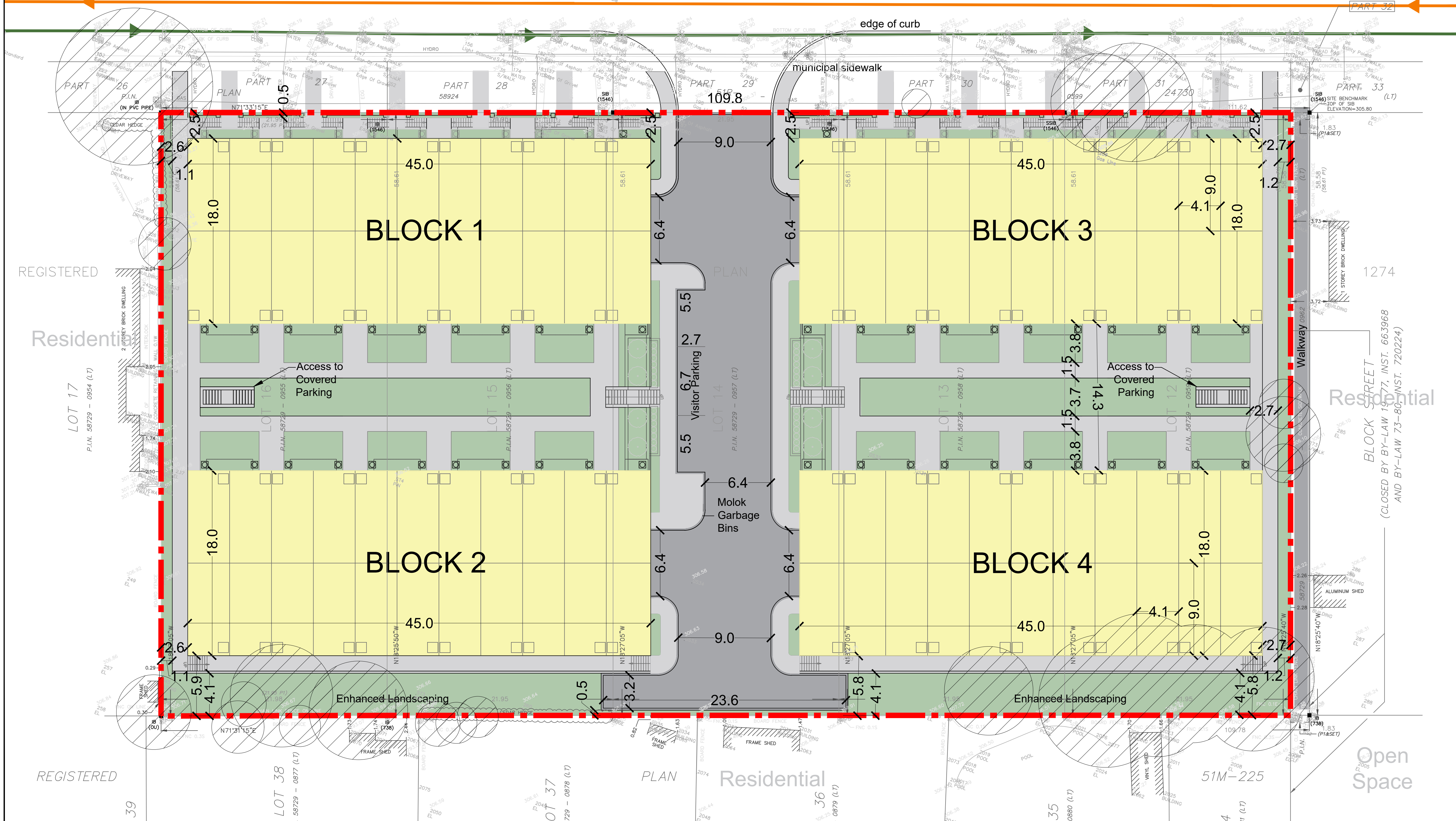




Residential

MAPLEVIEW DR. WEST

MAPLEVIEW DRIVE WEST
(ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 11 AND 12)



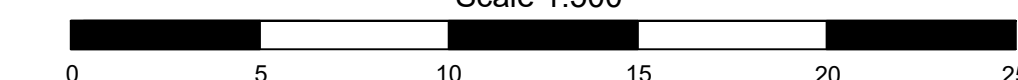
KEY MAP Scale: 1:5,000



CONCEPTUAL SITE PLAN

Concession 11 Plan 1274,
Part Lot 12, 13, 14, 15 & 16,
City of Barrie,
County of Simcoe

Scale 1:500



LEGEND

- SUBJECT LANDS (6437.8m² / 0.64ha)
- WATER SERVICES
- BACK TO BACK TOWNHOUSES (88 Units (4.3m x 9.0m))
- SANITARY SERVICES
- EXISTING TREES
- STORM SERVICES

ZONING TABLE: RM2

Provisions	Required	Provided
Lot Area (min.)	720.0m ²	6,437.8m ² (0.64ha)
Lot Frontage (min.)	21.0m	109.8m
Front Yard (min.)	7.0m	2.5m - building 0.5m - stairs/open porch
Interior side yard (min.)	1.8m	2.6m
Exterior side yard (min.) (5.3.3.2 a)	3.0m	N.A.
Rear Yard (min.)	7.0m	5.8m - building 4.1m - stairs/walkway
Landscaped open space (min. % of lot area)	35%	40%
Dwelling unit floor area (min.)	35.0m ² / dwelling unit + 10.0m ² / bedroom	> 35.0m ² / dwelling unit + 10.0m ² / bedroom
Lot Coverage ⁽¹⁰⁾ (max. % of lot area)	35%	58% (incl. balconies)
Gross floor area (max. % of lot area)	60.0%	152%
Height of Main Bldg. (max.)	10.0m	15.0m (covered parking, 3 storeys, rooftop patio)
Densities (max.) (5.2.5.1 a.)	40 units/ha	138 units/ha
Amenity Area (min.) (5.2.5.2)	1,056m ² (12m ² / unit)	> = 1,056.0m ² (balcony & rooftop)
Amenity Area (min.) (5.2.5.2)	Consolidated	Unconsolidated
Parking (5.2.9.2)	132 PS (1.5 parking space/unit) with 2 Type A & 3 Type B Barrier Free Parking	167 parking spaces (incl. 44 tandem spaces) with 4 Type 'A' and 4 Type 'B' Barrier Free Parking
Tandem Parking (5.2.9.2)	Not Permitted	Permitted
Landscape Buffer (5.3.7.1)	3m	0.5m
Air Conditioner (5.3.3.1 g.)	prohibited in a Front Yard, except in the case of back-to-back townhouses where an air conditioner in a Front Yard shall be effectively screened from any street	Located in the front yard, and screened from the street

Source: Boundary and Topographic Survey, Rudy Mak Surveying, June 2020
Note: Information shown is approximate and subject to change.

CONCEPTUAL SITE PLAN - 88 UNITS

407 - 419 MAPLEVIEW DR. W - BARRIE

SCHEDULE OF REVISIONS

No.	Date	Description	By

IPS INNOVATIVE PLANNING SOLUTIONS
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Date: June 15, 2020 Drawn By: V.S. / A.S.
File: 18-813 Checked: D.V.