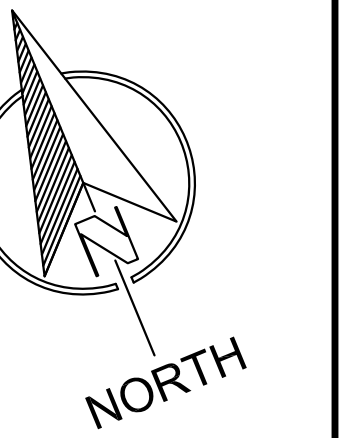


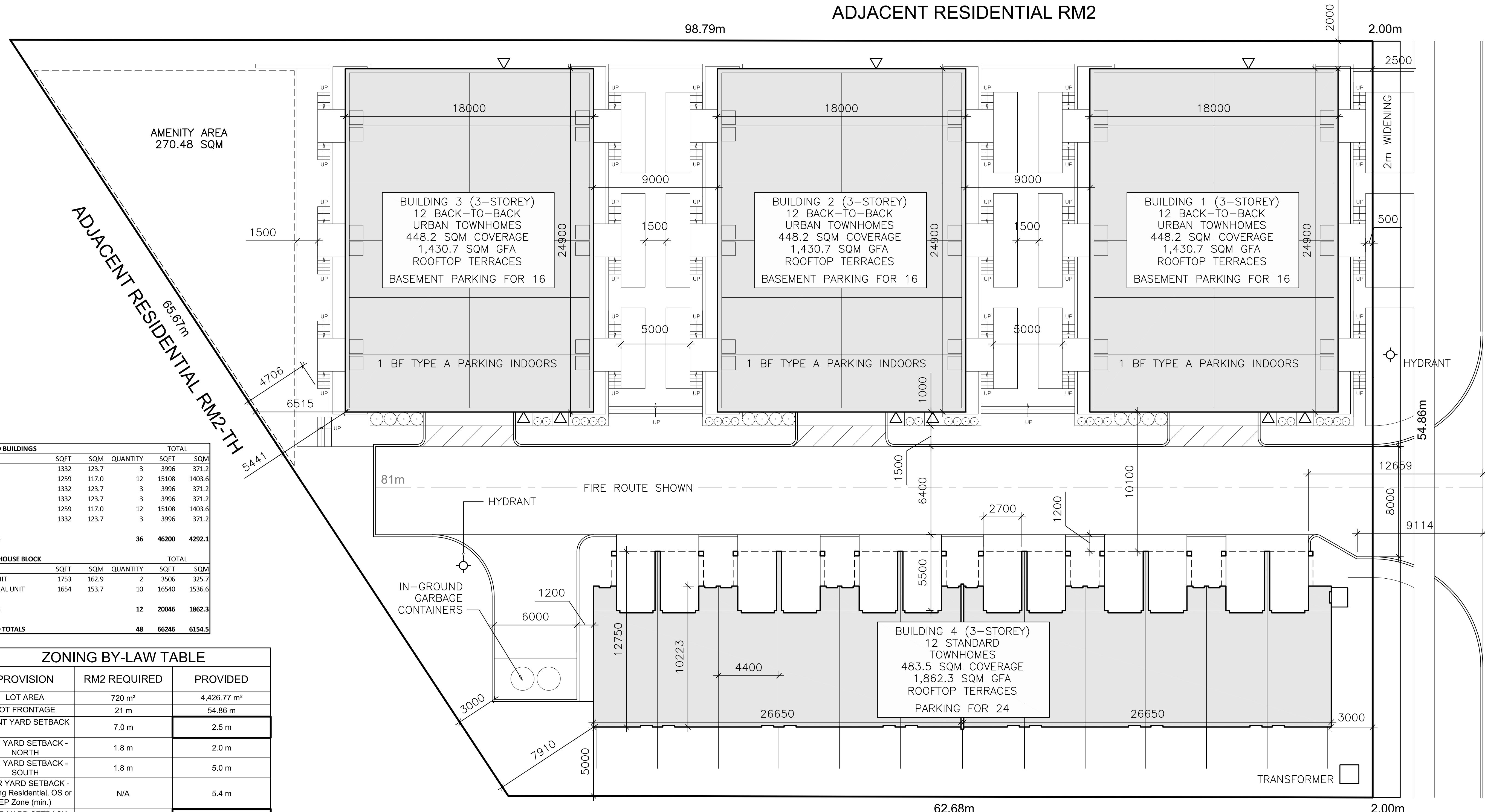
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Do Not Scale This Drawing
This drawing shall not be used for construction purposes unless counterchecked.
Patrick Markus Luckie Architect



ADJACENT RESIDENTIAL RM2



ESSA ROAD

CONDO BUILDINGS					TOTAL	
MODEL	SQFT	SQM	QUANTITY	SQFT	SQM	
A	1332	123.7	3	3996	371.2	
B	1259	117.0	12	15108	1403.6	
C	1332	123.7	3	3996	371.2	
D	1332	123.7	3	3996	371.2	
E	1259	117.0	12	15108	1403.6	
F	1332	123.7	3	3996	371.2	
TOTALS			36	46200	4292.1	

TOWNHOUSE BLOCK					TOTAL	
MODEL	SQFT	SQM	QUANTITY	SQFT	SQM	
END UNIT	1753	162.9	2	3506	325.7	
INTERNAL UNIT	1654	153.7	10	16540	1536.6	
TOTALS			12	20046	1862.3	

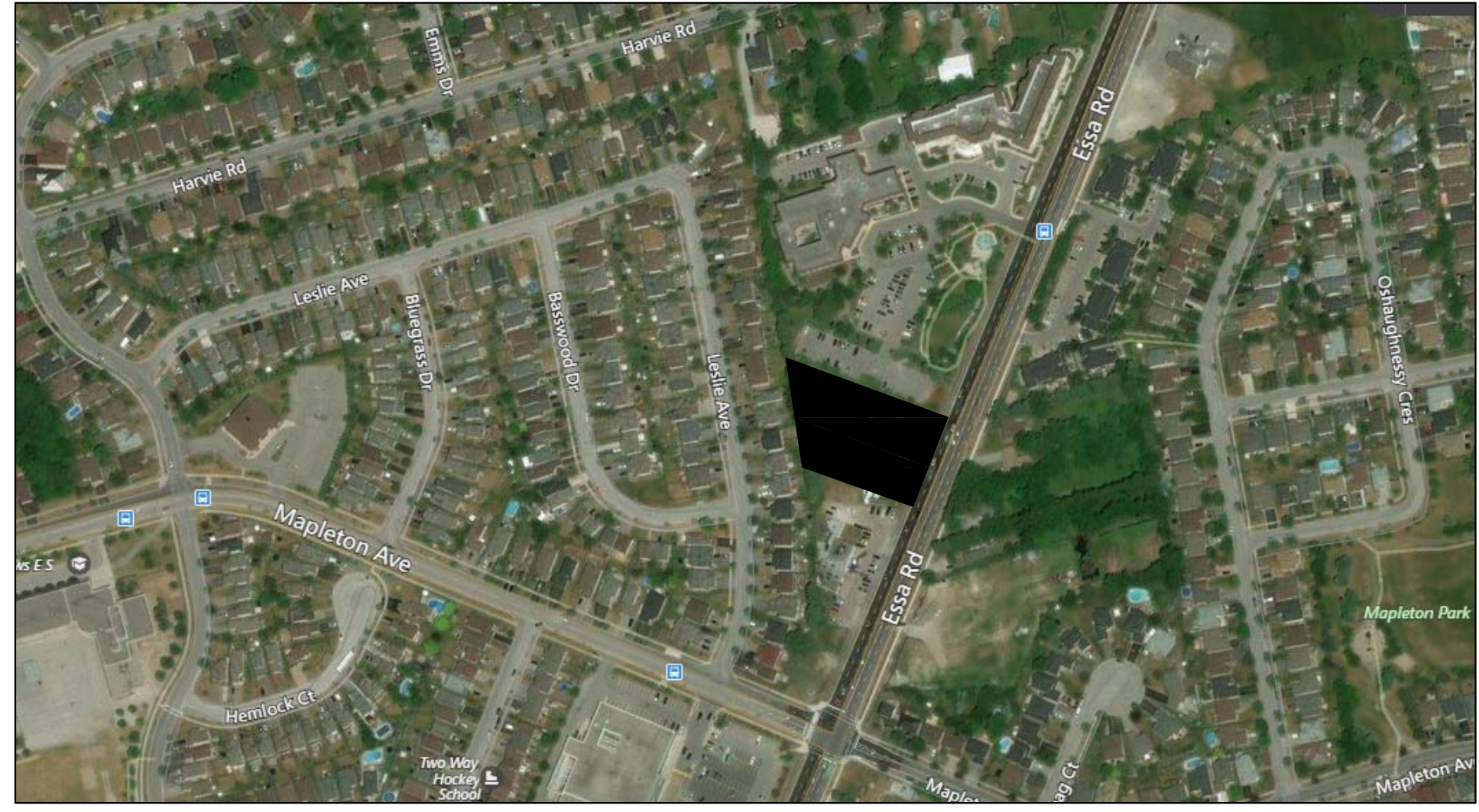
GRAND TOTALS					
			48	66246	6154.5

ZONING BY-LAW TABLE		
PROVISION	RM2 REQUIRED	PROVIDED
LOT AREA	720 m ²	4,426.77 m ²
LOT FRONTAGE	21 m	54.86 m
FRONT YARD SETBACK	7.0 m	2.5 m
SIDE YARD SETBACK - NORTH	1.8 m	2.0 m
SIDE YARD SETBACK - SOUTH	1.8 m	5.0 m
REAR YARD SETBACK - abutting Residential, OS or EP Zone (min.)	N/A	5.4 m
REAR YARD SETBACK	7 m	5.4 m
FRONT FACADE STEP-BACK (min.)	N/A	-
SIDE FACADE STEP-BACK (min.)	N/A	-
REAR FACADE STEP-BACK (min.)	N/A	-
LOT COVERAGE (max. % of lot area)	35%	41%
GROSS FLOOR AREA (max. % of lot area)	60%	139%
STREET LEVEL FLOOR HEIGHT (min.)	N/A	-
BUILDING HEIGHT	10m	14.85m
MIN. LANDSCAPED OPEN SPACE	35%	41%
DWELLING UNIT FLOOR AREA (MIN.)	45 m ² /1 BDRM 55 m ² / 2 BDRM	119 m ² / BACK2BACK 155 m ² / STANDARD
PARKING	1.5 SPACES/UNIT (72 SPACES w 2BF)	1.5 SPACES/UNIT (72 SPACES w 3BF)
VISITOR PARKING	N/A	3 SPACES w 3 BF
PARKING AREA BUFFER SETBACK	3m	3m
PARKING FOR APARTMENTS (max. lot coverage)	N/A	N/A
AMENITY AREA	12m ² PER UNIT (576m ²)	40m ² PER UNIT (1924m ²)

ADDITIONAL SITE STATISTICS

ZONING	RM2 SITE SPECIFIC	PARKING	
LOT AREA	4,426.77 SQM	- RESIDENT	60 SPACES (1.25 PER UNIT)
SETBACKS		- BACK 2 BACK TOWNS	36 SPACES (1.00 PER UNIT)
- FRONT	2.5m	- STANDARD TOWNS	24 SPACES (2.00 PER UNIT)
- REAR	5.4m	- EXTRA INDOOR	9 SPACES (INDOOR)
- NORTH SIDE	2.0m	- ACCESSIBLE SPACES	3 SPACES (INDOOR)
- SOUTH SIDE	5.0m	TOTAL PARKING	72 SPACES (1.50 PER UNIT)
LOT COVERAGE	1,828.06 SQM (41%)	GROSS FLOOR AREA	
ASPHALT DRIVE	785.51 SQM (18%)	- DWELLING UNITS	6,154.50 SQM (1.39x)
LANDSCAPE/OTHER	1,813.20 SQM (41%)	- GARAGE PARKING	1,344.60 SQM (0.31x)
HEIGHT	14.85m (3-STORY)	TOTAL	7,499.10 SQM (1.70x)
		# OF DWELLING UNITS	48 (108 PER HECTARE)
		BALCONY/ROOF TERRACE	1,495.44 SQM (31.16/UNIT AVE)
		BACKYARDS (12)	158.40 SQM (13.20/UNIT)
		GRADE AMENITY AREA	270.47 SQM (5.63/UNIT)
		TOTAL	1,924.31 SQM (40.09/UNIT)

ADJACENT COMMERCIAL C4



LOCATION N.T.S.

Revisions:	
Date	Particular
DEC.04.17	REVISED TO 3-BLOCKS PLUS 12-TOWNS
DEC.15.17	ADD SETBACK DIMS AND STAR ARROWS

Issue:	
Date	Particular
FEB.26.18	ISSUED FOR REVIEW

ESSA ROAD
URBAN TOWNHOME CONDOMINIUMS
521 ESSA ROAD, BARRIE
SITE PLAN
PROJECT No.: 17-02