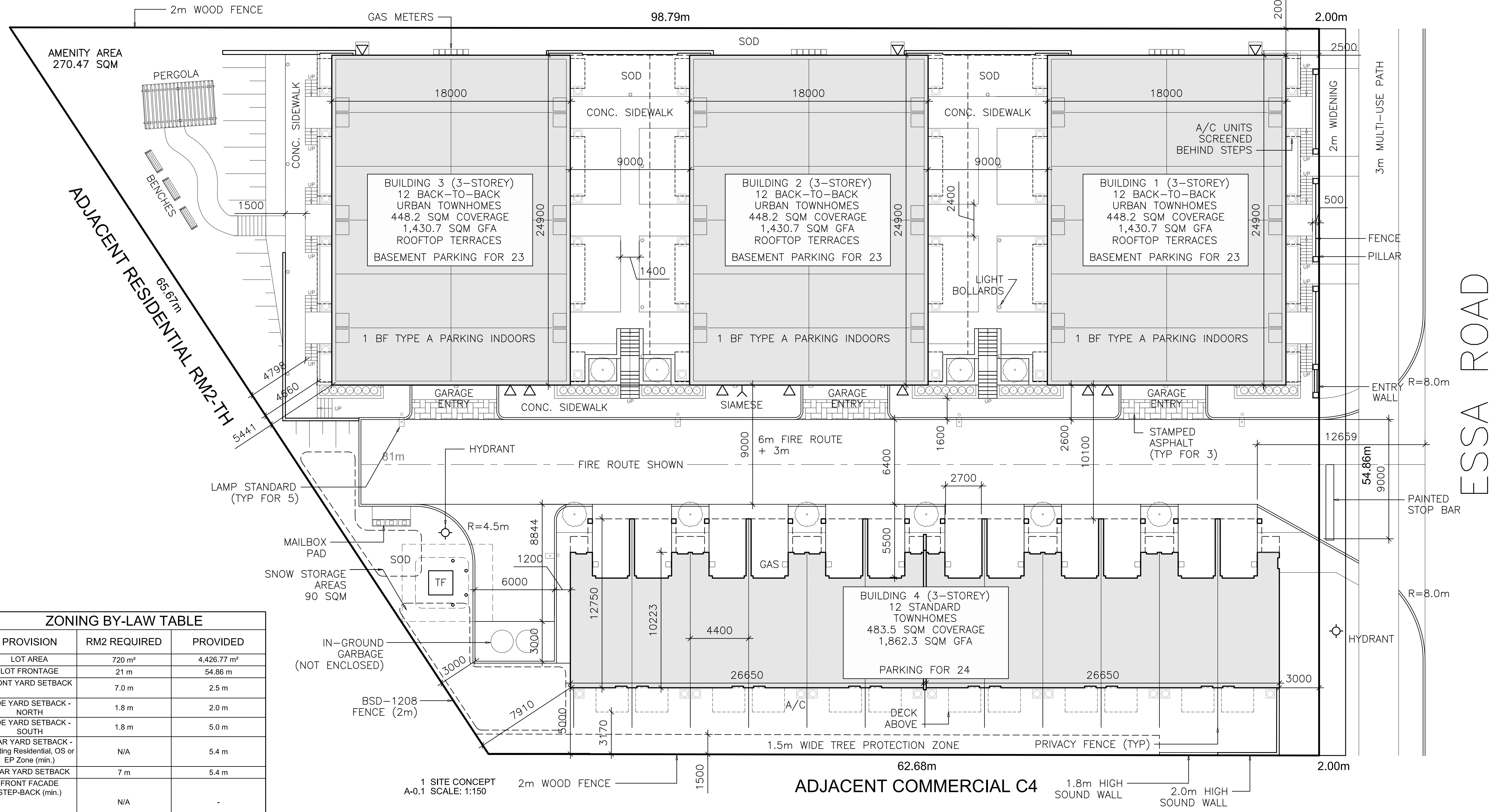


ADJACENT RESIDENTIAL RM2



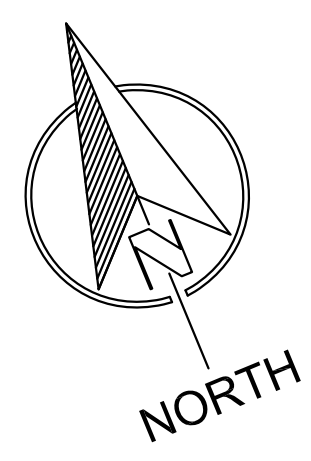
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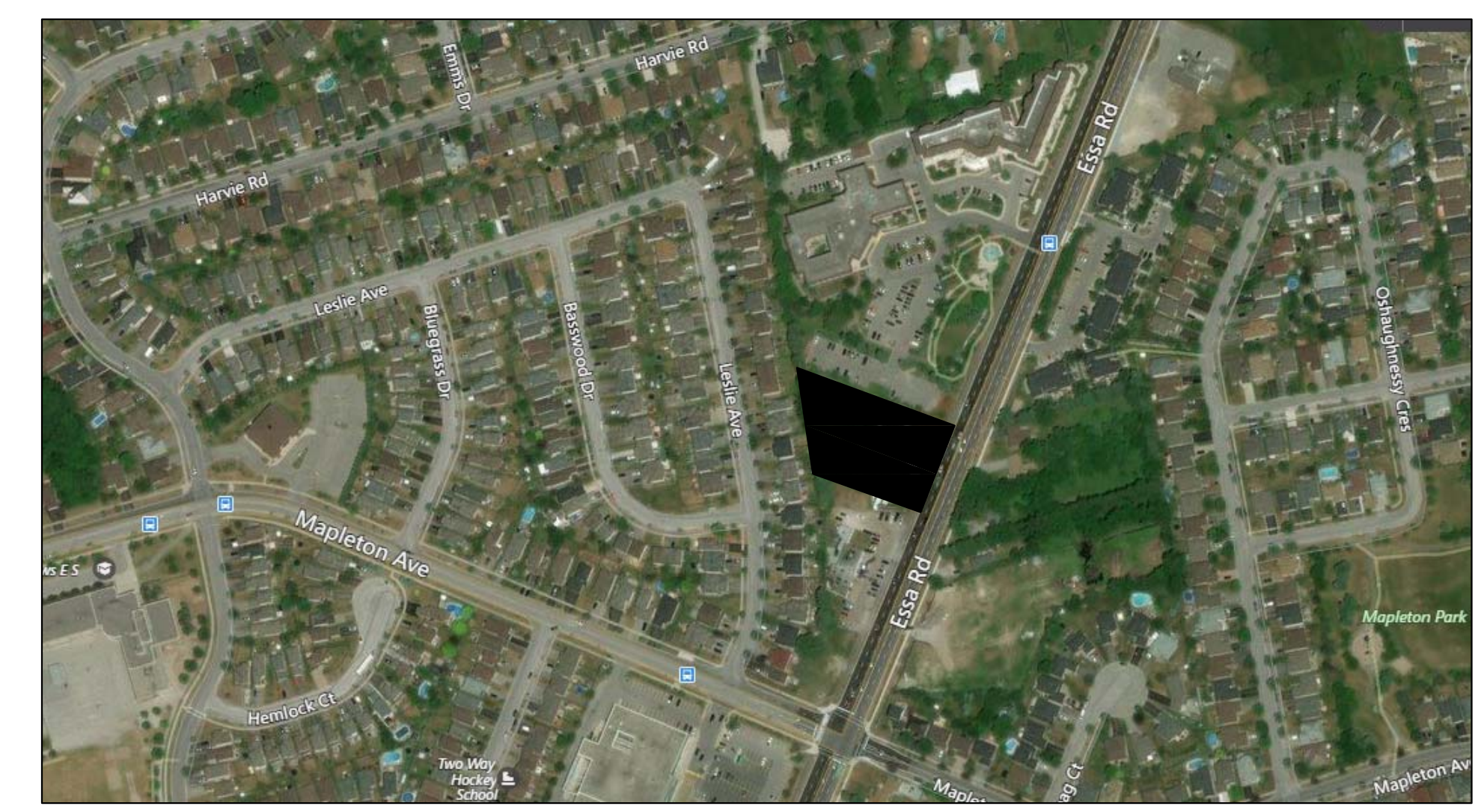
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Do Not scale this drawing.
This drawing shall not be used for construction purposes unless counterchecked.
Patrick Markus Luckie Architect



ZONING BY-LAW TABLE		
PROVISION	RM2 REQUIRED	PROVIDED
LOT AREA	720 m ²	4,426.77 m ²
LOT FRONTAGE	21 m	54.86 m
FRONT YARD SETBACK	7.0 m	2.5 m
SIDE YARD SETBACK - NORTH	1.8 m	2.0 m
SIDE YARD SETBACK - SOUTH	1.8 m	5.0 m
REAR YARD SETBACK - abutting Residential, OS or EP Zone (min.)	N/A	5.4 m
REAR YARD SETBACK	7 m	5.4 m
FRONT FACADE STEP-BACK (min.)	N/A	-
SIDE FACADE STEP-BACK (min.)	N/A	-
REAR FACADE STEP-BACK (min.)	N/A	-
LOT COVERAGE (max. % of lot area)	35%	41%
GROSS FLOOR AREA (max. % of lot area)	60%	139%
STREET LEVEL FLOOR HEIGHT (min.)	N/A	-
BUILDING HEIGHT	10m	14.85m
MIN. LANDSCAPED OPEN SPACE	35%	41%
DWELLING UNIT FLOOR AREA (MIN.)	45 m ² /1 BDRM 55 m ² / 2 BDRM	119 m ² / BACK2BACK 155 m ² / STANDARD
PARKING	1.5 SPACES/UNIT (72 SPACES w 2BF)	1.5 SPACES/UNIT (72 SPACES w 3BF)
VISITOR PARKING	N/A	3 SPACES w 3 BF
PARKING AREA BUFFER SETBACK	3m	3m
PARKING FOR APARTMENTS (max. lot coverage)	N/A	N/A
AMENITY AREA	12m ² PER UNIT (576m ²)	40m ² PER UNIT (1924m ²)

ZONING	RM2 SITE SPECIFIC	PARKING	
LOT AREA	4,426.77 SQM	- RESIDENT	87 SPACES (1.81 PER UNIT)
SETBACKS		- BACK 2 BACK TOWNS	63 SPACES (1.75 PER UNIT)
- FRONT	2.5m	- STANDARD TOWNS	24 SPACES (2.00 PER UNIT)
- REAR	5.4m	- EXTRA INDOOR	3 SPACES (INDOOR)
- NORTH SIDE	2.0m	- ACCESSIBLE SPACES	3 SPACES (INDOOR)
- SOUTH SIDE	5.0m	TOTAL PARKING	93 SPACES (1.93 PER UNIT)
LOT COVERAGE	1,828.06 SQM (41%)	GROSS FLOOR AREA	
ASPHALT DRIVE	785.51 SQM (18%)	- DWELLING UNITS	6,154.40 SQM (1.39x)
LANDSCAPE/OTHER	1,813.20 SQM (41%)	- BASEMENT PARKING	1,792.80 SQM (0.40x)
HEIGHT	14.85m (3-STOREY)	# OF DWELLING UNITS	48 (108 PER HECTARE)
		BALCONY/ROOF TERRACE	1,495.44 SQM (31.16/UNIT AVE)
		BACKYARDS (12)	158.40 SQM (13.20/UNIT)
		GRADE AMENITY AREA	270.47 SQM (5.63/UNIT)
		TOTAL	1,924.31 SQM (40.09/UNIT)



Revisions:	
Date:	Particular:
DEC.04.17	REVISED TO 3-BLOCKS PLUS 12-TOWNS
DEC.15.17	ADD SETBACK DIMS AND STAR ARROWS
APR.10.18	ISSUED FOR CO-ORDINATION
AUG.20.18	REV. EXTERIOR STEPS, ISSUED FOR CO-ORD.
MAR.21.19	EXTEND BASEMENT PARKING, ADJUST GRADES



ESSA ROAD
URBAN TOWNHOME CONDOMINIUMS
521 ESSA ROAD, BARRIE
SITE PLAN
PROJECT No.: 17-02

A-0.1