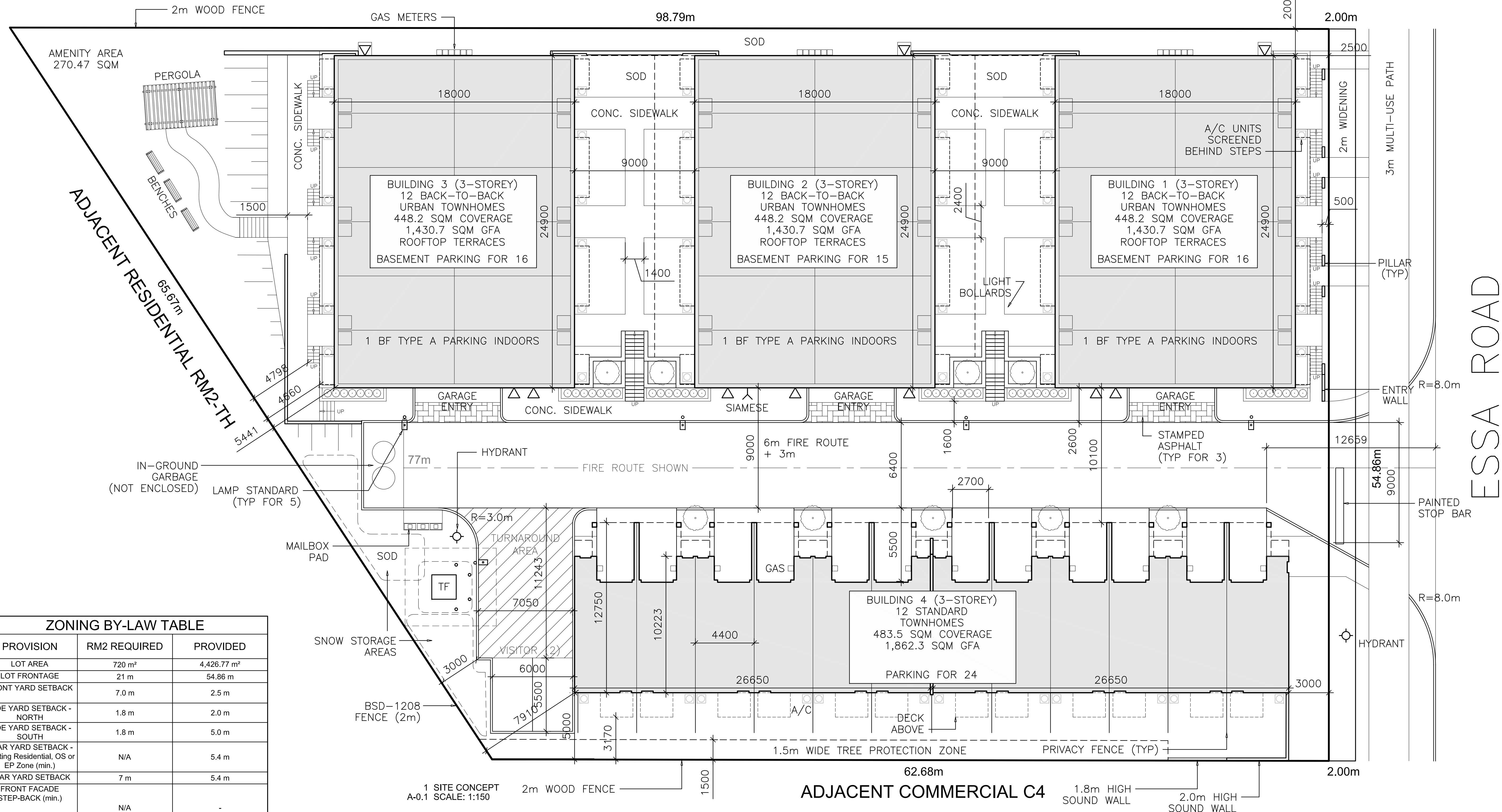


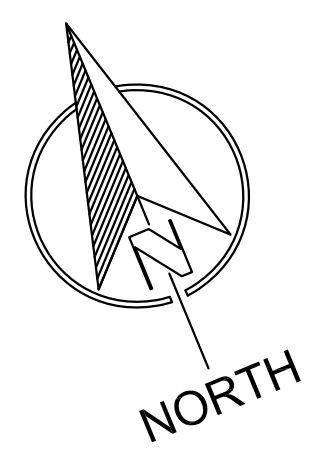
ADJACENT RESIDENTIAL RM2



pml.A
patrick markus luckie, Architect
7253 BENOLOO CIRCLE - MISSISSAUGA, ON L5M 5Z4 • TEL: 416 885 9108

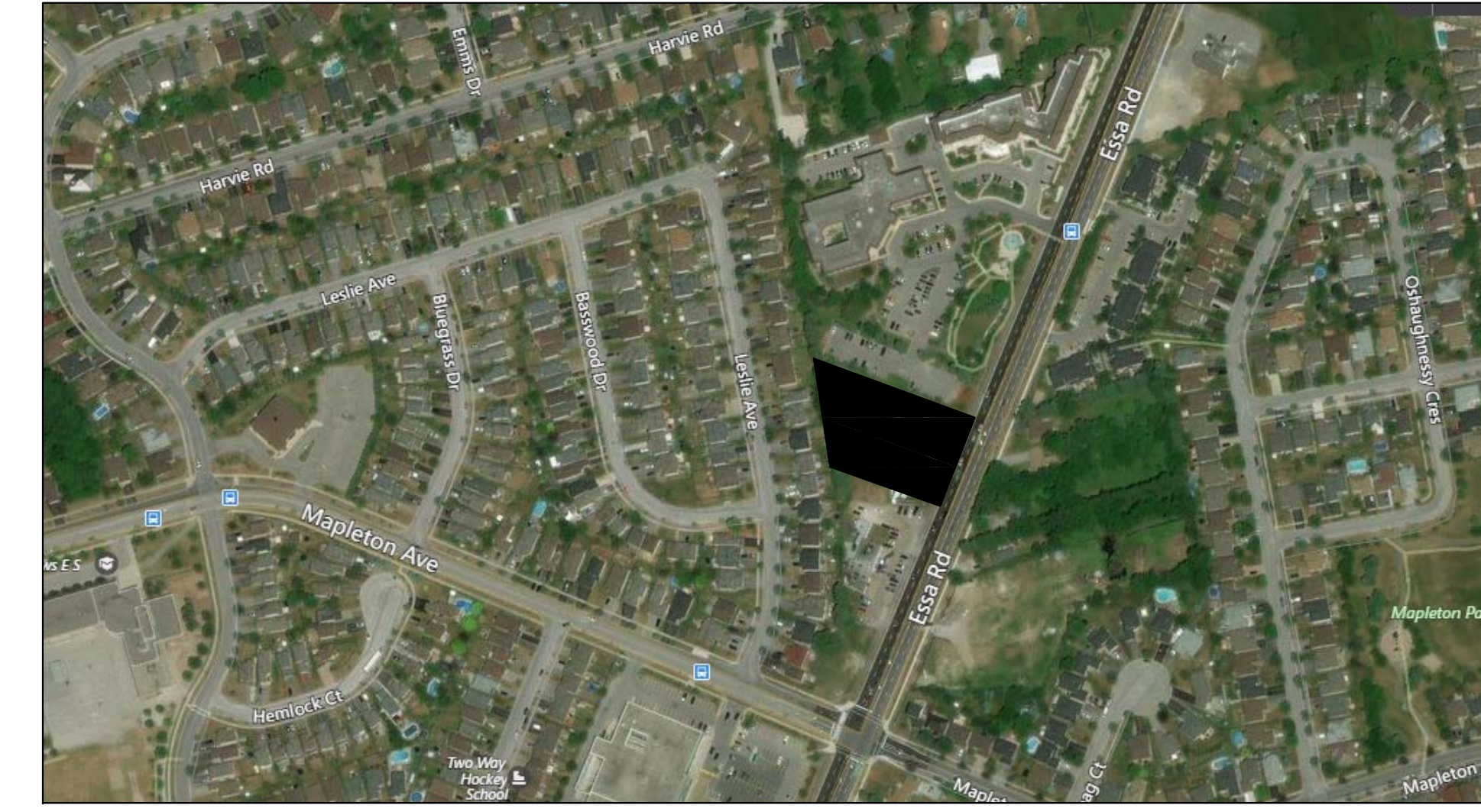
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Do not scale this drawing.
This drawing shall not be used for construction purposes unless counterchecked.
Patrick Markus Luckie Architect



ZONING BY-LAW TABLE		
PROVISION	RM2 REQUIRED	PROVIDED
LOT AREA	720 m ²	4,426.77 m ²
LOT FRONTAGE	21 m	54.86 m
FRONT YARD SETBACK	7.0 m	2.5 m
SIDE YARD SETBACK - NORTH	1.8 m	2.0 m
SIDE YARD SETBACK - SOUTH	1.8 m	5.0 m
REAR YARD SETBACK - abutting Residential, OS or EP Zone (min.)	N/A	5.4 m
REAR YARD SETBACK	7 m	5.4 m
FRONT FACADE STEP-BACK (min.)	N/A	-
SIDE FACADE STEP-BACK (min.)	N/A	-
REAR FACADE STEP-BACK (min.)	N/A	-
LOT COVERAGE (max. % of lot area)	35%	41%
GROSS FLOOR AREA (max. % of lot area)	60%	139%
STREET LEVEL FLOOR HEIGHT (min.)	N/A	-
BUILDING HEIGHT	10m	14.85m
MIN. LANDSCAPED OPEN SPACE	35%	41%
DWELLING UNIT FLOOR AREA (MIN.)	45 m ² /1 BDRM 55 m ² / 2 BDRM	119 m ² / BACK2BACK 155 m ² / STANDARD
PARKING	1.5 SPACES/UNIT (72 SPACES w 2BF)	1.52 SPACES/UNIT (73 SPACES w 3BF)
VISITOR PARKING	N/A	3 SPACES w 3 BF
PARKING AREA BUFFER SETBACK	3m	3m
PARKING FOR APARTMENTS (max. lot coverage)	N/A	N/A
AMENITY AREA	12m ² PER UNIT (576m ²)	40m ² PER UNIT (1924m ²)

ZONING	RM2 SITE SPECIFIC	PARKING	
LOT AREA	4,426.77 SQM	36 BACK 2 BACK TOWNS	41 RESIDENT SPACES
			6 VISITOR SPACES
SETBACKS		12 STANDARD TOWNS	24 SPACES
- FRONT	2.5m	SURFACE PARKING	2 VISITOR SPACES
- REAR	5.4m	TOTAL PROVIDED	73 SPACES (1.52 PER UNIT)
- NORTH SIDE	2.0m		
- SOUTH SIDE	5.0m	BACK 2 BACK TANDEM	22 ADDITIONAL SPACES
		TOTAL PARKING	95 SPACES (1.98 PER UNIT)
LOT COVERAGE	1,828.06 SQM (41%)		
ASPHALT DRIVE	785.51 SQM (18%)	GROSS FLOOR AREA	
LANDSCAPE/OTHER	1,813.20 SQM (41%)	- DWELLING UNITS	6,154.40 SQM (1.39x)
		- BASEMENT PARKING	1,792.80 SQM (0.40x)
HEIGHT	14.85m (3-STOREY)	# OF DWELLING UNITS	48 (108 PER HECTARE)
		BALCONY/ROOF TERRACE	1,495.44 SQM (31.16/UNIT AVE)
		BACKYARDS (12)	158.40 SQM (13.20/UNIT)
		GRADE AMENITY AREA	270.47 SQM (5.63/UNIT)
		TOTAL	1,924.31 SQM (40.09/UNIT)



Revisions:	
Date:	Particular:
DEC.04.17	REVISED TO 3-BLOCKS PLUS 12-TOWNS
DEC.15.17	ADD SETBACK DIMS AND STAIR ARROWS
APR.10.18	ISSUED FOR CO-ORDINATION
AUG.20.18	REV. EXTERIOR STEPS, ISSUED FOR CO-ORD.
MAR.21.19	EXTEND BASEMENT PARKING, ADJUST GRADES
OCT.09.19	ADD 2 SURFACE PARKING
MAR.11.21	ADJUST 2 VISITOR SPACES FOR TURNAROUND



ESSA ROAD
URBAN TOWNHOME CONDOMINIUMS
521 ESSA ROAD, BARRIE
SITE PLAN
PROJECT No.: 17-02

A-0.1