

PROPOSED MIXED-USE DEVELOPMENT

440 Essa Road, Barrie ON

DRAWING LIST

ARCHITECTURAL

A 0.00	DEVELOPMENT STATISTICS
A 1.00	CONTEXT PLAN
A 1.01	SITE PLAN
A 1.02	GROUND FLOOR SITE PLAN
A 3.00	P2 & P1 LEVEL
A 3.01	G.F. & 2ND FLOOR PLANS
A 3.02	3RD & 4TH FLOOR PLANS
A 3.03	5TH & 6TH FLOOR PLANS
A 3.04	7TH & 8TH FLOOR PLANS
A 3.05	ROOFTOP & ROOF PLANS
A 5.00	NORTH & SOUTH ELEVATION
A 5.01	EAST & WEST ELEVATIONS
A 5.02	DETAIL ELEVATION
A 5.03	MATERIAL BOARD
A 6.00	BUILDING SECTION A
A 6.01	BUILDING SECTION B
A 10.0	3D VIEWS



**ISSUED FOR SPA 3RD SUBMISSION,
MARCH 03, 2023**

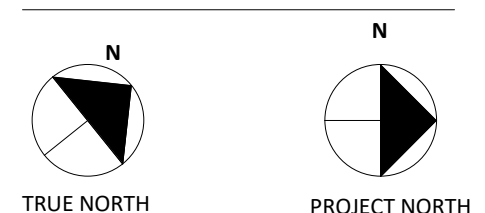
Issued:

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No.	Issued for	Date
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1. **General Notes:**
 - a. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the Contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
 - b. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
 - c. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect.

Architect:
STUDIO
JCI
20 De Boers Drive suite 525
Toronto, ON M3J 0H1
t. 416.901.6528
www.studiojci.com



PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:
440 Essa Road , Barrie, ON

COVER

Project No.: 1905
Scale:
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.: _____

A 1.01

BUILDING HEIGHT DETERMINED AS FOLLOWS:

BUILDING HEIGHT
SHALL MEAN THE VERTICAL DISTANCE FROM THE AVERAGE FINISHED GRADE LEVEL TO, IN THE CASE OF A FLAT ROOF, THE HIGHEST POINT OF THE HIGHEST ROOF SURFACE (BY-LAW 2019-115)

FINISHED GRADE LEVEL: 313.375
CALCULATED BASED ON THE AVERAGE OF FOLLOWING ELEVATIONS:
313.68, 313.51, 313.31, 313.31, 313.10
313.51, 313.51, 313.31, 313.14

REFER TO CIVIL DRAWINGS FOR DETAILED SITE GRADING PLAN

FINISHED GRADE LEVEL SHALL MEAN THE AVERAGE ELEVATION OF THE FINISHED SURFACE OF THE GROUND ABUTTING THE EXTERNAL WALLS OF THE BUILDING OR STRUCTURE, EXCLUSIVE OF ANY EMBANKMENT IN LIEU OF STEPS (AS PER CITY OF BARRIE COMPREHENSIVE ZONING BY-LAW 2009-141)

Issued:

SPA 3	Mar. 03, 2023
Minor Variance	Jun. 10, 2022
SPA 2	Apr. 30, 2021
SPA	Dec. 21, 2020
ZBA	Aug. 23, 2019

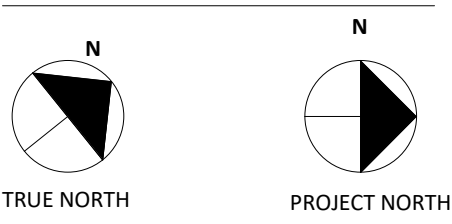
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**GROUND FLOOR
SITE PLAN**

Project No.: 1905
Scale: 1 : 200
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 1.02

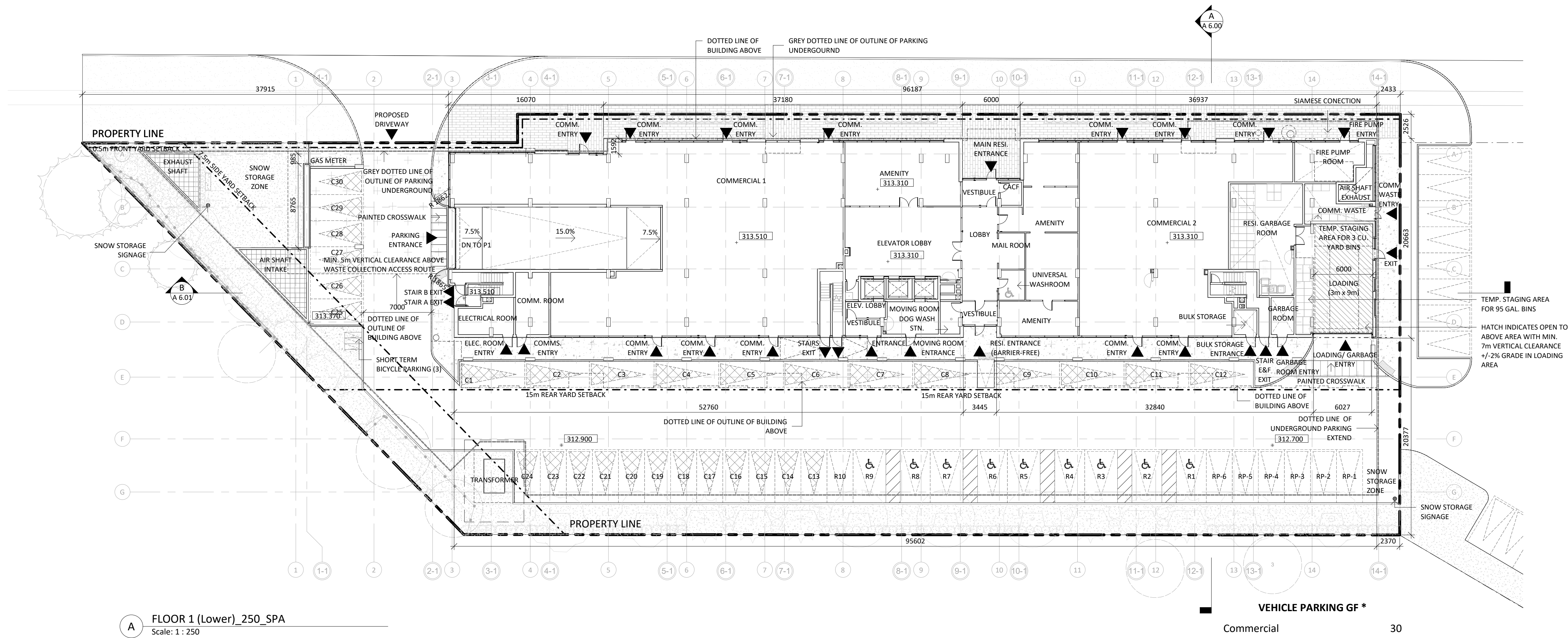


VEHICLE PARKING P1	
Commercial	15
Residential	98
Residential (Tandem)	3
TOTAL	116



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Commercial	15
Residential	98
Residential (Tandem)	3
TOTAL	116

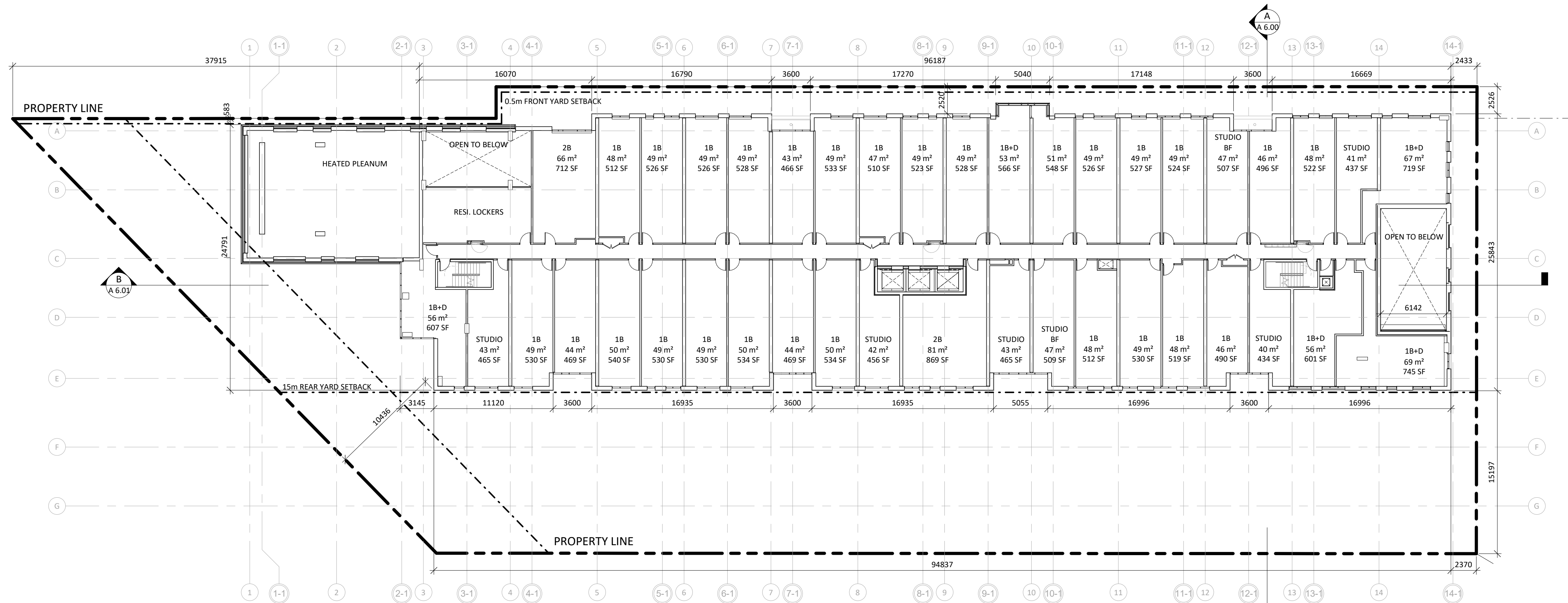
A 3.00



FLOOR 1 (Lower) 250 SPA
Scale: 1 : 250

VEHICLE PARKING GF *	
Commercial	30
Residential	1
Residential BF Parking (A)	4
Residential BF Parking (B)	5
TOTAL	40

* 6 REPLACEMENT (RP) SPOTS FOR 430 ESSA RD NOT INCLUDED IN THE SCHEDULE



FLOOR 2
Scale: 1 : 250

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ONTARIO ASSOCIATION
OF ARCHITECTS
John J. J. J.
6108

TRUE NORTH PROJECT NORTH
PROPOSED MIXED-USE DEVELOPMENT

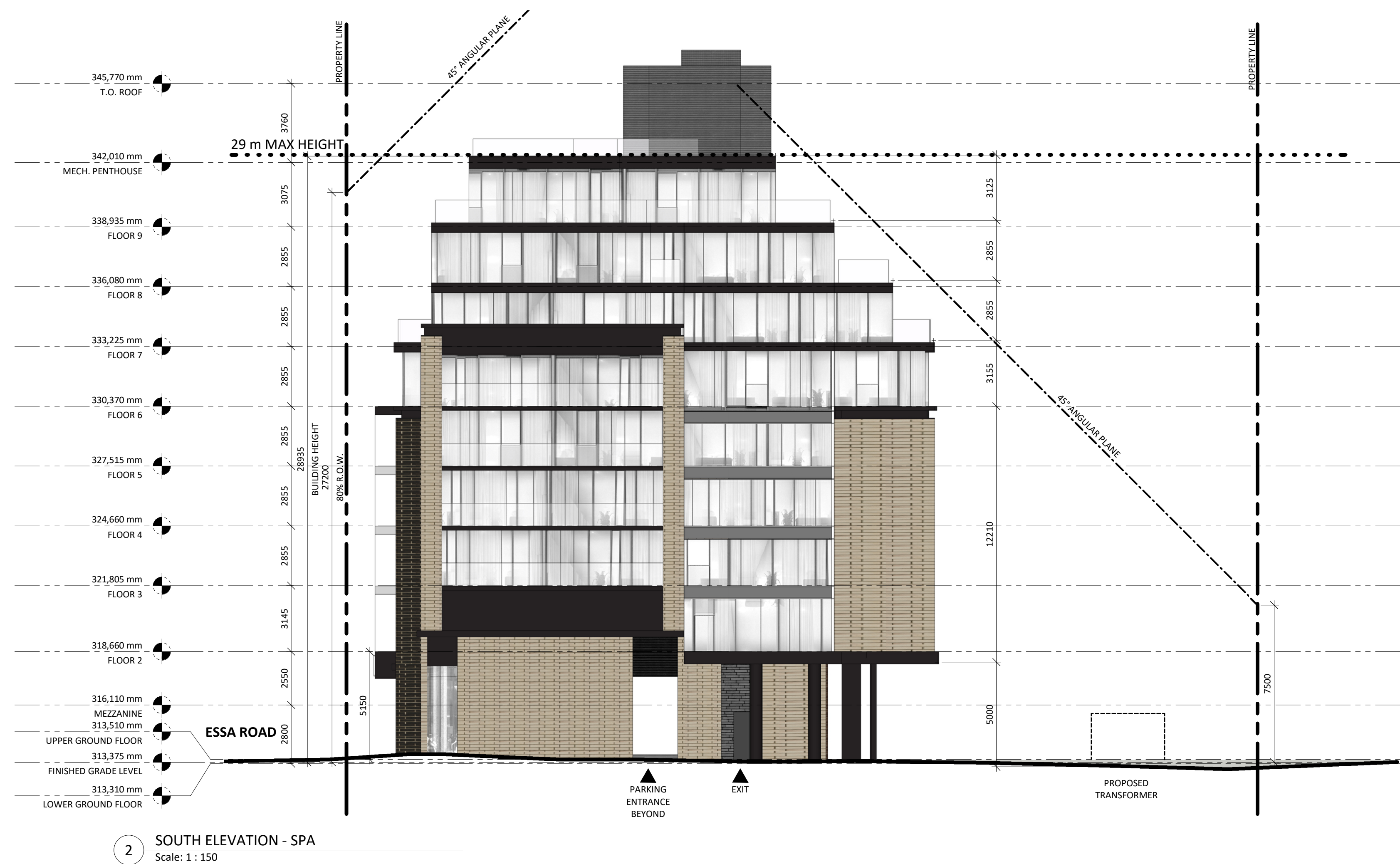
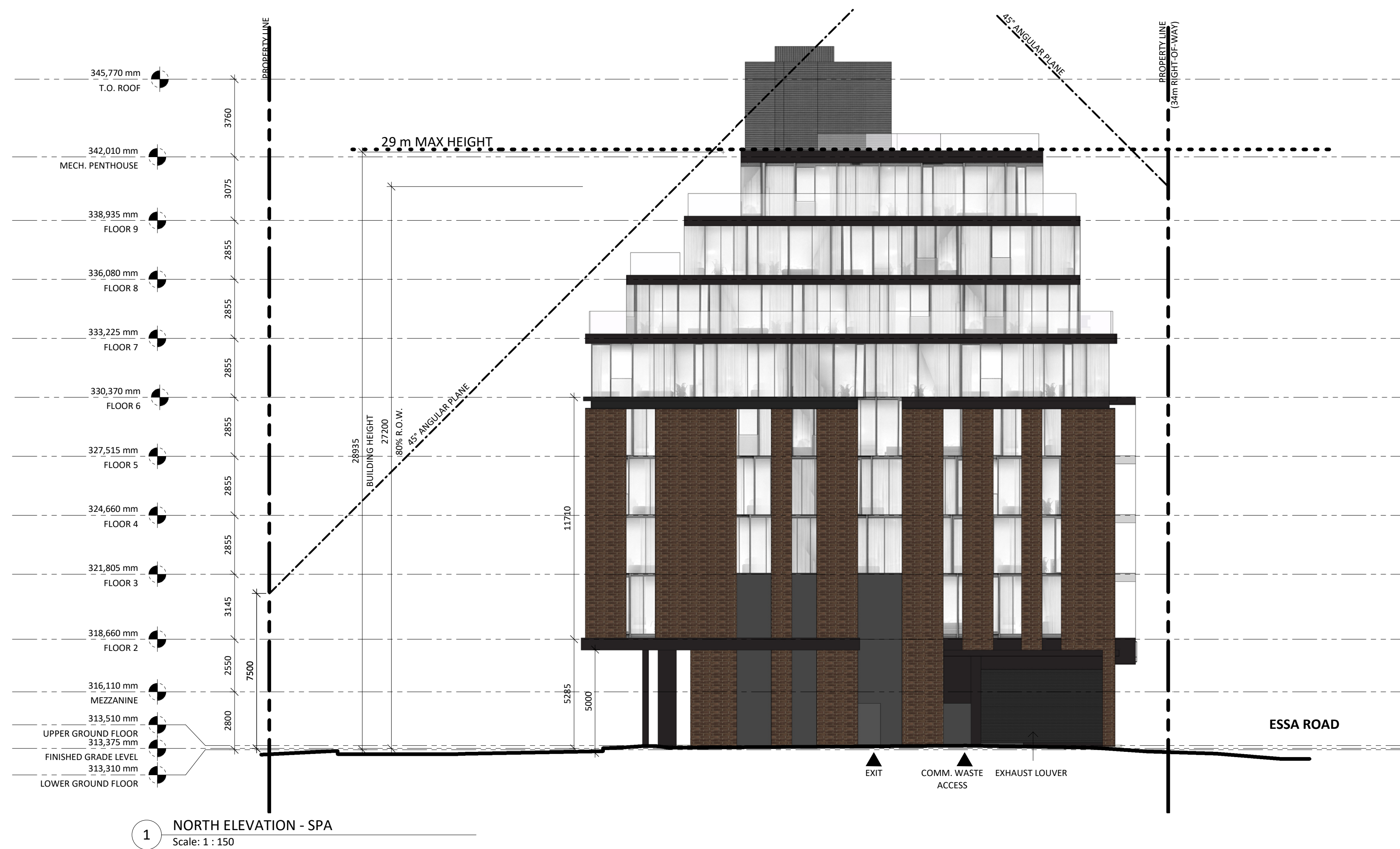
ADDRESS:
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G.F.& 2ND FLOOR
PLANS

Project No.: 1905
Scale: 1 : 250
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 3.01



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NORTH & SOUTH ELEVATIONS

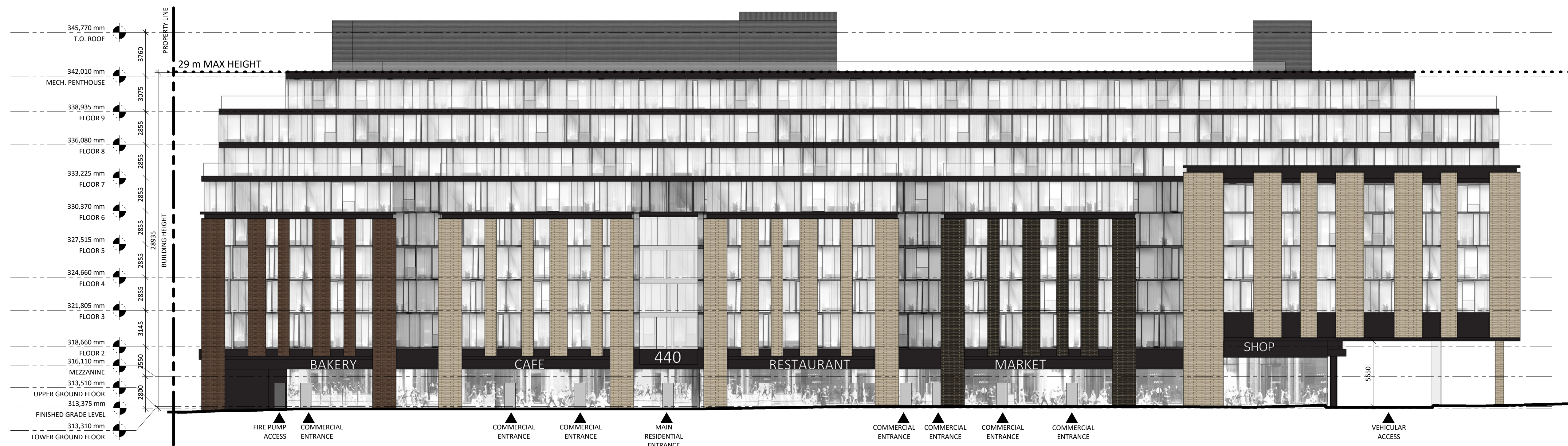
Project No.: 1905
Scale: 1 : 150
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 5.00



1 EAST ELEVATION
Scale: 1 : 200



2 WEST ELEVATION
Scale: 1 : 200

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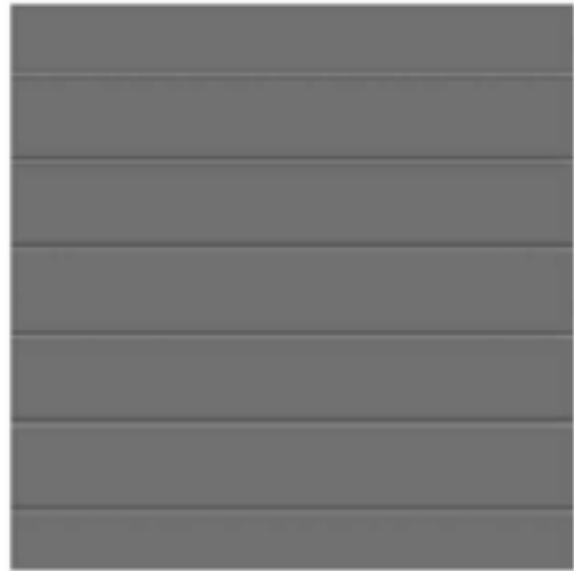
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EAST & WEST
ELEVATIONS

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Drawing No.:

A 5.01



1. GREY ALUMINUM HORIZONTAL SIDING



2. DARK BROWN METAL (Window mullions, pre-finished metal panels, canopy finish, slab edge cover)



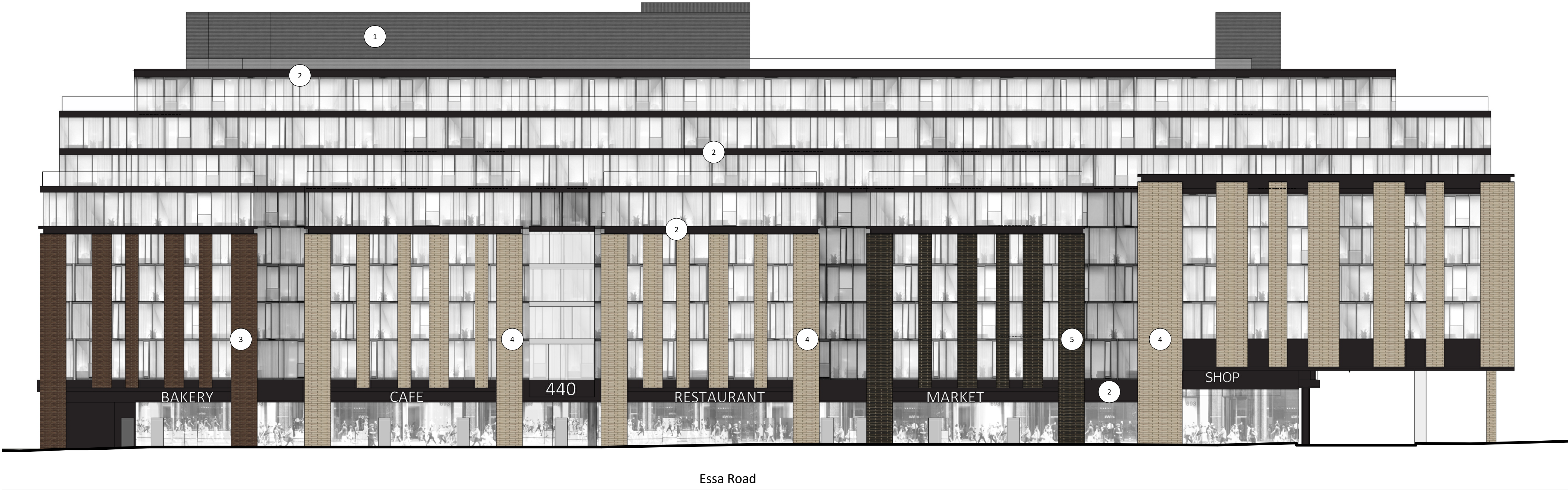
3. BRICK 1



4. BRICK 2



5. BRICK 3



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MATERIAL BOARD

Project No.: 1905
Scale: 1 : 170
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Drawing No.:

A 5.03

B SECTION B - SPA
Scale: 1 : 150



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3D VIEWS

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Drawing No.:

A 10.0