

545 DUNLOP STREET

545 Dunlop St W, Barrie, ON L4N 9W4

ARCHITECTS PROJECT # 225058

A PROJECT FOR
FIRST GULF

CIVIL

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LANDSCAPE

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OWNER

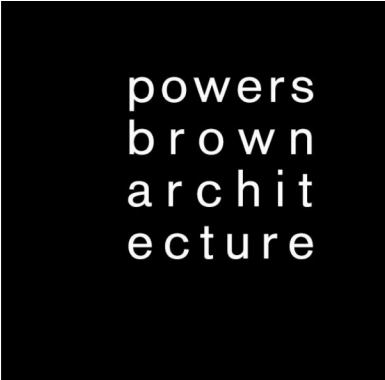
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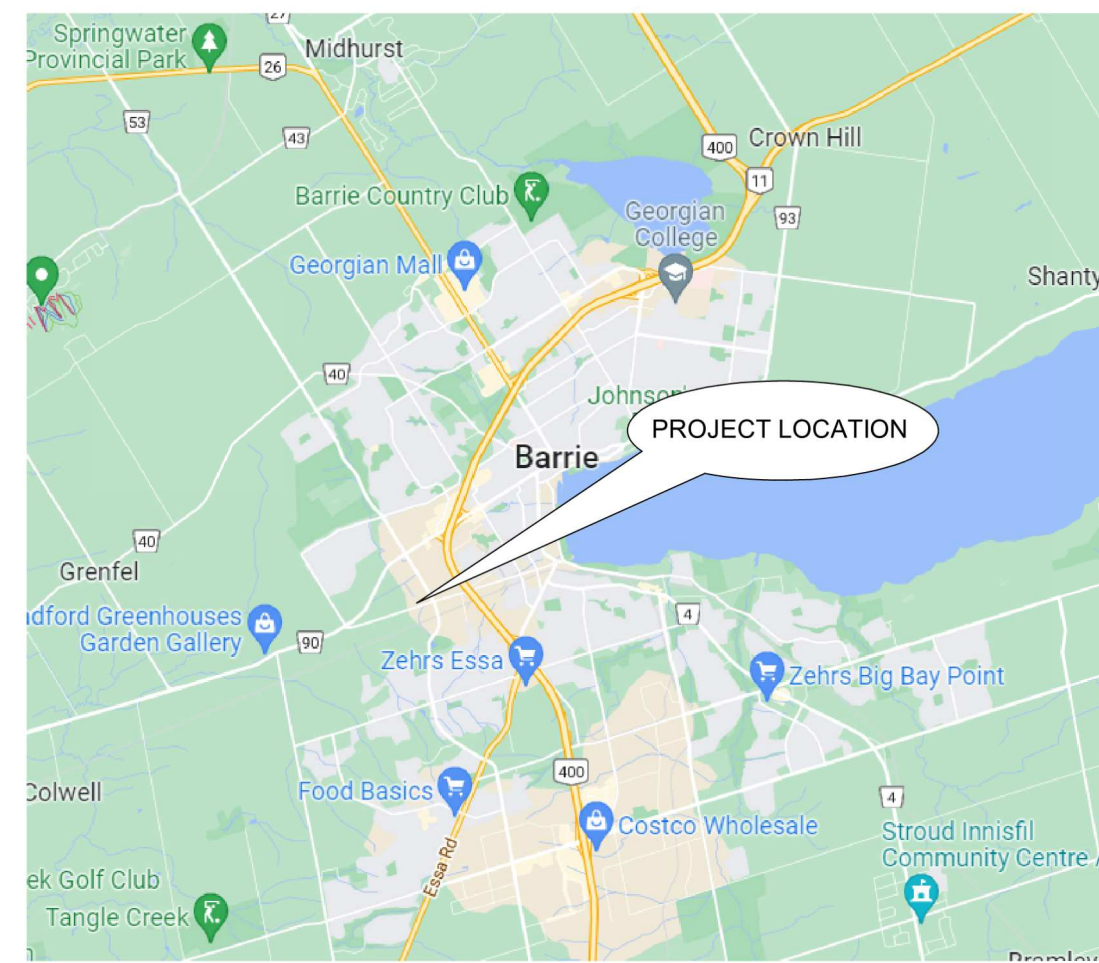
ABBREVIATIONS

Ø	DIAMETER	PTD	PAINTED
CL	CENTER LINE	R	RADIUS, RISER OR RISERS
#	POUND/NUMBER	RD	ROOF DRAINS
&	AND	REV	REVISION
@	AT	REQD	REQUIRED
A/C	AIR CONDITIONING	RM	ROOM
ACT	ACOUSTICAL CEILING	RO	ROUGH OPENING
ADA	AMERICANS WITH DISABILITIES ACT	ROR	RIGHT OF REVEAL
ADDL	ADDITIONAL	RTU	ROOF TOP UNIT
AFF	ABOVE FINISH FLOOR	SCWD	SOLID CORE WOOD DOOR
AFG	ABOVE FINISH GRADE	SECT	SECTION
AHU	AIR HANDLING UNIT	SIM	SIMILAR
ALT	ALTERNATE	SPEC'D	SPECIFIED
ALUM	ALUMINUM	SQ	SQUARE
ARCH	ARCHITECT	SST	STAINLESS STEEL
		STO	STORAGE
BD	BOARD	STRUCT	STRUCTURAL
BFF	BELOW FINISH FLOOR		
BLDG	BUILDING	TOC	TOP OF CURB
BOM	BOTTOM OF MULLION	TOM	TOP OF MULLION
BOR	BOTTOM OF REVEAL	TOP	TOP OF PARAPET
		TOR	TOP OF REVEAL
CAB	CABINET	TOS	TOP OF SLAB
CJ	CONTROL JOINT/ CONSTRUCTION JOINT	TW	TILT WALL
		TYP	TYPICAL
CLG	CEILING	UNO	UNLESS NOTED OTHERWISE
CIP	CAST-IN-PLACE	VCT	VINYL COMPOSITION TILE
CLR	CLEAR	VERT	VERTICAL
CMU	CONCRETE MASONRY UNIT	VEST	VESTIBULE
COL	COLUMN		
CONC	CONCRETE	W/	WITH
CONSTR	CONSTRUCTION	W/O	WITHOUT
CONT	CONTINUE	WD	WOOD
CORR	CORRIDOR	WDW	WINDOW
CT	CERAMIC TILE		
DF	DRINKING FOUNTAIN		
DIM	DIMENSION		
DIST	DISTANCE		
DS	DOWNSPOUT		
DWG	DRAWING		
EIFS	EXTERIOR INSULATED FINISH SYSTEM		
EJ	EXPANSION JOINT		
ELEC	ELECTRIC		
ELEV	ELEVATOR		
EQ	EQUAL		
EXIST	EXISTING		
EXP	EXPANSION		
EXT	EXTERIOR		
FD	FLOOR DRAIN		
FE	FIRE EXTINGUISHER		
FEC	FIRE EXTINGUISHER CABINET		
FLR	FLOOR OR FLOORING		
FLUOR	FLUORESCENT		
FIN	FINISH		
FIXT	FIXTURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GYP	GYPSUM		
HB	HOSE BIB		
HDW	HARDWARE		
HM	HOLLOW METAL		
HNDRL	HANDRAIL		
HORIZ	HORIZONTAL		
HT	HEIGHT		
INSUL	INSULATION		
INFO	INFORMATION		
INT	INTERIOR		
JAN	JANITOR		
LAV	LAVATORY		
LDG	LANDING		
LOR	LEFT OF REVEAL		
LT	LIGHT		
LWC	LIGHTWEIGHT CONCRETE		
MAX	MAXIMUM		
MFR	MANUFACTURER		
MIN	MINIMUM		
MO	MASONRY OPENING		
MTD	MOUNTED		
MTL	METAL		
MULL	MULLION		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
OC	ON CENTER		
OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED		
OF/OI	OWNER FURNISHED/ OWNER INSTALLED		
OPH	OPPOSITE HAND		
PLAM	PLASTIC LAMINATE		
PLYWD	PLYWOOD		
PR	PAIR		

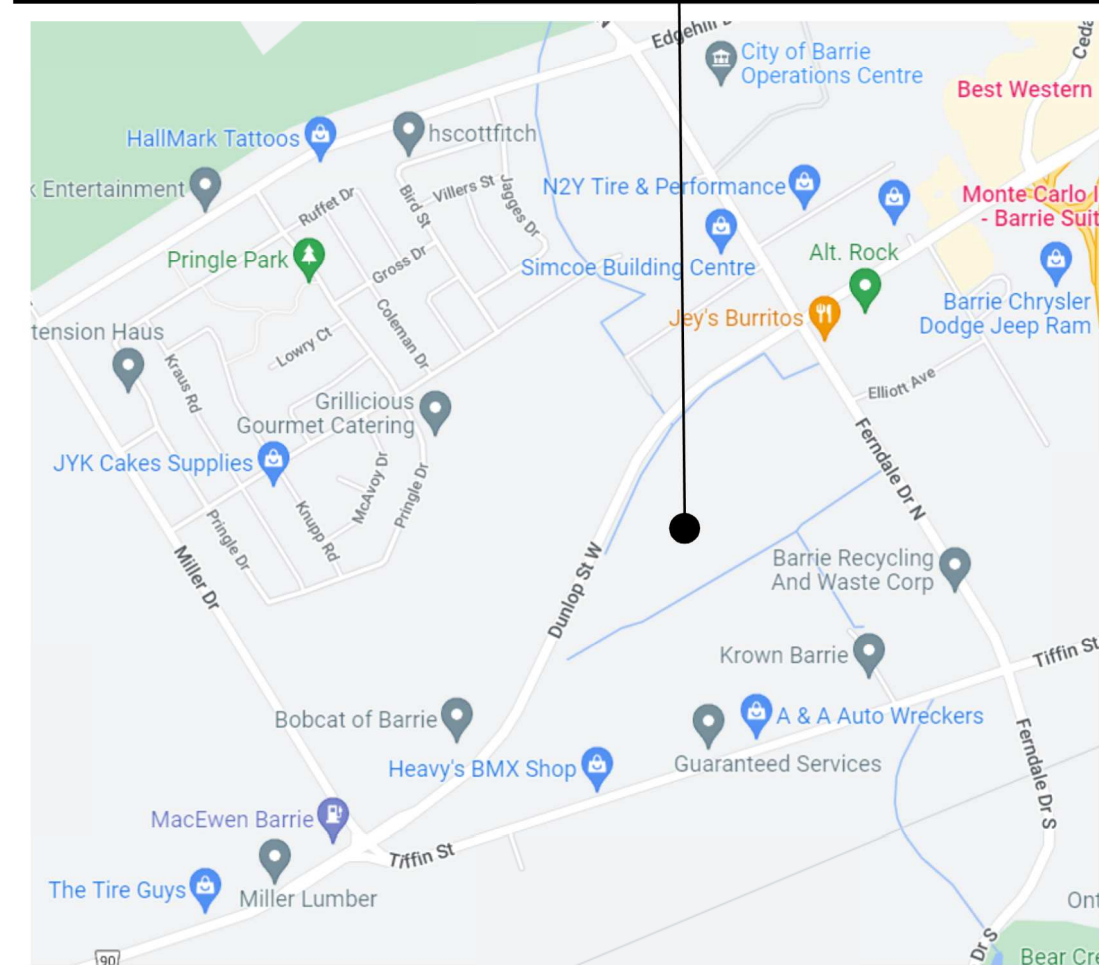
SYMBOL LEGEND

	NORTH ARROW
	COLUMN ID
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW PARTITION
	HEAD CONDITION (LETTER)
	STUD SIZE (NUMBER)
	EXISTING DOOR
	NEW DOOR
	TO CENTER LINE OF BUILDING ELEMENT
	FACE OF FINISH
	DETAIL NUMBER
	SHEET NUMBER
	DESCRIPTION OF SIMILAR OR OPPOSITE
	AREA TO BE DETAILED
	BUILDING SECTION DETAIL NUMBER
	SHEET NUMBER
	WALL SECTION OR DETAIL NUMBER
	SHEET NUMBER
	DETAIL NUMBER
	DIRECTION OF ELEVATION
	SHEET NUMBER
	ROOM NAME
	ROOM NUMBER
	ROOM AREA
	DOOR NUMBER (WITH SCHEDULE)
	KEYNOTE TAG
	WINDOW TAG
	FINISH - WALL (WITH SCHEDULE)
	FINISH - BASE (WITH SCHEDULE)
	FINISH - FLOOR (WITH SCHEDULE)
	FINISH - CEILING (WITH SCHEDULE)
	DIMENSION OF CEILING ABOVE FINISH FLOOR
	EQUIPMENT (WITH SCHEDULE)
	WALL MOUNTED ONE-WAY SWITCH
	DATA / TELEPHONE, WALL MTD
	TELEPHONE ONLY, WALL MTD
	DATA ONLY, WALL MTD
	DATA / TELEPHONE, FLOOR MTD
	110 DUPLEX RECEPTACLE, WALL MTD
	110 DUPLEX RECEPTACLE, FLOOR MTD
	DUPLEX CONVENIENCE, WALL MTD
	DUPLEX DEDICATED, WALL MTD
	DUPLEX SEPARATE, WALL MTD
	DOUBLE DUPLEX CONVENIENCE, WALL MTD
	DOUBLE DUPLEX DEDICATED, WALL MTD
	DOUBLE DUPLEX SEPARATE, WALL MTD
	DOUBLE DUPLEX RECEPTACLE, FLOOR MTD
	SIMPLEX CONVENIENCE, WALL MTD
	SIMPLEX DEDICATED, WALL MTD
	SIMPLEX SEPARATE, WALL MTD
	CEILING MOUNTED EXIT SIGN
	FIRE EXTINGUISHER CABINET

VICINITY MAP



PROJECT LOCATION



545 DUNLOP STREET WEST
BARRIE, ON L4N 9W4

DRAWING INDEX

Future Issue (12)	Future Issue (11)	Future Issue (10)	Future Issue (09)	Future Issue (08)	Future Issue (07)	Future Issue (06)	Future Issue (05)	Future Issue (04)	Future Issue (03)	Future Issue (02)	ISSUE FOR SPA	Sheet Number	Sheet Name
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• G000	COVER
• G001	DRAWING INDEX, SYMBOL LEGEND & ABBREVIATION INDEX
• G002	OBC CODE SUMMARY
• AS101	OVERALL SITE PLAN

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• A110	OVERALL ROOF PLAN
• A201	OVERALL BUILDING ELEVATIONS
• A301	OVERALL BUILDING SECTIONS

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• C-101	EROSION & SEDIMENT CONTROL AND REMOVALS (STAGE 1)
• C-102	EROSION & SEDIMENT CONTROL AND REMOVALS (STAGE 2)
• C-103	EROSION & SEDIMENT CONTROL AND REMOVALS (STAGE 3)
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• C-301	STORMWATER AND SECTIONS
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• C-701	EXISTING STORM DRAINAGE PLAN
• C-702	PROPOSED STORM DRAINAGE PLAN
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• C-713	STORM DRAINAGE PLAN

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• LP3	LANDSCAPE PLAN
• LP4	LANDSCAPE PLAN
• LP5	LANDSCAPE PLAN
• LP6	LANDSCAPE PLAN
• RP1	SWM P RESTORATION PLANTING PLAN (TO BE SUBMITTED AT THE LATER DATE)
• RP2	SWM P SEEDING PLAN (TO BE SUBMITTED AT A LATER DATE)
• RP3	SWM P RESTORATION NOTES/PLANT LIST (TO BE SUBMITTED AT THE LATER DATE)
• TP-1	TREE PRESERVATION PLAN
• TP-2	TREE PRESERVATION PLAN
• TP-3	TREE PRESERVATION NOTES AND DETAILS
• TP-4	TREE PRESERVATION LIST

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PROJECT TITLE
545 DUNLOP STREET
 545 Dunlop St W, Barrie, ON L4N 9W4
 A PROJECT FOR
FIRST GULF

GENERAL NOTES

- ALL MATERIALS ON JOB TO COMPLY WITH FEDERAL AND STATE VOC/AIM REGULATIONS.
- ALL CONSTRUCTION TO COMPLY WITH LOCAL ACCESSIBILITY CODES, CURRENT ENERGY CODE AND LOCAL AMMENDMENTS OR REQUIREMENTS.
- ALL FIRE WALL PENETRATIONS SHALL BE SEALED WITH FIRE RATED FOAM SEALANT (BOTH SIDES OF WALL). SEALANT TYPE SHALL BE A COMPATIBLE RATING TO THE WALL SYSTEMS.
- MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND/OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.
- WHERE REQUIRED BY CODE ALUMINUM VERTICAL MULLIONS TO RECEIVE STEEL STIFFENER TO ACHIEVE WIND LOAD CAPACITY.
- ALL WOOD FRAMING, BLOCKING, SHEATHING OR BRACING SHALL BE FIRE RETARDANT TREATED. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE FLOOR PLANS AND ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION, CONTACT THE ARCHITECT. DIMENSIONS ARE GIVEN TO FACE OF FINISH UNO.
- REFER TO BUILDING ELEVATION DRAWINGS FOR FINISH MATERIAL CALL OUTS AND PAINT REQUIREMENTS. VERIFY COLOR OF MATERIALS NOT SHOWN ON THE DRAWINGS WITH THE ARCHITECT.
- ALL GYPSUM BOARD THROUGHOUT THE PROJECT SHALL BE 5/8" THICK, UNO. (TYPE 'X' IF REQUIRED) USE WATER RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS AND 5/8" FIBER REINFORCED CEMENT BOARD BEHIND ALL WALL TILE.
- GALVANIZE ALL EXPOSED EXTERIOR STEEL.
- COORDINATE ALL REQUIRED ELECTRICAL CONDUITS AND SLEEVES FOR IRRIGATION UNDER SIDEWALK AREAS AT DECORATIVE LIGHT POLES AND PLANTERS WITH MECHANICAL AND ELECTRICAL PLANS.

Δ	DATE	REVISION
1	2023-02-02	ISSUED FOR SPA

PROJECT NO:	225058
DRAWN BY:	PBA
CHECKED BY:	PBA
SHEET NAME	
DRAWING INDEX, SYMBOL LEGEND & ABBREVIATION INDEX	

SEAL

SHEET NUMBER
G001

SITE INFORMATION

SITE STATISTIC

ZONING BY-LAW 2009-141
ZONE: GI (GENERAL INDUSTRIAL)

BY-LAW PROVISION (SECTION)	BY-LAW REQUIREMENT	PROVIDED
(7.3) MIN. LOT AREA	700 sm	80,132.85 sm / 862,542.81 sf
(7.3) MIN. LOT FRONTAGE	30 m	148.72 m
(7.3) MIN. FRONT YARD	7 m	19.00 m
(7.3) MIN. SIDE YARD	3 m	18.53 m
(7.3) MIN. REAR YARD	7 m	41.73 m
(7.3) MAX LOT COVERAGE	60%	40.31%
(7.3) MAX BUILDING HEIGHT	-	14.10m / 46.25'

LOT AREA	=	80,132.85 sm / 862,542.81 sf
BUILDING GFA	=	32,301.39 sm / 347,689.26 sf
LANDSCAPE AREA	=	23,370.69 sm / 251,560.01 sf
LANDSCAPE COVERAGE	=	29.16%

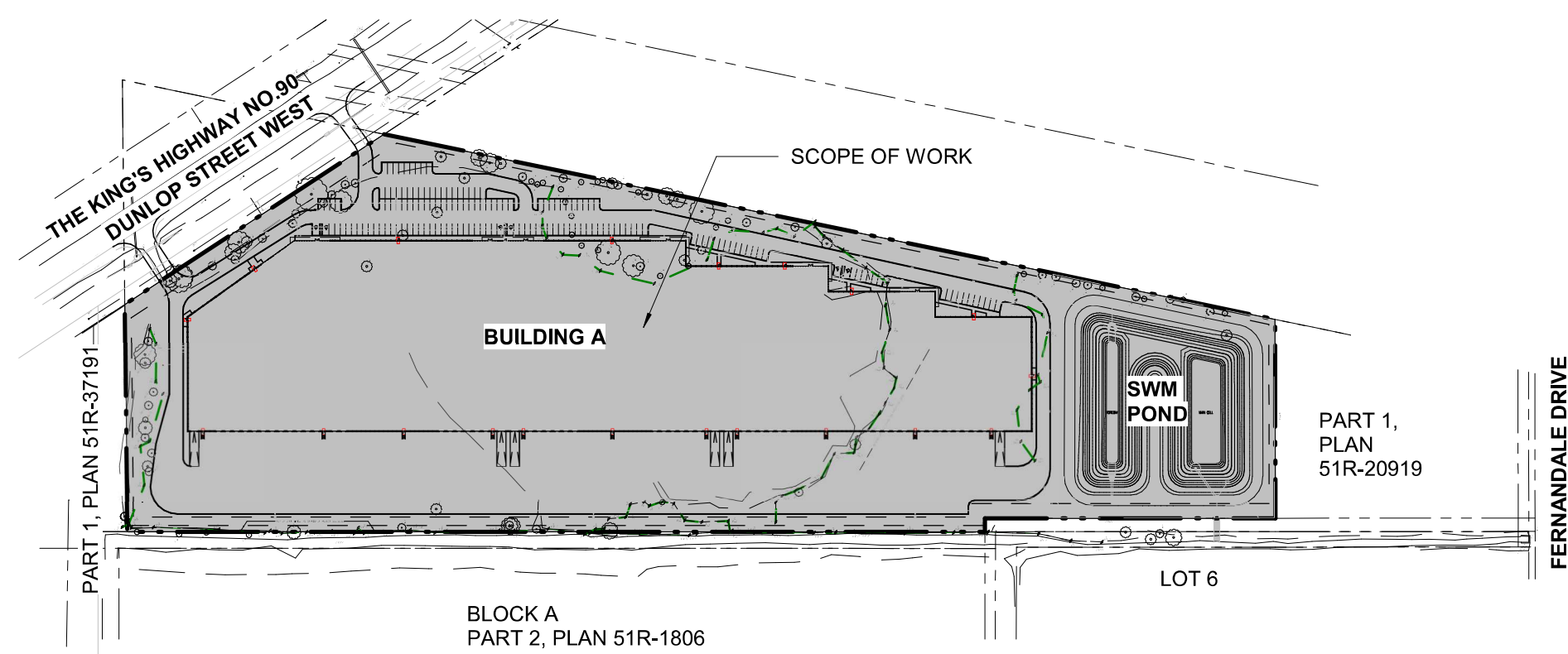
BUILDING		
WAREHOUSE	=	30,948.01 sm / 333,121.60 sf
FUTURE OFFICE	=	1,353.38 sm / 14,567.66 sf
TOTAL	=	32,301.39 sm / 347,689.26 sf

(4.7) LOADING SPACE REQUIREMENT

BY-LAW PROVISION (SECTION)	BY-LAW REQUIREMENT	PROVIDED
(4.7.1) WAREHOUSE (EXCLUDING SELF STORAGE)	GFA OF 20,000m ² PLUS: 4 SPACES PLUS 1 SPACE EACH PER ADDITIONAL 10,000m ² = 5 SPACES REQUIRED	= 51 SPACES PROVIDED
(4.7.1.2) SIZE OF LOADING SPACE	MIN = 3m X 9m W/ MIN. VERTICAL CLEARANCE OF 4m	= 3m X 9m

(4.0) CAR PARKING REQUIREMENT

BY-LAW PROVISION (SECTION)	BY-LAW REQUIREMENT	PROVIDED
(4.6) WAREHOUSE (EXCLUDING SELF STORAGE)	1 SPACE PER 1,000m ² OF GROSS FLOOR AREA 30,948.01m ² / 1000 = 31 SPACE	
(4.6) OFFICE	1 SPACE PER 30m ² OF GROSS FLOOR AREA MIN. 2 SPACES 1,353.38m ² / 30m ² = 46 SPACE	
TOTAL	= 77 SPACES REQUIRED	= 158 SPACES PROVIDED
(4.6.4) BARRIER FREE PARKING	BARRIER FREE PARKING REQUIREMENT (76 TO 100 SPACES) - 2 SPACES OF TYPE A - 2 SPACES OF TYPE B = 4 SPACES REQUIRED	= 6 SPACES PROVIDED
(4.6.2.5) PARKING SPACE DIMENSION	MIN = 2.7m X 5.5m = 2.7m X 5.5m MIN = 3.4m X 5.5m (TYPE A BARRIER FREE) = 3.4m X 5.5m MIN = 3.1m X 5.5m (TYPE B BARRIER FREE) = 3.1m X 5.5m	



OVERALL KEY MAP

SCALE: 1: 3000

PROJECT TITLE

545 DUNLOP STREET

545 Dunlop St W, Barrie, ON L4N 9W4

A PROJECT FOR
FIRST GULF

PLAN LEGEND

- CONCRETE SIDEWALK
- LANDSCAPE
- FUTURE OFFICE LOCATION
- NOT IN SCOPE
- PROPOSED FIRE HYDRANT (REF. TO CIVIL DWGS.)
- FH
- FIRE ROUTE MIN. R12
- PROPERTY LINE
- SETBACK
- DRIPLINE

GENERAL NOTES

- A REFER TO CIVIL DRAWINGS FOR SITE SERVICING AND SITE GRADING
- B REFER TO LANDSCAPE DRAWINGS FOR EXTENT OF WORK
- C REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL LIGHTINGS
- D FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED
- E PROVIDE FIRE ROUTE STRIPPING PER LOCAL JURISDICTION
- F FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.
- G FIRE DEPARTMENT ACCESS SITE CONCRETE PAVING TO BE CAPABLE OF WITHSTANDING 90,000 LBS UNDER ALL WEATHER CONDITIONS
- H ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION
- J ACCESSIBLE PARKING SPOTS AREA TO BE EQUIPPED TO MEET THE APPLICABLE ACCESSIBILITY CODE WITH SIGNAGE AND CORRECT STRIPING.
- K FIRE ROUTE TO HAVE
 - CLEAR WIDTH NOT LESS THAN 6 M
 - CENTRELINE RADIUS NOT LESS THAN 12 M
 - AN OVERHEAD CLEARANCE NOT LESS THAN 5 M
 - A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15 M.

Δ	DATE	REVISION
1	2023-02-02	ISSUED FOR SPA

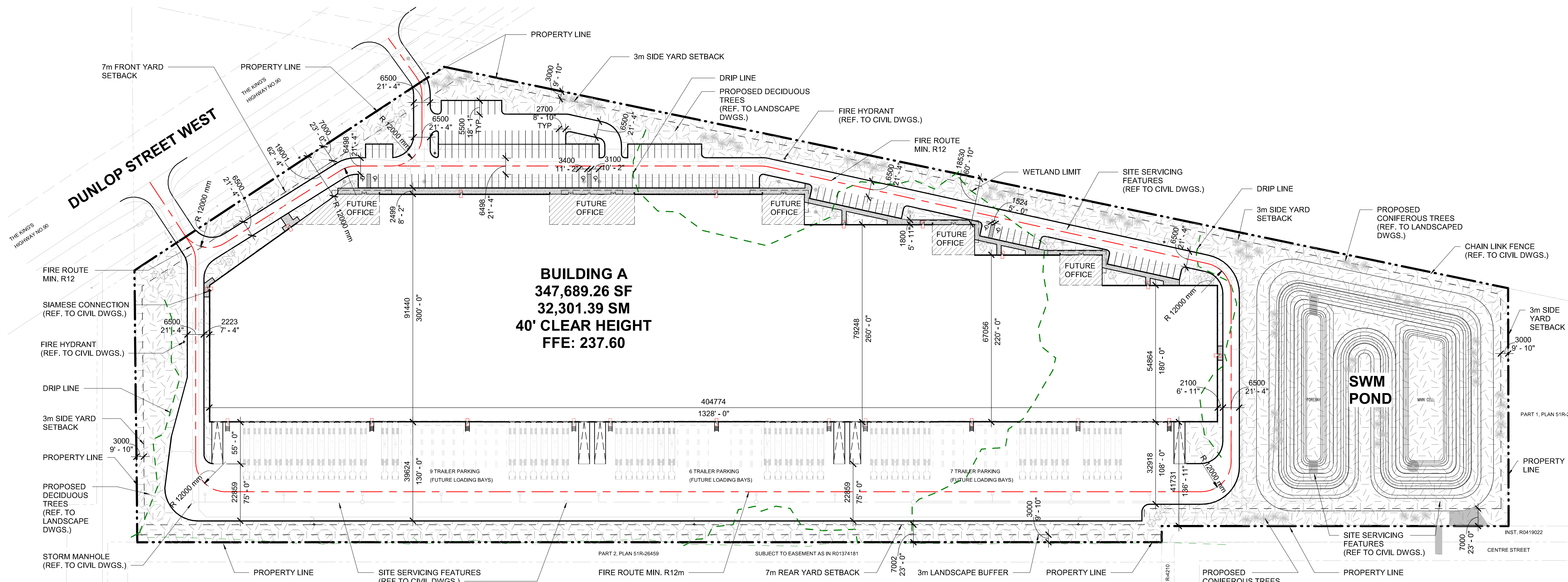
PROJECT NO: 225058
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SHEET NAME

OVERALL SITE PLAN

SEAL SHEET NUMBER



AS101



OVERALL SITE PLAN

SCALE: 1: 900

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PROJECT TITLE

545 DUNLOP STREET

545 Dunlop St W, Barrie, ON L4N 9W4

A PROJECT FOR

FIRST GULF

GENERAL NOTES

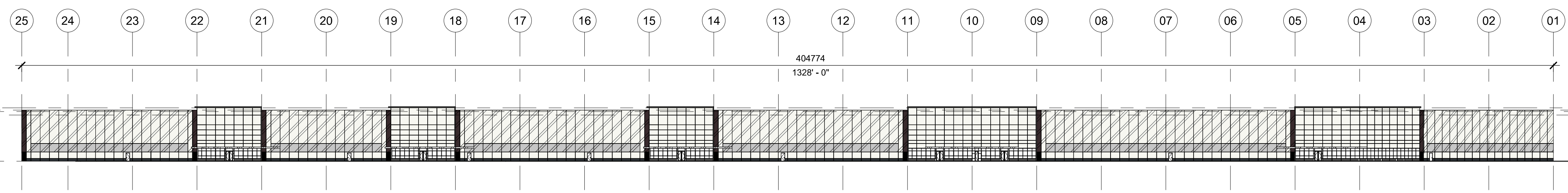
- LEGEND - OVERALL ELEVATIONS**
- PRECAST PANEL - PAINT 1
 - PRECAST PANEL - PAINT 2
 - PRECAST PANEL PAINT 3
 - INSULATED METAL PANEL - PAINT 1
 - INSULATED METAL PANEL - PAINT 2
 - INSULATED METAL PANEL - PAINT 3
 - PREFINISHED METAL CANOPY
 - GLAZING - VISION
 - GLAZING - SPANDREL

Δ	DATE	REVISION
1	2023-02-02	ISSUED FOR SPA

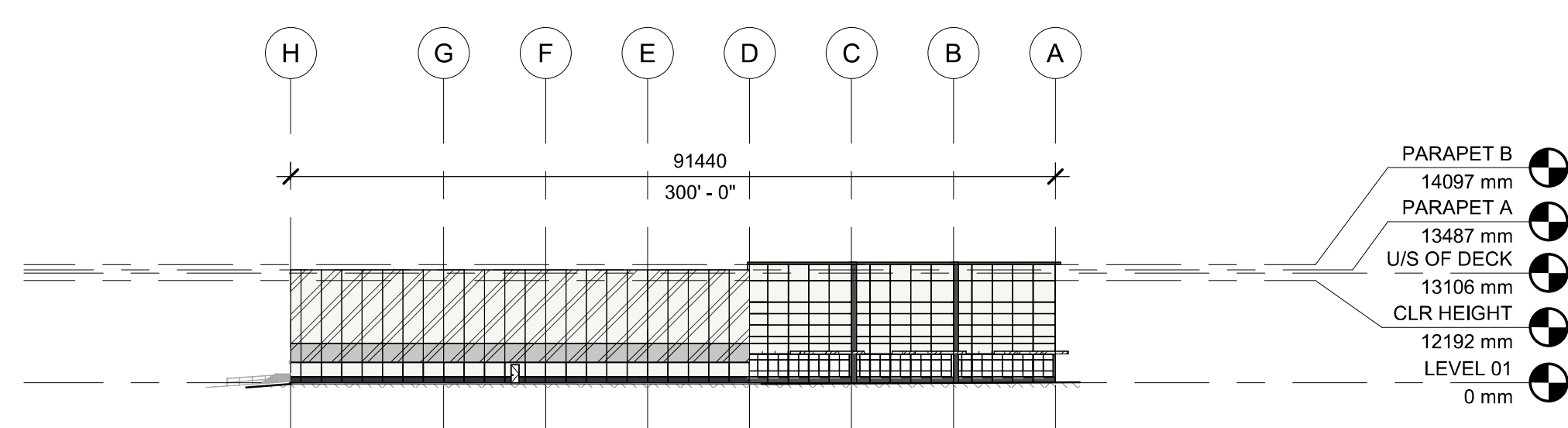
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SHEET NAME

OVERALL BUILDING ELEVATIONS

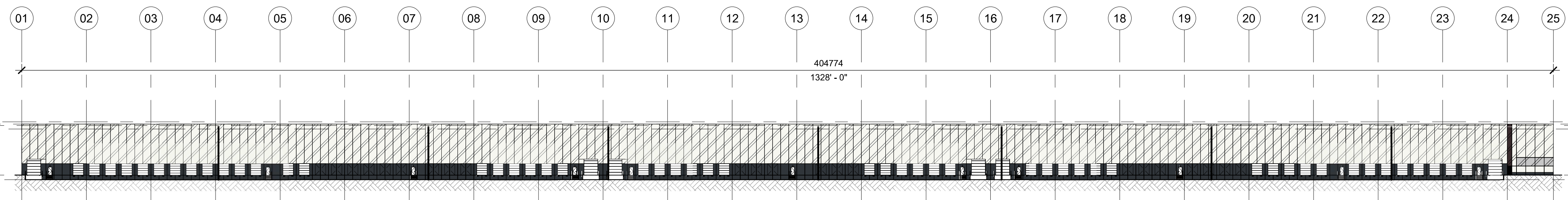
SEAL	SHEET NUMBER
	A201



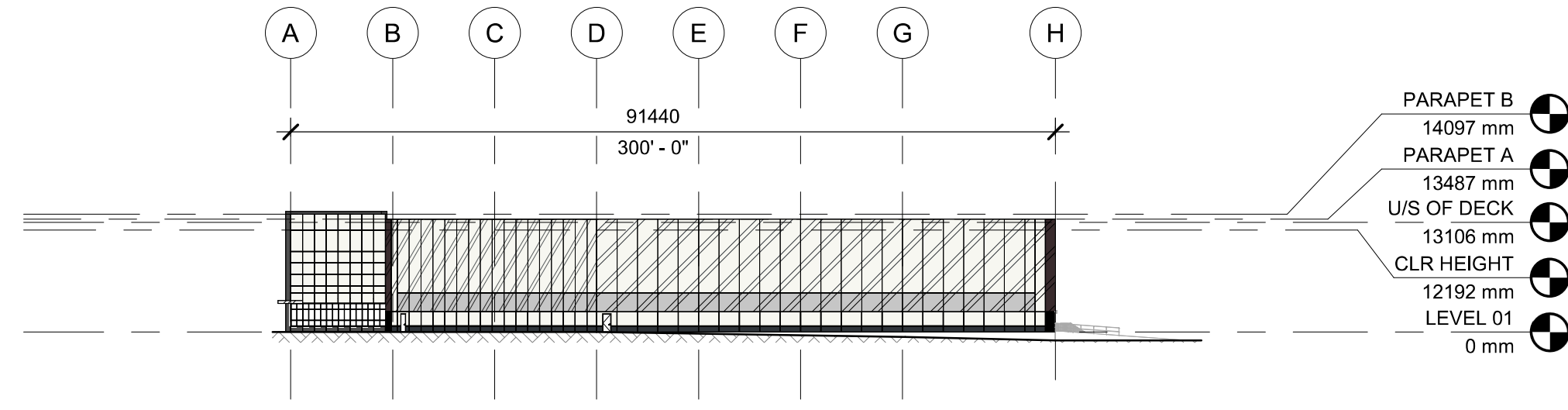
D4 OVERALL ELEVATION - NORTH
 SCALE: 1 : 700



C2 OVERALL ELEVATION - EAST
 SCALE: 1 : 700



B4 OVERALL ELEVATION - SOUTH
 SCALE: 1 : 700



A2 OVERALL ELEVATION - WEST
 SCALE: 1 : 700

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