# PROPOSED MIXED-USE DEVELOPMENT

440 Essa Road, Barrie ON

DRAWING LIST

### **ARCHITECTURAL**

A 0.00	DEVELOPMENT STATISTICS
A 0.00	DEVELOPINIENT STATISTICS

A 1.00 CONTEXT PLAN

A 1.01 SITE PLAN

A 1.02 GROUND FLOOR SITE PLAN

A 3.00 P2 & P1 LEVEL

A 3.01 G.F.& 2ND FLOOR PLANS

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A 3.03 5TH & 6TH FLOOR PLANS A 3.04 7TH & 8TH FLOOR PLANS

A 3.05 ROOFTOP & ROOF PLANS

A 5.00 NORTH & SOUTH ELEVATIONS

A 5.01 EAST & WEST ELEVATIONS

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A 5.03 MATERIAL BOARD

A 6.00 BUILDING SECTION A

A 6.01 BUILDING SECTION B

A 10.0 3D VIEWS



ISSUED FOR SPA 3RD SUBMISSION, MARCH 03, 2023

Issued:

No. Issued for

SPA 3 Mar. 03, 2023
Minor Variance Jun. 10, 2022
SPA 2 Apr. 30, 2021
SPA Dec. 21, 2020

Aug. 23, 2019

General Notes:

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3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect

Architect:

STUDIO

JCI

20 De Boers Drive suite 5:
Toronto, ON M3J 0H1
t. 416.901.6528







PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:

440 Essa Road , Barrie, ON

COVER

Project No.: 1905

Date: Mar. 3, 2023 Drawn by: STUDIO JCI

Drawing No.:

AC

#### PROPOSED MIXED USE DEVELOPMENT

440 Essa Road

#### **AREA SUMMARY**

 Lot Area (existing):
 5008.20 m²
 53907.8 ft²
 Density:
 3.85

 Total Building GFA:
 19288.9 m²
 207623.9 ft²
 Lot Coverage:
 52%

COMMON AREA	A / CIRCULATIO	N	PAR	KING	RESIDE	NTIAL *		OOOR AMENITY / TERRACE)	COMM	1ERCIAL	INDOOR	AMENITY	PUBLIC OUTD	OOR AMENITY	GROSS CONST	RUCTION AREA
Level	m2	sf	m2	sf	m2	SF	m2	sf	m2	sf	m2	sf	m2	sf	m2	sf
P2	277.6 m <sup>2</sup>	2988.1 ft <sup>2</sup>	3515.2 m <sup>2</sup>	37837.7 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	4036.5 m <sup>2</sup>	43448.4 ft <sup>2</sup>
P1	385.3 m <sup>2</sup>	4147.0 ft <sup>2</sup>	3438.8 m <sup>2</sup>	37015.2 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	$0.0 \text{ m}^2$	0.0 ft <sup>2</sup>	$0.0 \text{ m}^2$	0.0 ft <sup>2</sup>	$0.0 \text{ m}^2$	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	3978.2 m <sup>2</sup>	42821.0 ft <sup>2</sup>
LOWER GROUND FLOOR	604.5 m <sup>2</sup>	6507.2 ft <sup>2</sup>	85.0 m <sup>2</sup>	914.6 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	926.8 m <sup>2</sup>	9976.3 ft <sup>2</sup>	237.0 m <sup>2</sup>	2551.0 ft <sup>2</sup>	1251.8 m <sup>2</sup>	13474.3 ft <sup>2</sup>	1853.3 m²	19949.1 ft <sup>2</sup>
MEZZANINE	92.0 m <sup>2</sup>	990.3 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	$0.0 \text{ m}^2$	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	92.0 m <sup>2</sup>	990.3 ft <sup>2</sup>
FLOOR 2	183.5 m²	1975.5 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2050.6 m <sup>2</sup>	22072.6 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2289.9 m <sup>2</sup>	24648.0 ft <sup>2</sup>
FLOOR 3	190.1 m <sup>2</sup>	2046.3 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2419.8 m <sup>2</sup>	26046.0 ft <sup>2</sup>	13.2 m <sup>2</sup>	142.0 ft <sup>2</sup>	$0.0 \text{ m}^2$	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2609.9 m <sup>2</sup>	28092.3 ft <sup>2</sup>
FLOOR 4	189.9 m²	2044.5 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2419.9 m <sup>2</sup>	26047.6 ft <sup>2</sup>	13.2 m <sup>2</sup>	142.2 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2609.8 m <sup>2</sup>	28092.1 ft <sup>2</sup>
FLOOR 5	189.9 m²	2044.5 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2419.9 m <sup>2</sup>	26047.6 ft <sup>2</sup>	13.2 m <sup>2</sup>	142.2 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2609.8 m <sup>2</sup>	28092.1 ft <sup>2</sup>
FLOOR 6	190.0 m <sup>2</sup>	2045.3 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2385.3 m <sup>2</sup>	25675.3 ft <sup>2</sup>	13.2 m <sup>2</sup>	142.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2575.3 m <sup>2</sup>	27720.6 ft <sup>2</sup>
FLOOR 7	191.7 m²	2063.6 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2092.6 m <sup>2</sup>	22525.0 ft <sup>2</sup>	295.7 m <sup>2</sup>	3183.1 ft <sup>2</sup>	$0.0 \text{ m}^2$	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2284.3 m <sup>2</sup>	24588.5 ft <sup>2</sup>
FLOOR 8	191.7 m²	2063.7 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	1832.0 m <sup>2</sup>	19719.2 ft <sup>2</sup>	272.2 m <sup>2</sup>	2929.6 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	2023.7 m <sup>2</sup>	21782.9 ft <sup>2</sup>
FLOOR 9	178.1 m <sup>2</sup>	1916.9 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	1310.4 m <sup>2</sup>	14104.6 ft <sup>2</sup>	535.6 m <sup>2</sup>	5765.6 ft <sup>2</sup>	$0.0 \text{ m}^2$	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	1488.4 m²	16021.4 ft <sup>2</sup>
MECH. PENTHOUSE	280.7 m²	3021.3 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>	736.5 m <sup>2</sup>	7928.1 ft <sup>2</sup>	280.7 m²	3021.3 ft <sup>2</sup>
TOTAL	3145.2 m <sup>2</sup>	33854.1 ft <sup>2</sup>	7039.0 m <sup>2</sup>	75767.5 ft <sup>2</sup>	16930.4 m²	182237.8 ft <sup>2</sup>	1156.3 m <sup>2</sup>	12446.8 ft <sup>2</sup>	926.8 m²	9976.3 ft <sup>2</sup>	237.0 m <sup>2</sup>	2551.0 ft <sup>2</sup>	1988.4 m²	21402.4 ft <sup>2</sup>	28731.9 m²	309268.0 ft <sup>2</sup>

Note *: not including balcor	ıy.	ar
terrace area		

UNIT PERCENT *						
Unit Type	Count	Percentage				
1B	36	13.7%				
1B+D	54	20.6%				
2B	86	32.8%				
2B+D	63	24.0%				
3B	15	5.7%				
STUDIO	8	3.1%				
TOTAL	262	100.0%				
Note:						

\* Affordable units included

AFFORDABLE UNIT COUNT						
Unit Type	Count	Percentage				
1B	27	10.3%				
1B+D	5	1.9%				
STUDIO	7	2.7%				
TOTAL	39	14.9%				

UNIT BREAK DOW	N PER LEVEL	UNIT BREAK DOWI	UNIT BREAK DOWN PER LEVEL		
Floor / Unit Type Unit		Floor / Unit Type	Unit		
FLOOR 2		FLOOR 6			
1B	27	1B+D	4		
1B+D	5	2B	13		
2B	2	2B+D	14		
STUDIO	7	3B	3		
	41		34		
FLOOR 3		FLOOR 7			
1B+D	4	1B	4		
2B	13	1B+D	14		
2B+D	14	2B	15		
3B	3	2B+D	1		
	34		34		
FLOOR 4		FLOOR 8			
1B+D	4	1B	5		
2B	13	1B+D	4		
2B+D	14	2B	15		
3B	3	2B+D	4		
	34	3B	1		
FLOOR 5			29		
1B+D	4	FLOOR 9			
2B	13	1B+D	15		
2B+D	14	2B	2		
3B	3	2B+D	2		
	34	3B	2		
		STUDIO	1		
			22		
		TOTAL UNITS	262		

RESIDENTIAL LOCKER STATISTICS				
Level	Count			
P2	66			
P1	44			
FLOOR 2	16			
TOTAL	126			

GFA EXEM	PTIONS ***	тота	L GFA
m2	sf	m2	sf
4017.1 m <sup>2</sup>	43240.2 ft <sup>2</sup>	19.3 m²	208.2 ft <sup>2</sup>
3958.9 m²	42612.8 ft <sup>2</sup>	19.3 m²	208.2 ft <sup>2</sup>
616.2 m²	6633.2 ft <sup>2</sup>	1237.1 m <sup>2</sup>	13315.9 ft <sup>2</sup>
92.0 m <sup>2</sup>	990.3 ft <sup>2</sup>	0.0 m <sup>2</sup>	0.0 ft <sup>2</sup>
109.5 m²	1178.7 ft <sup>2</sup>	2180.4 m <sup>2</sup>	23469.3 ft <sup>2</sup>
54.5 m <sup>2</sup>	586.2 ft <sup>2</sup>	2555.4 m <sup>2</sup>	27506.0 ft <sup>2</sup>
54.2 m²	583.2 ft <sup>2</sup>	2555.7 m <sup>2</sup>	27508.9 ft <sup>2</sup>
54.2 m <sup>2</sup>	583.2 ft <sup>2</sup>	2555.7 m <sup>2</sup>	27508.9 ft <sup>2</sup>
54.3 m <sup>2</sup>	584.6 ft <sup>2</sup>	2521.0 m <sup>2</sup>	27136.0 ft <sup>2</sup>
54.3 m <sup>2</sup>	584.8 ft <sup>2</sup>	2230.0 m <sup>2</sup>	24003.7 ft <sup>2</sup>
54.4 m <sup>2</sup>	585.2 ft <sup>2</sup>	1969.3 m²	21197.7 ft <sup>2</sup>
54.2 m <sup>2</sup>	583.5 ft <sup>2</sup>	1434.2 m²	15438.0 ft <sup>2</sup>
269.2 m <sup>2</sup>	2898.1 ft <sup>2</sup>	11.4 m²	123.2 ft <sup>2</sup>
9443.0 m <sup>2</sup>	101644.0 ft <sup>2</sup>	19288.9 m²	207623.9 ft <sup>2</sup>

Note \*\*\*: GFA Exemptions as per comprehensive zoning by-law 2009-141
Gross floor area shall mean the total area of all floors in a building, excepting a basement in a residential building, measured from the outside face of the exterior walls, but exclusive of any part of a building which is used for the storage or parking of motor vehicles other than for the automotive purposes defined in section 3.0 in this by-law, for storage, stairwells, or for mechanical or electrical equipment providing services for the entire building. In addition to the exceptions, in calculating the gross floor area for "dwelling, apartment", the part of the gross corridor areas which are in excess of the minimum corridor areas required under the provisions of the Ontario building code and the area occupied by a recreational amenity shall not be included.

<b>PROPOSED</b>	MIXED	USE	DEVEL	OPMEN

440 Essa Road **ZONING STATS** 

ZONING STATS		
STANDARD	REQUIRED 'MU2 ZONE (MU2 SP-591) '	PROPOSED (9 Storey)
	metric	metric
LOT AREA (MIN)	-	5008.2 <i>m</i> 2
LOT FRONTAGE (MIN)	<del>-</del>	136.53 m
FRONT YARD SETBACK (WEST)	0.5 <i>m (MIN)</i>	2.52 <i>m</i> 0.75 <i>m</i>
SIDE YARD SETBACK - EXTERIOR (STREET OR LANE) (MIN)	3.0 m (MIN)	N/A
SIDE YARD SETBACK (NORTH) (MAX)	3.0 m (MAX)	2.43 m
SIDE YARD SETBACK (SOUTH) (MIN)	7.5 m	7.50 m
REAR YARD SETBACK (EAST) (MIN)	15.0 m	15.20 m
LANDSCAPE OPEN SPACE	<del>-</del>	<u>.</u>
(MIN)		
LOT COVERAGE (MAX)	-	52%
GROSS FLOOR AREA (MAX % OF LOT AREA)	-	3.79
STREET LEVEL FLOOR HEIGHT (MIN)	4.5 m	4.7 m
BUILDING HEIGHT	7.5 m (MIN)	
(MAX)	25.5 m (MAX)	29.0 m
BUILDING HEIGHT - ABUTTING RESIDENTIAL (MAX)	7.5 m (MIN)	20.0
FRONT FAÇADE STEP-BACK	25.5 <i>m (MAX)</i> 45 DEGREE ANGULAR PLANE @ 80%	29.0 <i>m</i> COMPLIES (SEE SECTION)
(MIN)	EQUIV. ROW USING 3M STEP-BACK	<u> </u>
SIDE FAÇADE STEP-BACK (MIN)	IF ADJACENT TO AN OS ZONE, 5.5M @ HEIGHT ABOVE 80% EQUIV. ROW	N/A
REAR FAÇADE STEP-BACK	45 DEGREE ANGULAR PLANE ABOVE 7.5m	COMPLIES - MINOR ENCROACHMENT OF
(MIN)	USING 3m STEP-BACK	ROOFTOP MECH. ELEMENTS (SEE SECTION)
GROUND FLOOR COMMERCIAL (MIN % OF 1ST FLOOR GFA)	50%	79%
AMENITY AREAS FOR RESIDENTIAL USES	12 m2 / UNIT (OPEN LANDSCAPE,	3144.0 m2
(MIN)	ROOFTOP AMENITY, PRIVATE BALC., OR	
	OTHER AMENITY FEATURES) 3084.0 m2	
LANDSCAPE BUFFER AND FENCING (MIN. ABUTTING RESIDENTIAL)	3m BUFFER & 2m HIGHT TIGHT BOARD FENCE (ALONG LOT LINE)	COMPLIES (SEE SECTION & PLANS)
PARKING	1 / 24m2 OF GFA (MULTIPLE COMMERCIAL	45 Commercial Spaces
(MIN)	USES) &	-6 Replaced parking spots for 430 Essa
	1.0 SPACES/UNIT (RESIDENTIAL)	231 Residential Spaces + 4 tandem spots
	45 Com/257 Res	(4 Type A & 5 Type B BF spaces included)
PARKING COVERAGE APARTMENT DWELLING UNITS (MAX % LOT)	35%	18.4 % (10 RESIDENTIAL PARKING SPACE AT GRADE)
FRONT YARD PARKING (MAX)	0%	N/A
PARKING STALL SIZE (MIN)	REGULAR: 2.7m x 5.5m PARALLEL: 2.7m x 6.7m	COMPLIES
PARKING STALL SIZE - BARRIER FREE	TYPE A 3.4m x 5.5m	COMPLIES
(MIN)	TYPE B 3.1m x 5.5m WITH 1.5m ACCESS AISLE	
DRIVE AISLE WIDTH (MIN)	6.4 m	6.4 m
LOADING SPACES	1 SPACE	1 SPACE
(MIN)	3m x 9m x 4m(w x l x h)	3m x 9m x 4m(w x l x h)
ACCESSORY BUILDING	HEIGHT(MAX): 4M, CONNOT OCCUPY	N/A

HEIGHT(MAX): 4M, CONNOT OCCUPY FRONT OR EXTERIOR SIDE YARDS. SIDE: 0.6m, LOT(MAX): LESSER OF 10% OR 50m2 Issued:

ZBA

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Minor Variance Jun. 10, 2022

SPA 2 Apr. 30, 2021

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Drawings submitted by the Contractor for

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Toronto, ON M3J 0H1

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PROPOSED MIXED-USE DEVELOPMENT

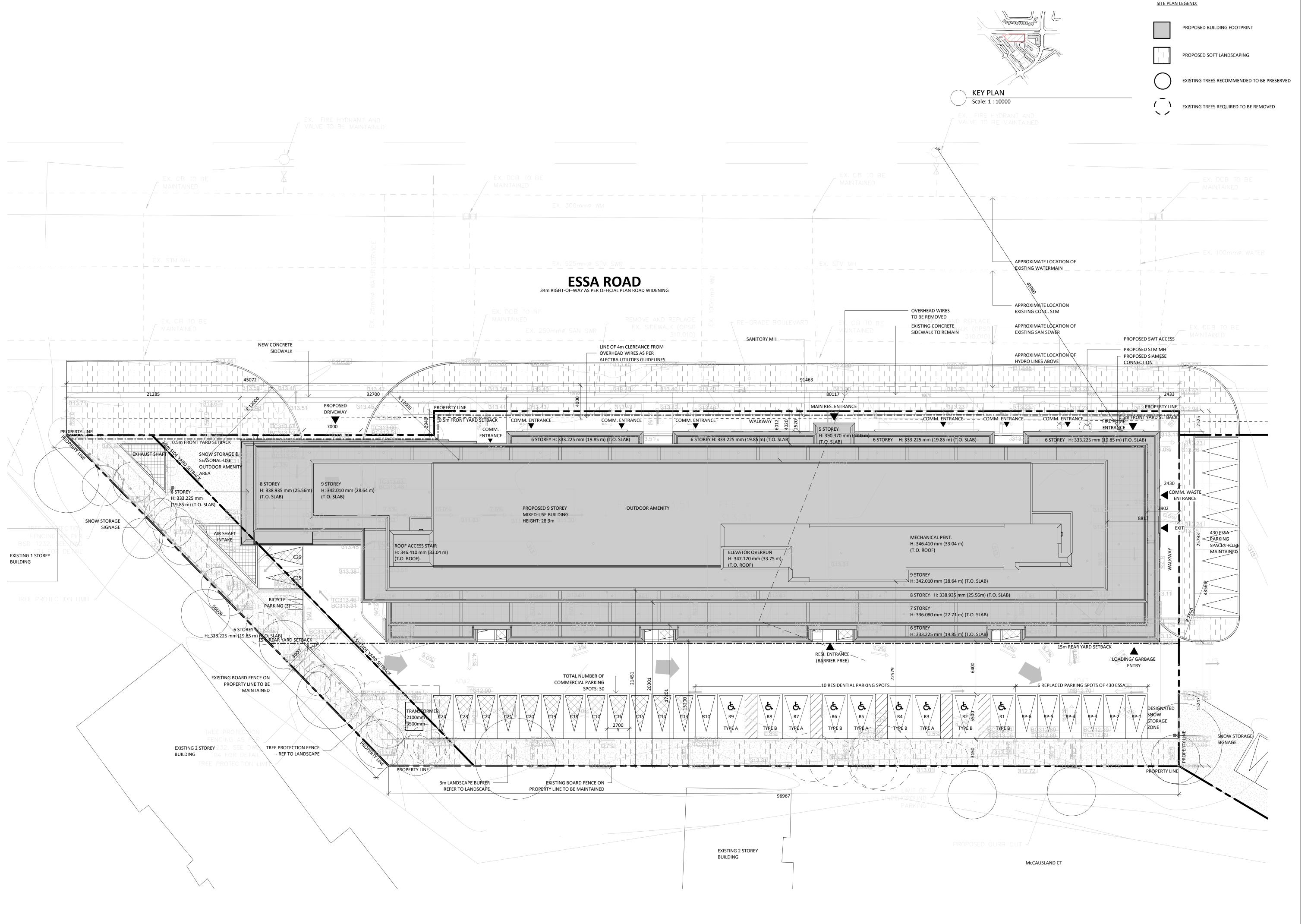
ADDRESS: 440 Essa Road , Barrie, ON

DEVELOPMENT STATISTICS

Project No.: 1905
Scale:
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 0.00



 SPA 3
 Mar. 03, 2023

 Minor Variance
 Jun. 10, 2022

 SPA 2
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Architect:

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Toronto, ON M3J 0H1
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PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:

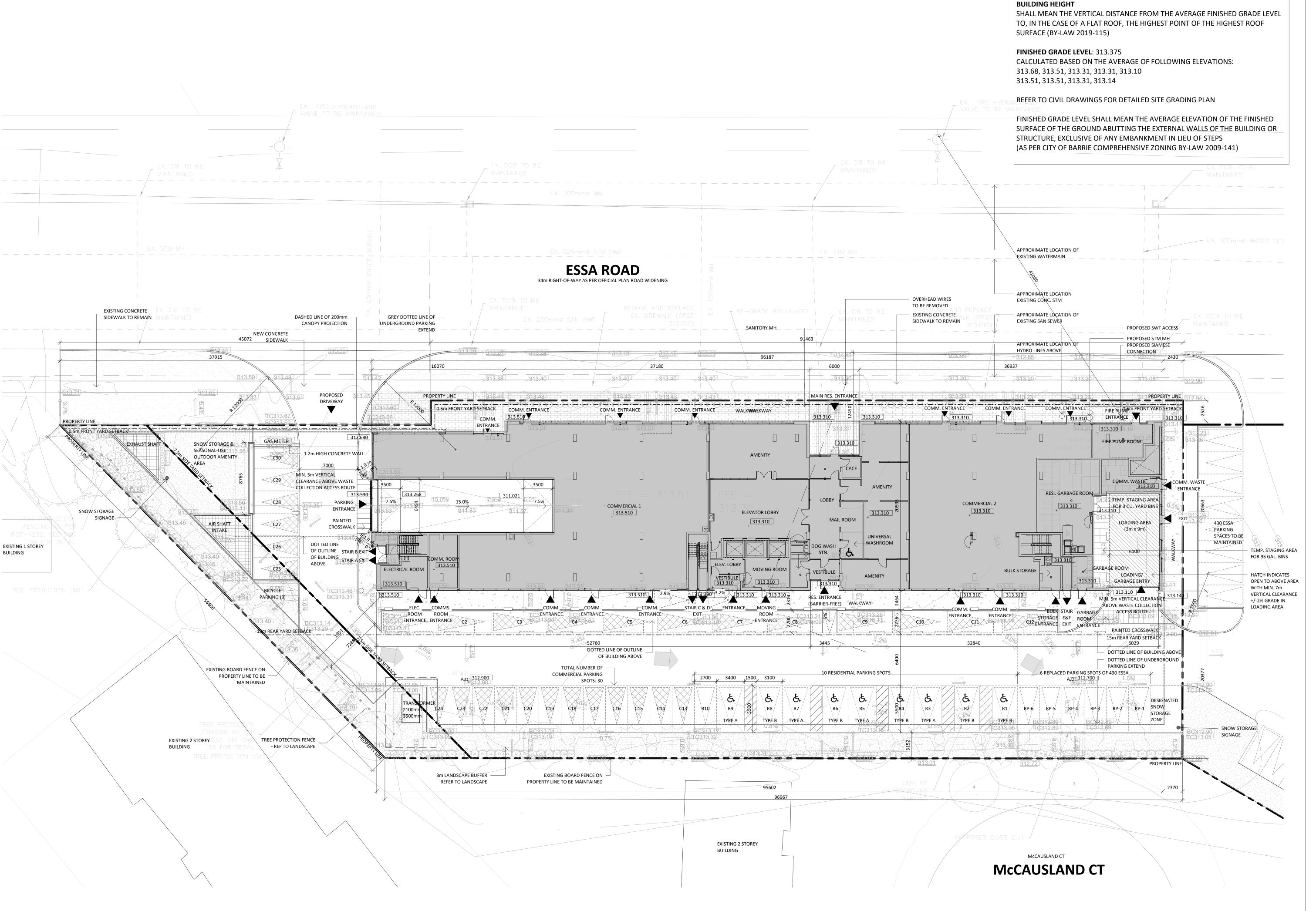
440 Essa Road , Barrie, ON

SITE PLAN

Project No.: 1905 Scale: 1:200 Date: Mar. 3, 2023 Drawn by: STUDIO JCI

Drawing No.:

A 1.01



**BUILDING HEIGHT DETERMINED AS FOLLOWS:** 

SPA 3 Mar. 03, 2023

Minor Variance Jun. 10, 2022 SPA 2 Apr. 30, 2021 SPA Dec. 21, 2020 ZBA Aug. 23, 2019 No. Issued for General Notes: 1. These Contract Documents are the

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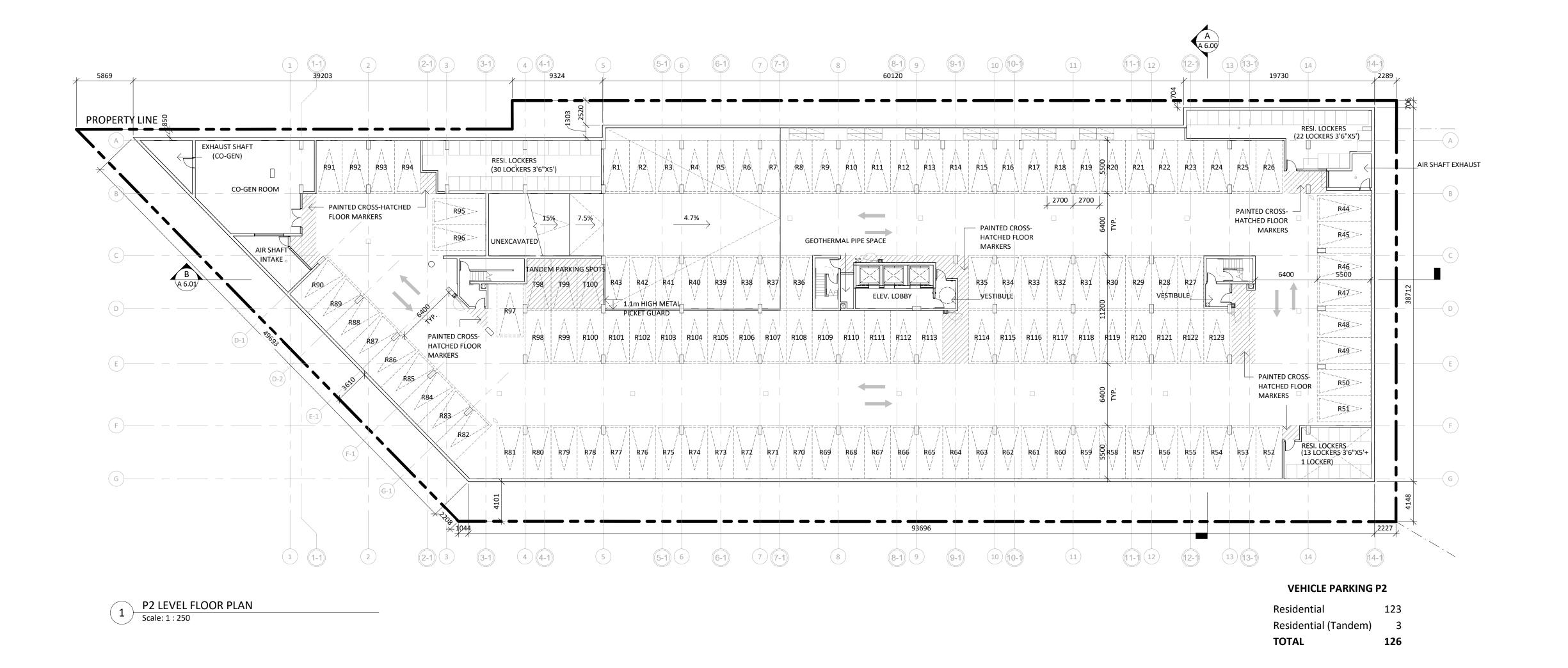
TRUE NORTH

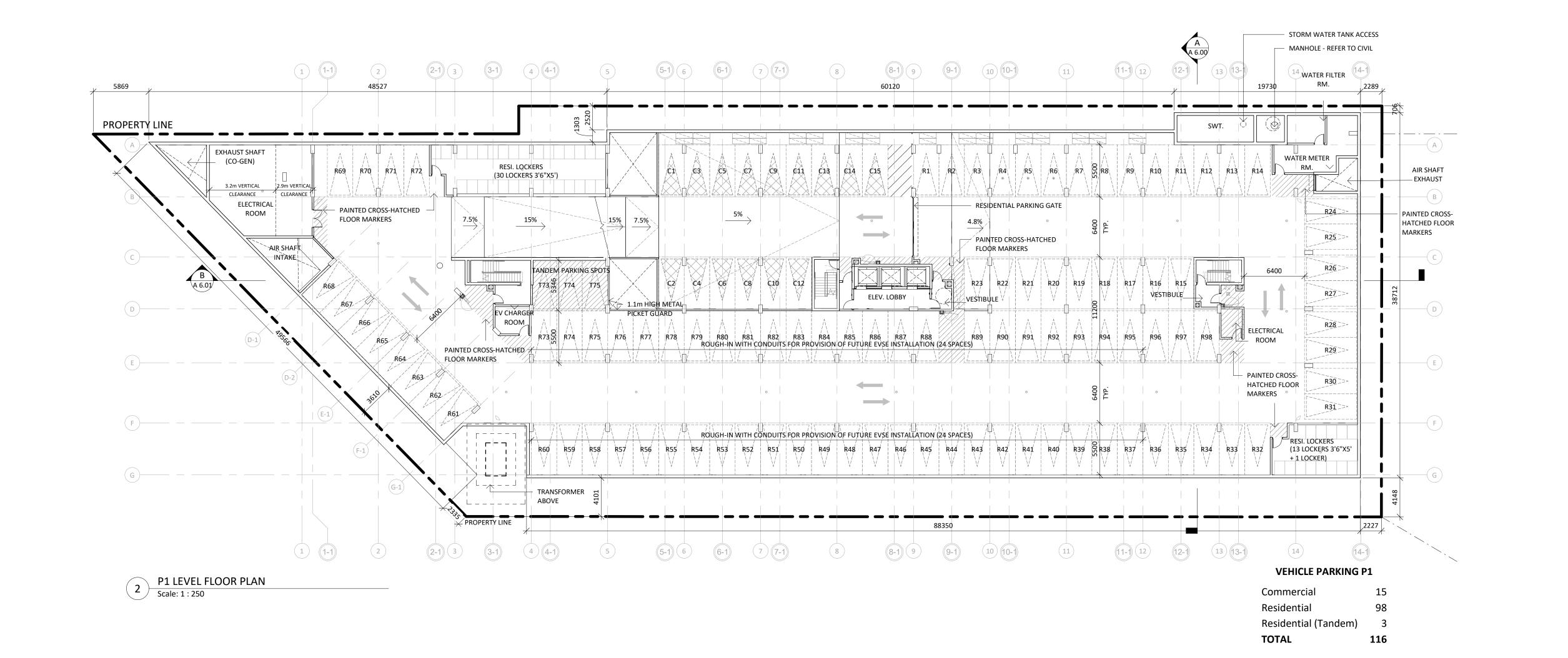
PROPOSED MIXED-USE DEVELOPMENT

ADDRESS: 440 Essa Road , Barrie, ON

**GROUND FLOOR** SITE PLAN

Mar. 3, 2023 Drawn by: STUDIO JCI





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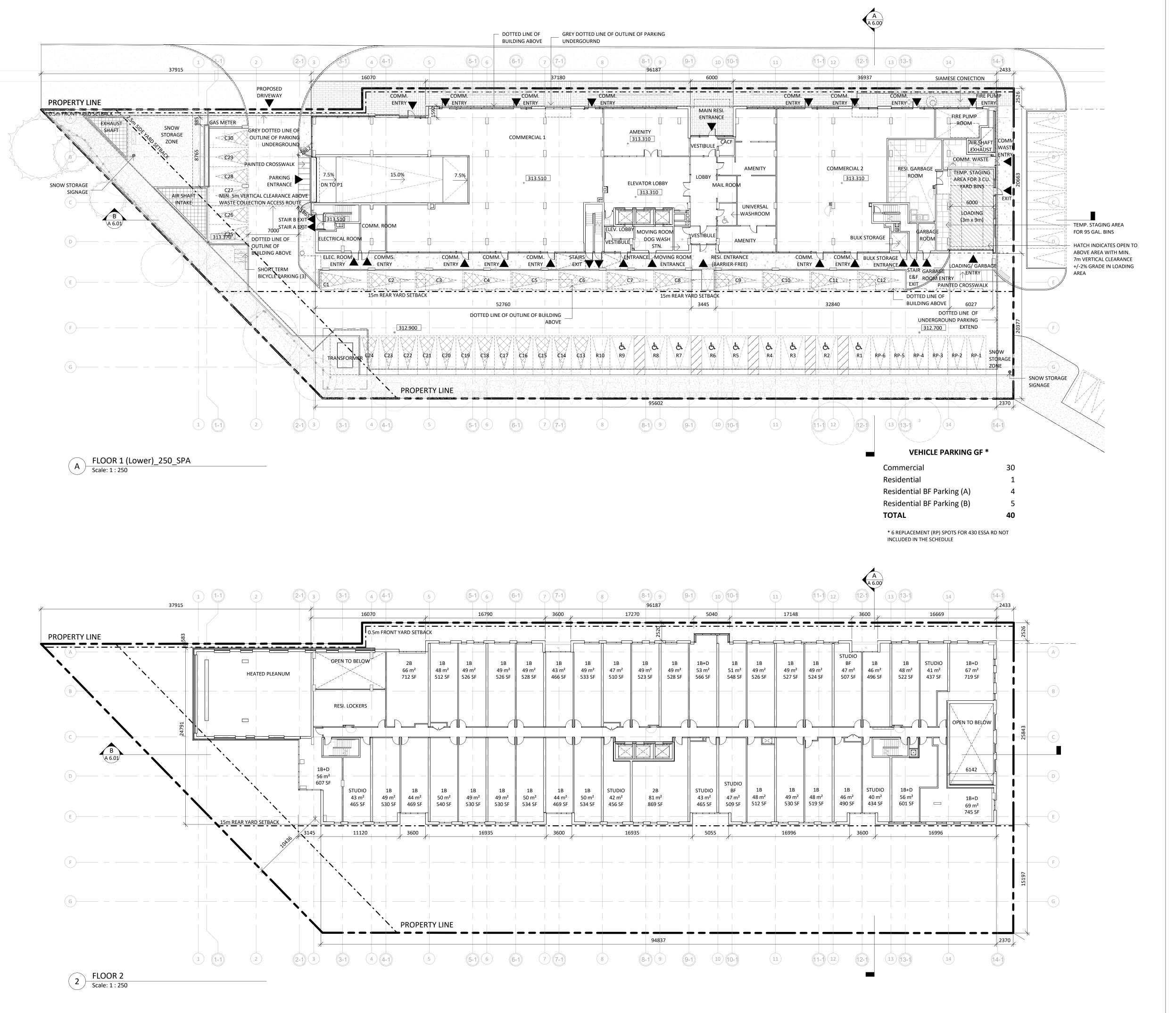
TRUE NORTH PROJECT NORTH

PROPOSED MIXED-USE DEVELOPMENT

440 Essa Road , Barrie, ON

P2 & P1 LEVEL

Scale: 1:250 Date: Mar. 3, 2023 Drawn by: STUDIO JCI



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ZBA

No. Issued for

2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.

3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect

STUDIO

20 De Boers Drive suite 525

Toronto, ON M3J 0H1 t. 416.901.6528







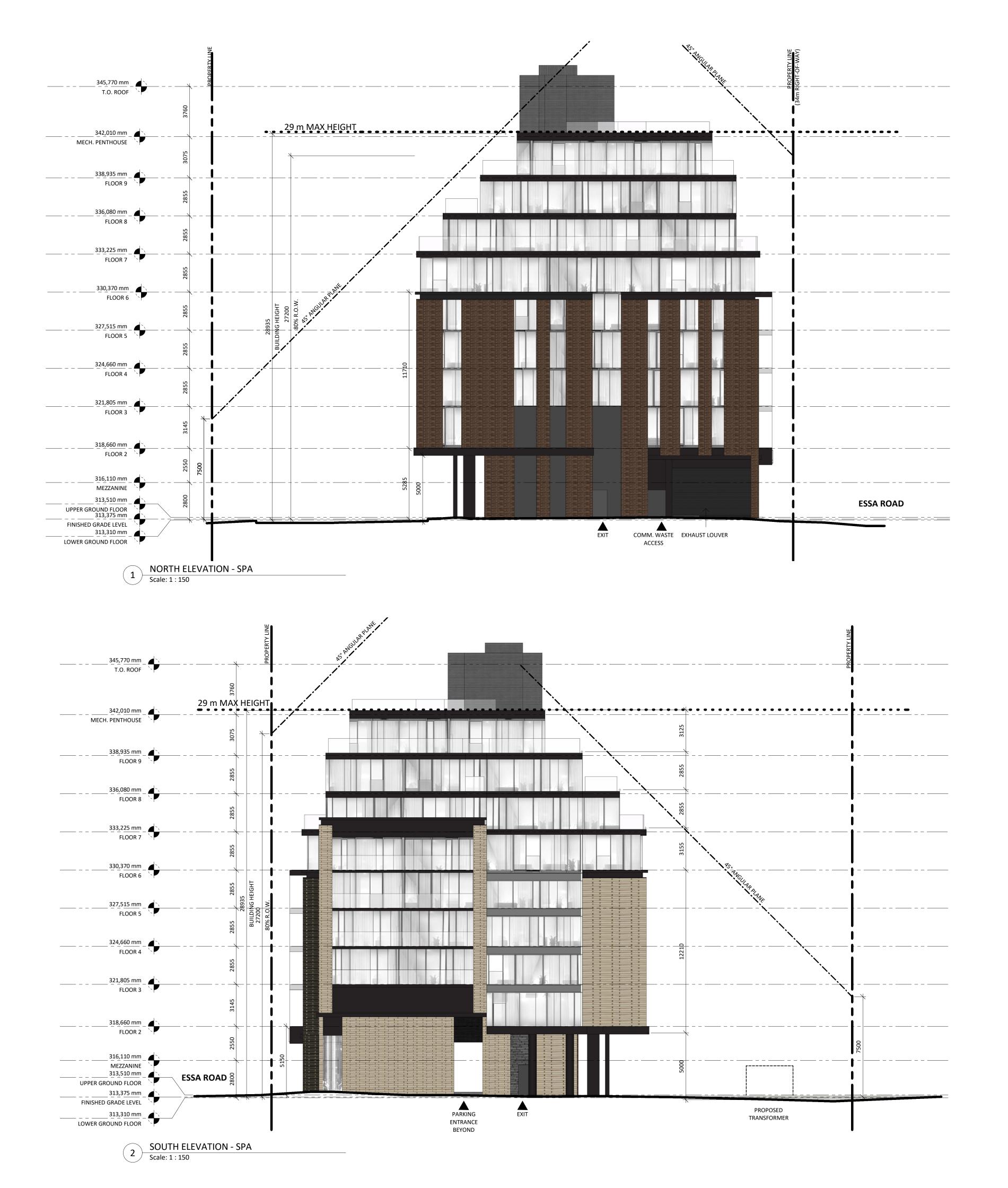
TRUE NORTH PROJECT NORTH

PROPOSED MIXED-USE DEVELOPMENT

ADDRESS: 440 Essa Road , Barrie, ON

G.F.& 2ND FLOOR **PLANS** 

Project No.: 1905 Scale: 1:250 Date: Mar. 3, 2023 Drawn by: STUDIO JCI



No. Issued for

SPA 3 Mar. 03, 2023
Minor Variance Jun. 10, 2022
SPA 2 Apr. 30, 2021
SPA Dec. 21, 2020
ZBA Aug. 23, 2019

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STUDIO

JCI

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t. 416.901.6528 www.studiojci.com



PROPOSED MIXED-USE DEVELOPMENT

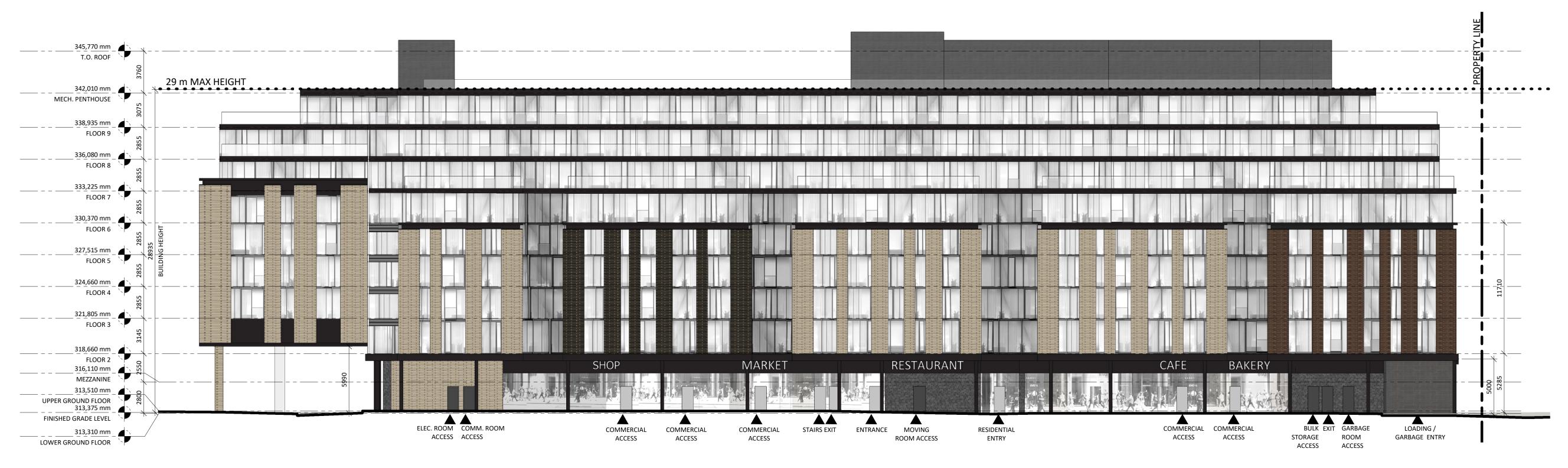
ADDRESS: 440 Essa Road , Barrie, ON

# NORTH & SOUTH ELEVATIONS

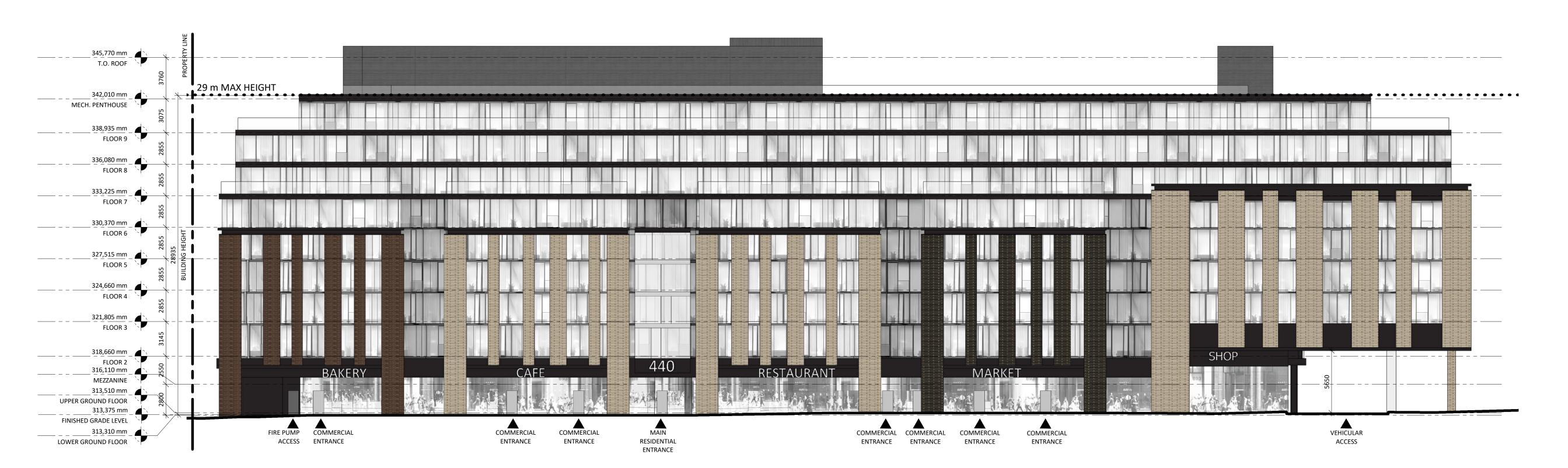
Project No.: 1905
Scale: 1 : 150
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 5.00



EAST ELEVATION
Scale: 1:200



WEST ELEVATION
Scale: 1:200

Issued:

 SPA 3
 Mar. 03, 2023

 Minor Variance
 Jun. 10, 2022

 SPA 2
 Apr. 30, 2021

 SPA
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Architect:

STUDIO

JCI

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Toronto, ON M3J 0H1
t. 416.901.6528

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PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:

440 Essa Road , Barrie, ON

EAST & WEST

ELEVATIONS

Project No.: 1905
Scale: 1 : 200
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 5.03



No. Issued for

 SPA 3
 Mar. 03, 2023

 SPA 2
 Apr. 30, 2021

 SPA
 Dec. 21, 2020

 ZBA
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PROPOSED MIXED-USE DEVELOPMENT

ADDRESS: 440 Essa Road, Barrie, ON

DETAIL ELEVATION

Project No.: 1905
Scale:
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawn by:

Prawing No.:
A 5.02



 GREY ALUMINUM HORIZONTAL SIDING



 DARK BROWN METAL (Window mullions, pre-finished metal panels, canopy finish, slab edge cover)



3. BRICK 1



4. BRICK 2



5. BRICK 3



Essa Road

SPA 3 Mar. 03, 2023
SPA 2 Apr. 30, 2021
SPA Dec. 21, 2020

Aug. 23, 2019

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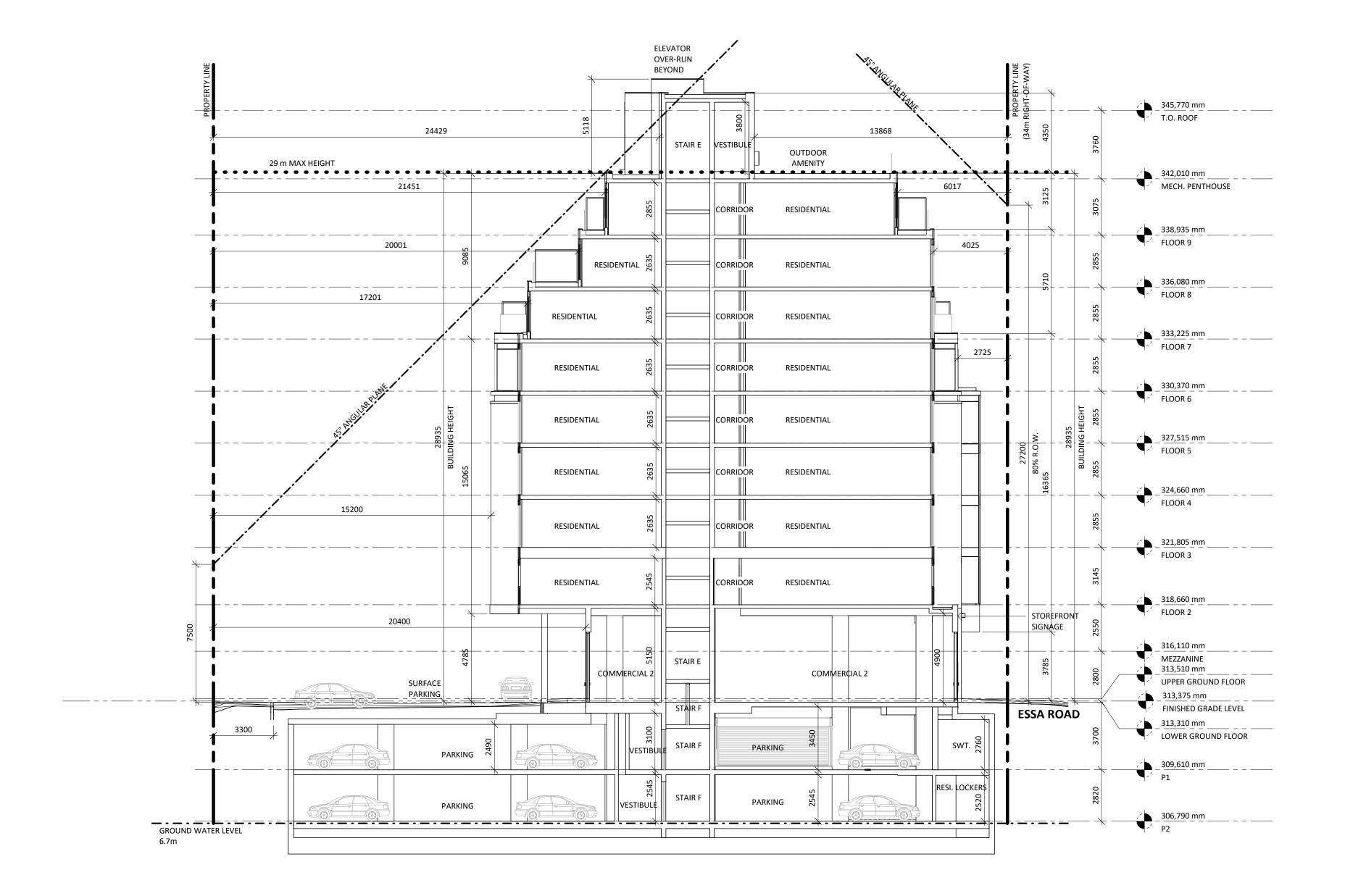
ADDRESS: 440 Essa Road , Barrie, ON

MATERIAL BOARD

Project No.: 1905
Scale: 1 : 170
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

<u>Δ</u> 5 Ω3



A SECTION A - SPA Scale: 1:150

## Issued:

General Notes:

	SPA 3	Mar. 03, 2023
	Minor Variance	Jun. 10, 2022
	SPA 2	Apr. 30, 2021
	SPA	Dec. 21, 2020
	ZBA	Aug. 23, 2019
No.	Issued for	Date

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PROPOSED MIXED-USE DEVELOPMENT

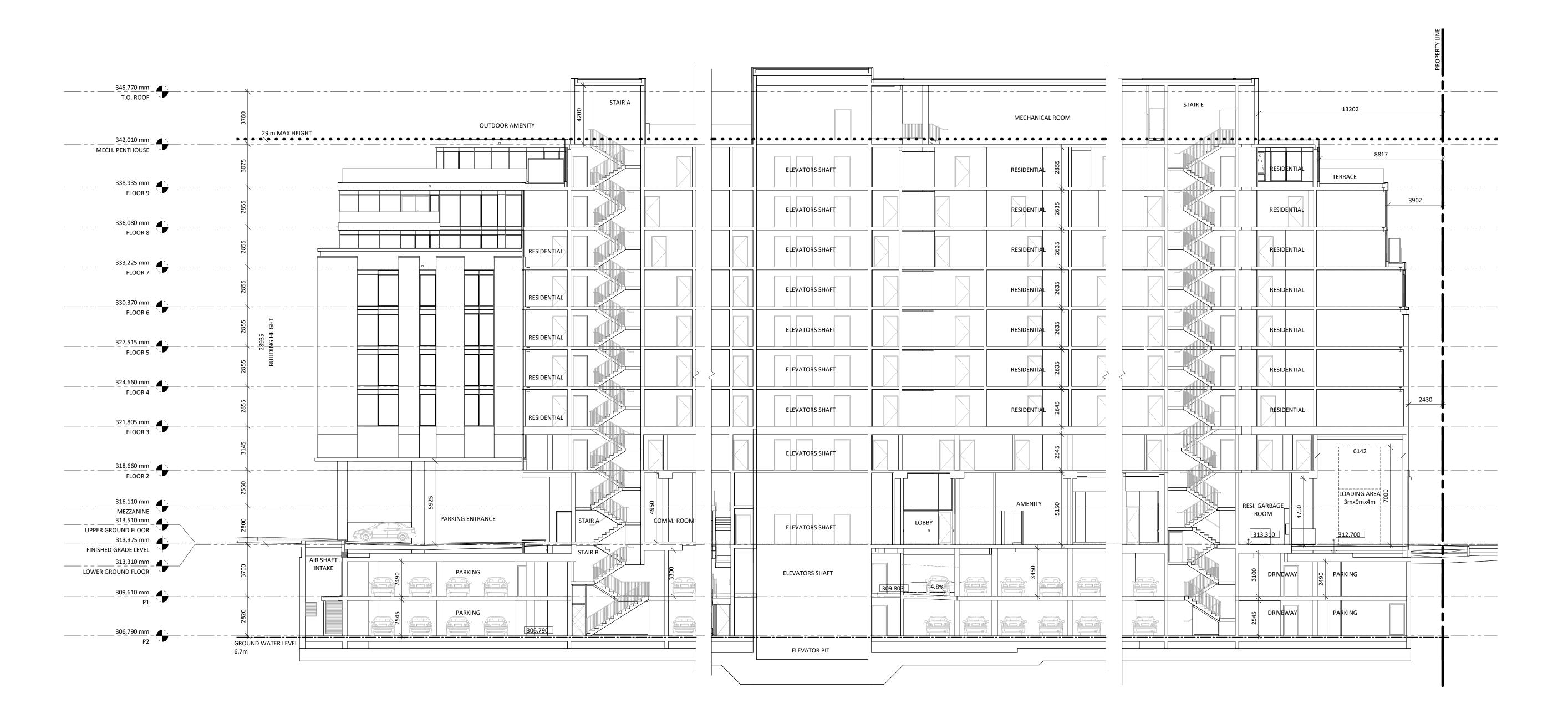
ADDRESS: 440 Essa Road , Barrie, ON

BUILDING SECTION

Project No.: 1905
Scale: 1 : 150
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 6.00



B SECTION B - SPA
Scale: 1:150

	SPA 3		Mar. 03, 20
	Minor Variand	ce	Jun. 10, 20
	SPA 2		Apr. 30, 20
	SPA		Dec. 21, 20
	ZBA		Aug. 23, 20
No.	Issued for		Da
		Minor Variand SPA 2 SPA	Minor Variance SPA 2 SPA ZBA

Issued:

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PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:

440 Essa Road , Barrie, ON
BUILDING SECTION

Project No.: 1905
Scale: 1:150
Date: Mar. 3, 2023

Drawn by: STUDIO JCI

Drawing No.:

No.:





3 SOUTH EAST CORNER





WEST (FRONT) ELEVATION

Issued:

No. Issued for

SPA 3 Mar. 03, 2023 Minor Variance Jun. 10, 2022 SPA 2 Apr. 30, 2021 Dec. 21, 2020 Aug. 23, 2019 Date ZBA

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PROPOSED MIXED-USE DEVELOPMENT

ADDRESS: 440 Essa Road , Barrie, ON

**3D VIEWS** 

Date: Mar. 3, 2023 Drawn by: STUDIO JCI