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Planning Justification Report

**Application for Zoning By-law Amendment,
Draft Plan of Subdivision & Condominium Exemption**

101-119 Bay Lane, City of Barrie

Bay Lane Estates Co. Ltd.

March 2023

The Jones Consulting Group Ltd.

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1.0 INTRODUCTION

On behalf of our client, Bay Lane Estates Co. Ltd., we are pleased to provide this Planning Justification Report in support of applications for a Zoning By-law Amendment, Draft Plan of Subdivision and Condominium Exemption for lands municipally known as 101-119 Bay Lane (**Figure 1**). The purpose of the applications are as follows:

- i) **Zoning By-law Amendment:** This application proposes to rezone the lands from Residential Hold (RH) to Residential Single Detached Dwelling First Density (R1) with special provisions as outlined in Sections 3 and 5.7 of this Report.
- ii) **Draft Plan of Subdivision:** This application would create 10 residential lots encompassing nine existing single detached dwellings and one vacant lot for a future single detached dwelling. One condominium block is proposed to contain the existing private roadway to access the dwelling units, existing recreational uses and accessory buildings and structures. Each of the 10 lots will be able to be individually conveyed, but all 10 lots will remain 'Parcels of Tied Land' to the condominium block.
- iii) **Condominium Exemption:** This application will exempt the lands from the Planning Act requirements associated with a Draft Plan of Condominium application process.

Figure 1. Aerial Photograph of Subject Lands



This Planning Report examines the subject lands, site context, land use policies, and the form of development that is proposed. This Report concludes that the application represents orderly and proper land use planning.

2.0 PROPERTY LOCATION AND SITE DESCRIPTION

The lands are legally described as Part of 12 Concession 14 in the City of Barrie and are known municipally as 101-119 Bay Lane (**Figure 1**). The lot is irregular in shape and currently contains nine (9) single detached dwellings. The total area of the lands is approximately 2.55 hectares (6.3 acres) with a total lot frontage of approximately 40 metres on Bay Lane/Cottage Lane (**Figure 4**). The subject lands are surrounded by existing residential and recreational uses (**Figure 2**) including the following:

- **North:** Lake Simcoe (**Figure 3**).
- **East:** Gables Park (**Figure 5**).
- **South:** Gables Park (**Figure 6**).
- **West:** Single Detached Dwellings fronting onto Brennan Avenue (**Figure 7**).

Figure 2. Surrounding Land Uses



Figure 3. Lake Simcoe located to the North



Figure 4. Existing Private Roadway to Access Subject Lands



Figure 5. Single Detached Dwellings on Brennan Avenue located West of the Lands



Figure 6. The Gables Park located East of the Lands



Figure 7. The Gables Park located South of the Lands

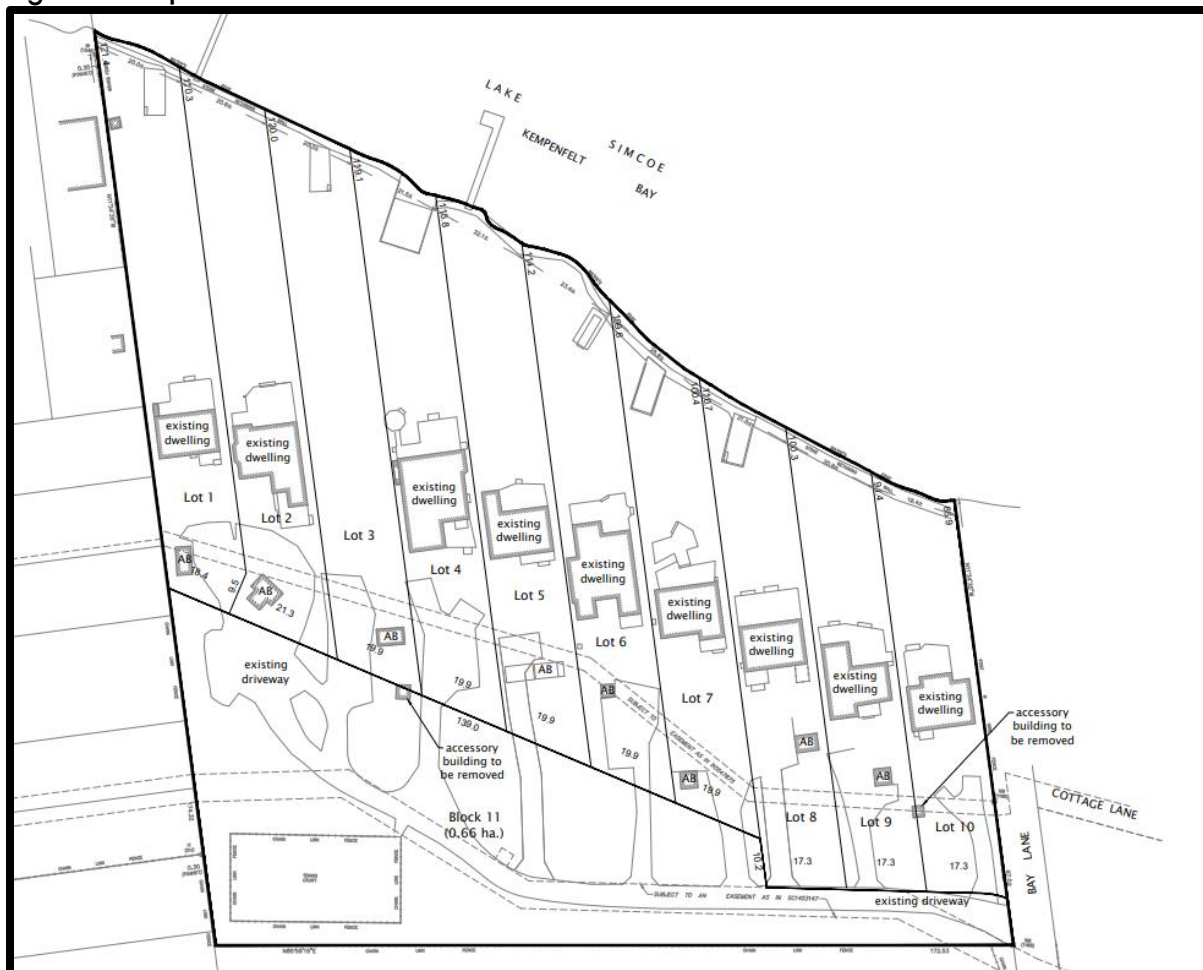


3.0 PROPOSED DEVELOPMENT

The proposed applications will facilitate the creation of 10 residential lots (**Figure 8**), along with a common element condominium block that will contain the private roadway, a shared tennis court and potential future recreational/accessory uses and structures. The purpose of each proposed application is summarized below:

- i) **Zoning By-law Amendment:** This application proposes to rezone the lands from Residential Hold (RH) to Residential Single Detached Dwelling First Density (R1) with special provision pertaining to lot frontage, Block 11 uses and private roadway/driveway surface treatment as outlined in Section 5.7 of this Report.
 - ii) **Draft Plan of Subdivision:** This application would create 10 residential lots encompassing nine existing single detached dwellings and one vacant lot for a future single detached dwelling. One condominium block is proposed to contain the existing private roadway to access the dwelling units, existing recreational uses and accessory buildings and structures. Each of the 10 lots will be able to be individually conveyed, but all 10 lots will remain 'Parcels of Tied Land' to the condominium block.
- | Proposed Land Uses | | |
|--|-------------------------|-------------|
| Land Use | No. of Residential Lots | Area (ha) |
| Residential – Single Detached Dwellings | 10 | 1.89 |
| Open Space – Accessory Use/Shared Access | N/A | 0.66 |
| Total | 10 | 2.55 |
- iii) **Condominium Exemption:** This application will exempt the lands from the Planning Act requirements associated with a Draft Plan of Condominium application process.

Figure 8. Proposed Draft Plan



3.1 Pre-Consultation & Neighbourhood Meeting

A Pre-Consultation meeting was held on November 17, 2021, with City of Barrie staff and external agencies to discuss the proposed applications and formal submission requirements. Follow-up consultation also occurred with the Barrie Fire Department, the Lake Simcoe Region Conservation Authority and City Development Services Staff. The results of those meetings/discussion confirmed the submission requirements in support of the proposed applications as outlined in Section 4.2 of this Report.

A Neighbourhood Meeting was held on June 23, 2022, to provide an overview of the proposed development and provide an opportunity for area residents to provide comments for consideration as part of the formal submission. Approximately 19 people attended the Neighbourhood Meeting. The primary concern expressed at the meeting was the purpose and effect of the applications and whether the lands could be redeveloped at a later date, at a higher density. The purpose of the applications is to create 10 residential lots to contain single detached dwellings to reflect the current physical state of the lands since the 1960s. Medium and high density uses are not currently permitted, and would not be permitted following approval of the applications.

3.2 Supporting Technical Reports & Plans

The following technical reports and plans have been prepared in support of the proposed application.

1. Planning Justification Report

This Planning Justification Report examines the subject lands, site context, land use policies, and the form of development. The report concludes that the applications represent orderly and proper land use planning that will positively contribute to the quality of life in the City of Barrie.

2. Stage 1-2 Archaeological Assessment

A Stage 1-2 Archaeological Assessment was prepared for the lands in October 2022. The Stage 2 Property Assessment consisted of high intensity test pit methodology at a five-metre interval between individual test pits and test pit survey at a ten-metre interval to confirm disturbance on July 5, 2022. As a result of the Stage 2 Property Assessment of the study area, no archaeological resources were encountered. As such, no further archaeological assessment of the study area is warranted.

3. Natural Heritage Evaluation and Species at Risk Assessment

A Natural Heritage Evaluation and Species at Risk Assessment was prepared by Azimuth Environmental in November 2022. The purpose of the report is to provide an understanding of natural environmental conditions and potential for impacts related to the proposed development on significant natural heritage features and functions of the property and adjacent lands. The site investigation combined with review of background information indicate the potential for the following candidate Key Natural Heritage Features within the study area: Habitat for Endangered and Threatened Species, Significant Woodland, Candidate Significant Wildlife Habitat, and Fish Habitat. The Study concludes the proposal will not result in negative direct or indirect impacts to habitat of Species at Risk and will not negatively impact the ecological functions of Significant Woodland or Candidate Significant Wildlife Habitat. Further, no ephemeral, intermittent or permanent drainage features, open water units, fish or fish habitat are expected to be negatively impacted as a result of the proposed applications.

4.0 LEGISLATION & POLICY REVIEW

The following subsections provide a summary assessment of how the proposed applications have regard to the Planning Act, are consistent with the Provincial Policy Statement, and conform to the Growth Plan, current City of Barrie Official Plan, adopted new City of Barrie Official Plan, and the City of Barrie Zoning By-law.

4.1 Planning Act (R.S.O. 1990 c. P.13)

The following subsections assess how the application has regard to matters of Provincial Interest.

4.1.1 Matters of Provincial Interest

Section 2 of the Planning Act contains matters of provincial interest that approval authorities must have regard to in carrying out the responsibilities under the Act, including considering an application for a Zoning By-law Amendment (Section 34 of the Planning Act).

The matters of provincial interest have been listed below, along with an explanation of how the proposed application has regard to those matters.

a) the protection of ecological systems, including natural areas, features and functions;

A Natural Heritage Evaluation and Species at Risk Assessment was prepared for the proposed applications. The Study concludes the proposal will not result in negative direct or indirect impacts to habitat of Species at Risk and will not negatively impact the ecological functions of natural heritage features.

b) the protection of the agricultural resources of the Province;

The subject lands are located within the City of Barrie settlement area and are not in proximity to any agricultural lands. The subject lands are designated to permit the existing residential uses.

c) the conservation and management of natural resources and the mineral resource base;

A Natural Heritage Evaluation has been prepared as noted in section (a), and no mineral resources have been identified on the subject lands.

d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

A Stage 1-2 Archaeological Assessment was completed for the lands which did not encounter any archaeological resources, and as such, no further archaeological assessment of the study area was recommended.

e) the supply, efficient use and conservation of energy and water;

The City of Barrie has invested significant monies in upgrading their water and wastewater treatment plans. The proposed development, and the corresponding Development Charge payments will, in part, reimburse the City for those expenses.

One additional single detached dwelling will be permitted to be constructed on the proposed vacant lot. The new building will need to conform to the energy conservation measures (i.e. windows, insulation, material types) required by the Ontario Building Code.

f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;

The proposal conforms to the City's Master Plans.

g) the minimization of waste;

The development will adhere to the City's waste management program and design requirements.

h) the orderly development of safe and healthy communities;

The proposed applications will establish separate lots for existing residential uses.

- i) *the accessibility for persons with disabilities to all facilities, services and matters to which this Act applies;*
Development applications in the City of Barrie are reviewed by their in-house accessibility coordinator.
- j) *the adequate provision and distribution of educational, health, social, cultural and recreational facilities;*
The Southshore Community Centre is located within approximately 2 kilometres to the west of the site. Further, the Gables Park is located directly to the east and south of the subject lands, and multiple other municipal parks are in proximity to the lands including Minet's Point Place, Tollendal Woods Park and Highland Park.
- k) *the adequate provision of a full range of housing, including affordable housing;*
The applications will not contribute to affordable housing as it will create ten lots accommodating existing residential uses.
- l) *the adequate provision of employment opportunities;*
The subject lands are located within 1 kilometre of a range of retail and service commercial uses on Yonge Street including a restaurants, department stores and personal service shops.
- m) *the protection of the financial and economic well-being of the Province and its municipalities;*
The City has prepared a Financial Impact Assessment and an Infrastructure Implementation Plan in order to ensure the City's economic well-being is maintained.
- n) *the co-ordination of planning activities of public bodies;*
Circulation of the proposed applications will occur to all agencies and public bodies identified in the Planning Act.
- o) *the resolution of planning conflicts involving public and private interests;*
A Neighbourhood Meeting was held on June 23, 2022, which provided an additional opportunity, pre-application, for the public to comment on the proposed applications. Comments provided by the public, agencies or City Departments will be reviewed by the applicant and City Planning Staff to identify whether plan revisions are required.
- p) *the protection of public health and safety;*
The draft plan has been designed to create a lot fabrication that integrates existing residential uses. In addition, the Building Department and emergency services (Fire, Police) will be circulated a copy of the proposed applications for comment.
- q) *the appropriate location of growth and development;*
The subject lands are located within the City of Barrie settlement area boundary and contain existing single detached dwellings.
- r) *the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;*
The site is located within 500 metres of transit stops for the City of Barrie Transit Routes of 4A East Bayfield and 4B South GO. These routes connect to the Allandale Waterfront GO Station and Barrie South GO Station, which provides access to all other bus routes in Barrie, County of Simcoe LINX Route 2, and the GO Train. The County of Simcoe LINX Route 2 connects the City of Barrie to the municipalities of Essa, Clearview, Wasaga Beach and Collingwood. The GO Train provides public transit from the City of Barrie to the City of Toronto, and across the Greater Toronto Area.
- s) *the promotion of built form that,*
 a. *is well-designed,*
 b. *encourages a sense of place, and*
 c. *provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;*

d. the mitigation of greenhouse gas emissions and adaptation to a changing climate.

The applications will be reviewed by City staff in consideration of the City's Official Plan policies regarding Urban Design and Sustainable Development Guidelines. The proposed draft plan provides separate lots for existing residential buildings, as well as one vacant lot, that will connect to a common block which provides access to the existing private roadway and recreational uses.

In our opinion, the proposed applications have regard to the matters of Provincial Interest identified in the Planning Act.

4.2 Provincial Policy Statement (PPS), 2020

The current Provincial Policy Statement (PPS) came into effect on May 1, 2020. Planning decisions must consider all components of the PPS and how they interrelate, and decisions must be consistent with the PPS.

The Provincial Policy Statement (PPS) is a policy framework based on the Vision for Ontario's Land Use Planning System. The Vision is for long-term prosperity and social well-being by maintaining strong, sustainable and resilient communities for people of all ages, a clean and healthy environment, and a strong and competitive economy. The PPS seeks to protect our cultural and natural heritage resources, direct growth to settlement areas, and to ensure that efficient development patterns optimize the use of land, resources and public investment in infrastructure and public services facilities.

The three principal parts of the PPS include (i) Building Strong Healthy Communities, (ii) Wise Use and Management of Resources, and (iii) Protecting Public Health and Safety. The following sub-sections assess the application's consistency with the PPS.

4.2.1 Building Strong and Healthy Communities

Section 1.0 of the PPS contains policies for building strong and healthy communities. The applicable policies from this section have been listed below followed by an assessment of the application's conformity with the policies.

1) Managing and Directing Land Use to Achieve Efficient and Resilient Development & Land Use Patterns.

Policy 1.1.1 states that healthy, liveable, and safe communities are sustained by the following:

a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;

The subject lands are designated for residential uses. The proposed rezoning will recognize the existing built form and allow one single detached dwelling to be redeveloped on the proposed vacant lot. The lands will continue to utilize existing infrastructure.

b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;

The proposed applications will allow separate lots for existing single detached dwellings. One additional single detached dwelling will be permitted to be redeveloped on the proposed vacant lot, which will be consistent with the built form in the area. The site will also contain a common block to recognize the existing recreational uses shared amongst residents and provide access from Bay Lane. The lands are in proximity to commercial uses, parks, and open spaces to meet the long-term needs of residents.

c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;

The Natural Heritage Evaluation and Species at Risk Assessment concludes the proposal will not negatively impact any natural heritage features, including habitat of Species at Risk. The existing private roadway will continue to provide access to each of the dwelling units, and no public health or safety concerns are anticipated.

- d) *avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;*

The subject lands are within the Built-up Area of the City of Barrie and the proposed applications will not prevent the efficient expansion of the settlement areas.

- e) *promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;*

The proposed rezoning application will implement the Zoning By-law framework in the City of Barrie, and provide site-specific development standards to recognize the existing built form, accessory uses and private roadway on the lands.

- f) *improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;*

The proposed application will be reviewed by the City's Accessibility Coordinator.

- g) *ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;*

The lands will continue to utilize municipal infrastructure.

- h) *promoting development and land use patterns that conserve biodiversity; and,*

The Natural Heritage Evaluation and Species at Risk Assessment concludes the proposal will not negatively impact any natural heritage features, including habitat of Species at Risk.

- i) *preparing for the regional and local impacts of a changing climate.*

The proposed applications will assist the City in preparing for the local impacts of a changing climate by being located outside of any hazard areas (i.e. floodplain), protecting the natural heritage system, and recognizing an existing housing typology in proximity to commercial and recreational uses, which promotes active transportation.

2) Settlement Areas

Policy 1.1.3 contains policies for settlement areas.

- a) *Policy 1.1.3.1: Settlement areas shall be the focus of growth and development*

The subject lands are within the City of Barrie settlement area.

- b) *Policy 1.1.3.2: Land use patterns within settlement areas shall be based on densities and a mix of land uses which:*

- a) *efficiently use land and resources;*
- b) *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
- c) *minimize negative impacts to air quality and climate change, and promote energy efficiency;*
- d) *prepare for the impacts of a changing climate;*
- e) *support active transportation;*
- f) *are transit-supportive, where transit is planned, exists or may be developed; and*
- g) *are freight-supportive.*

The proposed applications represent an efficient use land, resources, infrastructure, and public services within the City of Barrie settlement area boundary by allowing the existing uses to continue. The lands are in proximity to commercial and recreational uses, as well as local public transit stops.

- c) *Policy 1.1.3.2: Land use patterns within settlement areas shall be based on a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.*

The subject lands are identified within the Built-up Area, which is required to accommodate additional growth prior to new greenfield development being approved. The applications represent an efficient use of lands that contain existing development and utilize municipal infrastructure.

- d) *Policy 1.1.3.4: Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.*

The proposed applications maintain the appropriate levels of public health and safety by recognizing an existing built form and permitting the redevelopment of one single detached dwelling on previously disturbed lands.

- e) *Policy 1.1.3.6: New development taking place in designated growth areas should occur adjacent to the existing built-up area and should have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities.*

The residential buildings are located within the built-up area and facilitate a compact form that efficiently utilizes land, infrastructure, and public service facilities.

3) Housing

Policy 1.4.3 states that planning authorities shall provide for an appropriate range and mix of housing options and densities to meet the projected market-based and affordable housing needs of current and future residents of the regional market area.

- a) *Policy 1.4.3 a): Establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households and which aligns with applicable housing and homelessness plans. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;*

The City of Barrie Official Plan policy 3.3.2.2.a) states the City's goal to achieve a minimum target of 10% of all new housing units per annum to be affordable housing. The proposal will not result in the provision of affordable housing as the purpose of the applications is to create separate lots for the existing built form on the lands.

- b) *Policy 1.4.3 b): permitting and facilitating (1) all housing options to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities; and (2) all types of residential intensification, including additional residential units, and redevelopment in accordance with policy 1.1.3.3;*

The subject lands are not located within an intensification node or corridor; however, the lands are located within the built-up area. The application will allow nine existing single detached dwelling units to remain, as well as one additional single detached dwelling to be redeveloped on the proposed vacant lot.

- c) *Policy 1.4.3 c): directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*

The lands will continue to utilize existing municipal infrastructure.

- d) *Policy 1.4.3 d): promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed;*

The proposed applications recognize an efficient use of land, resources, infrastructure, and public service facilities. The development of one additional single detached dwelling is appropriate for the

lands as it will be constructed on previously disturbed lands and contribute to the housing supply of the City, while being compatible with the surrounding area, and adjacent residential uses. Further, the site supports the use of active transportation through the close proximity of commercial uses, walking trails, parks and open spaces, and public transit.

- e) *Policy 1.4.3 e): requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations; and*

The site is in proximity to local public transit routes.

- f) *Policy 1.4.3 f): establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.*

The proposed applications maintain public health and safety by providing separate lots for existing residential units. The requested rezoning will recognize the existing built form and permit efficient redevelopment of the proposed vacant lot. The proposed applications are not expected to result in any adverse impacts to the surrounding area.

4) Public Spaces, Recreation, Parks, Trails and Open Space

Policy 1.5.1 promotes healthy, active communities through the following:

- a) *planning public streets, spaces and facilities to be safe, meet the needs of pedestrians, foster social interaction and facilitate active transportation and community connectivity;*

The residential units will continue to be accessed by the existing gravel private roadway, which connected to Bay Lane. The site is in proximity to municipal parkland and walking trails to encourage active transportation and community connectivity.

- b) *planning and providing for a full range and equitable distribution of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources*

The proposed draft plan will provide a common area to contain the existing tennis court, which will continue to facilitate recreational opportunities for residents. Further, the lands are directly adjacent to municipal parkland and open spaces which are accessible to the public.

5) Infrastructure and Public Service Facilities

Policy 1.6.1 requires that infrastructure, electricity, and public service facilities be provided in an efficient manner prepares for the impacts of a changing climate while accommodating projected needs. Planning for infrastructure and public service facilities should ensure they are financially viable over their life cycle and meet current and projected needs.

The City has prepared a Financial Impact Assessment, Long-Range Financial Plan, an Infrastructure Implementation Plan, a Capital Plan and a series of Master Plans that consider the needs and timing of delivery and their associated long-term costs.

6) Sewage, Water and Stormwater

Policy 1.6.6.1 requires the efficient use and optimization of existing municipal sewage and water services, and to ensure those systems can be provided in a manner that is sustained by the water resources upon which they rely, prepares for the impacts of a changing climate, are feasible and financially viable over their lifecycle and protects human health and safety and the natural environment. Lastly, water conservation and water use efficiency is promoted and infrastructure servicing and land use considerations should occur at all stages of the planning process. Policy 1.6.6.7 requires stormwater management planning to be integrated with planning for sewage and water services and ensure that systems are optimized, feasible and financially viable over the long term.

The subject lands will continue to utilize municipal infrastructure. No alterations to stormwater management is proposed.

7) Transportation Systems

Policy 1.6.7.3 states as part of a multimodal transportation system, connectivity within and among transportation systems and modes should be maintained. The site will have direct access to Bay Lane. Further, a common block will contain the existing gravel driveway to provide access to the residential lots.

Policy 1.6.7.4 promotes land use patterns, densities and a mixture of uses to minimize the length and number of vehicle trips and support current and future use of transit and active transportation.

The proposed applications will continue to permit existing residential uses on lands that are in proximity to a variety of commercial and recreational land uses, which encourages active transportation. The lands are within less than 1 kilometre to local transit stops. No road improvements are proposed to accommodate the development.

8) Long-Term Economic Prosperity

Policy 1.7.1 states that long-term economic prosperity is supported by the following:

a) promoting opportunities for economic development and community investment-readiness;

New development must conform to the City's Long-Range Financial Plan which ensures the economic well-being of the City.

b) encouraging residential uses to respond to dynamic market-based needs and provide necessary housing supply and range of housing options for a diverse workforce;

The proposed applications will recognize existing residential uses and will provide a vacant lot for a future single detached dwelling to be redeveloped, which will contribute to the housing supply in the City.

c) optimizing the long-term availability and use of land, resources, infrastructure, and public service facilities;

The proposed applications consider the use of land, resources, infrastructure and public service facilities by allowing the existing built form on the lands to continue as well as continuing to efficiently utilize municipal services.

d) maintaining and, where possible, enhancing the vitality and viability of downtowns and main streets;

There are no anticipated negative impacts on the downtown area.

e) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes;

A Stage 1-2 Archaeological Assessment was completed for the lands which concludes no built or cultural heritage resources will be impacted by the proposed applications.

f) promoting the redevelopment of brownfield sites;

The subject lands are not a brownfield site.

g) providing for an efficient, cost-effective, reliable multimodal transportation system that is integrated with adjacent systems and those of other jurisdictions, and is appropriate to address projected needs to support the movement of goods and people;

The lands are located in proximity to local transit stops, which connect residents to the City of Barrie transit system, County of Simcoe LINX transit and the GO Train.

h) providing opportunities for sustainable tourism development;

Not applicable to the subject application.

i) Sustaining and enhancing the viability of the agricultural system through protecting agricultural resources, minimizing land use conflicts, providing opportunities to support local food, and maintaining and improving the agri-food network;

The proposed applications will not impact agricultural uses.

j) promoting energy conservation and providing opportunities for increased energy supply;

Energy conservation is promoted through the proposed applications as it recognizes an existing residential use that will continue to efficiently use municipal infrastructure.

k) minimizing negative impacts from a changing climate and considering the ecological benefits provided by nature; and

Energy conservation, as outlined in point j) above, helps to reduce the impacts of climate change. The proposal will not negatively impact any natural heritage features.

l) encouraging efficient and coordinated communications and telecommunications infrastructure.

The lands are connected to wireline infrastructure.

9) Energy Conservation, Air Quality and Climate Change

Policy 1.8.1 supports energy conservation and efficiency, improved air quality, reduced greenhouse gas emissions, and preparing for the impacts of a changing climate through land use and development patterns which:

a) promote compact form and a structure of nodes and corridors;

The applications will facilitate separate lots for existing residential uses in the built-up area.

b) Promote the use of active transportation and transit in and between residential, employment (including commercial and industrial) and institutional uses and other areas;

The site is located in proximity to local transit stops, which connect to local and regional transit systems.

c) Focus major employment, commercial and other travel-intensive land use on sites which are well served by transit where this exists or is to be developed or designing these to facilitate the establishment of transit in the future;

Not applicable to the subject application.

d) Focus freight-intensive land uses to areas well served by major highways, airports, rail facilities and marine facilities;

Not applicable to the subject application.

e) Encourage transit-supportive development and intensification to improve the mix of employment and housing uses to shorten commute journeys and decrease transportation congestion;

The site is located in proximity to local transit stops, which connect to local and regional transit systems.

f) Promote design and orientation which maximizes energy efficiency and conservation, and considers the mitigating effects of vegetation and green infrastructure;

The proposed applications will recognize an existing built form and will permit one additional single detached dwelling to be redeveloped on a vacant lot. The new dwelling will be required to conform to the energy efficiency requirements of the Ontario Building Code.

g) Maximize vegetation within settlement areas, where feasible;

No vegetation is proposed to be removed as a result of the proposed applications.

4.2.2 Wise Use and Management of Resources

Section 2.0 of the PPS contains policies for the wise use and management of resources. The applicable policies from this section have been listed below followed by an assessment of the applications' conformity with the policies.

1) Natural Heritage

Policy 2.1.1 states that natural features and areas should be protected for the long term.

A Natural Heritage Evaluation and Species at Risk Assessment was prepared for the lands, which states the lands contain candidate Key Natural Heritage Features within the study area. The Study concludes the proposal will not result in negative direct or indirect impacts to habitat of Species at Risk and will not negatively impact the ecological functions of natural heritage features.

2) Water

The Policies in Section 2.2 direct planning authorities to protect, improve or restore the quality and quantity of water.

The site is currently serviced by municipal infrastructure. No negative impacts to the quality or quantity of water are anticipated.

3) Cultural Heritage and Archaeology

Policy 2.6.1 requires the conservation of significant built heritage resources and significant cultural heritage landscapes.

A Stage 1-2 Archaeological Assessment was completed which did not encounter any archaeological resources on the lands.

4.2.3 Protecting Public Health and Safety

Section 3.0 of the PPS contains policies for protecting public health and safety. The applicable policies from this section have been listed below followed by an assessment of the application's conformity with the policies.

1) Natural Hazards

Policy 3.1 directs development away from natural hazards such as flooding or erosion hazards. No development is proposed within any natural hazards.

2) Human-Made Hazards

Policy 3.2 deals with development on, abutting or adjacent to human-made hazards. No human-made hazards exist on or in proximity to the site.

In our opinion, the proposed applications are consistent with the Provincial Policy Statement, 2020.

4.3 A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2020

The current Growth Plan for the Greater Golden Horseshoe came into effect on May 16, 2019 and was subsequently amended with Amendment No. 1 that took effect on August 28, 2020. The Growth Plan provides a policy framework to build stronger, more prosperous communities by better managing growth. The Growth Plan focuses on building complete communities that are well-designed, offer transportation choices, and accommodate people at all stages of life, with a mix of housing, range of jobs, and easy access to stores and services to meet daily needs.

The six principal parts of the Growth Plan include (i) Where and How to Grow, (ii) Infrastructure to Support Growth, (iii) Protecting What is Valuable, (iv) Implementation, and (v) the Simcoe Sub-area. The following sub-sections assess the applications' conformity with the Growth Plan.

4.3.1 Where and How to Grow

Section 2 of the Growth Plan contains policies applicable to the proposed application including: Managing Growth (Policy 2.2.1), Delineated Built-up Areas (Policy 2.2.2) and Housing (2.2.6).

1) Policy 2.2.1: Managing Growth

4. Applying the policies of this Plan will support the achievement of complete communities that:

- a) feature a diverse mix of land uses, including residential and employment uses, and convenient access to local stores, services, and public service facilities;*
- b) improve social equity and overall quality of life, including human health, for people of all ages, abilities, and incomes;*
- c) provide a diverse range and mix of housing options, including additional residential units and affordable housing, to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes;*
- d) expand convenient access to:*
 - i. a range of transportation options, including options for the safe, comfortable and convenient use of active transportation;*
 - ii. public service facilities, co-located and integrated in community hubs;*
 - iii. an appropriate supply of safe, publicly-accessible open spaces, parks, trails, and other recreational facilities; and*
 - iv. healthy, local, and affordable food options, including through urban agriculture;*
- e) provide for a more compact built form and a vibrant public realm, including public open spaces;*
- f) mitigate and adapt to the impacts of climate change, improve resilience and reduce greenhouse gas emissions, and contribute to environmental sustainability; and*
- g) integrate green infrastructure and appropriate low impact development.*

The proposed applications will facilitate separate lots for existing low density residential development. The lands are adjacent to a municipal parkland with walking trails, as well as Lake Simcoe to the north. A range of commercial uses are located to the south along Yonge Street, which include restaurants, personal service shops and department stores. Further, the proposed applications consider the impacts to climate change by allowing existing development to continue, protecting natural heritage features, and avoiding any natural hazards.

2) Policy 2.2.2: Delineated Built-Up Areas

- 3. All municipalities will develop a strategy to achieve the minimum intensification target and intensification throughout delineated built-up areas, which will:*
 - a) identify strategic growth areas to support achievement of the intensification target and recognize them as a key focus for development;*

- b) *identify the appropriate type and scale of development in strategic growth areas and transition of built form to adjacent areas;*
- c) *encourage intensification generally throughout the delineated built-up area;*
- d) *ensure lands are zoned and development is designed in a manner that supports the achievement of complete communities;*
- e) *prioritize planning and investment in infrastructure and public service facilities that will support intensification; and*
- f) *be implemented through official plan policies and designations, updated zoning and other supporting documents.*

The lands are located within the built boundary of the City of Barrie. The proposed lot creation is appropriate for the lands as it will integrate the existing housing and provide one additional vacant lot for a new single detached dwelling to be redeveloped. The residential built form is compatible with adjacent development and will continue to utilize municipal infrastructure.

2) Policy 2.2.6: Housing

2. *Notwithstanding policy 1.4.1 of the PPS, 2020, in implementing policy 2.2.6.1, municipalities will support the achievement of complete communities by:*
 - a) *planning to accommodate forecasted growth to the horizon of this Plan;*
 - b) *planning to achieve the minimum intensification and density targets in this Plan;*
 - c) *considering the range and mix of housing options and densities of the existing housing stock; and*
 - d) *planning to diversify their overall housing stock across the municipality.*

The proposed application will not change the land use on the property.

3. *To support the achievement of complete communities, municipalities will consider the use of available tools to require that multi-unit residential developments incorporate a mix of unit sizes to accommodate a diverse range of household sizes and incomes.*

The existing housing typology on the lands will continue, which is compatible with the adjacent residential uses.

4.3.2 Infrastructure to Support Growth

Section 3 of the Growth Plan contains policies applicable to the proposed application including: Integrated Planning (3.2.1), Transportation – General (3.2.2), Moving People (3.2.3), Water and Wastewater Systems (3.2.6), Stormwater Management (3.2.7), and Public Service Facilities (3.2.8).

1) Policy 3.2.1: Integrated Planning

1. *Infrastructure planning, land use planning, and infrastructure investment will be co-ordinated to implement this Plan.*

The City prepared a series of Master Plans. New development must conform to these Master Plans as a condition of approval.

2) Policy 3.2.2: Transportation – General

1. *Transportation system planning, land use planning, and transportation investment will be coordinated to implement this Plan.*

The City prepared a series of Master Plans. New development must conform to these Master Plans as a condition of approval.

3) Policy 3.2.3: Moving People

2. *All decisions on transit planning and investment will be made according to the following criteria:*
 - a) *aligning with, and supporting, the priorities identified in Schedule 5;*

- b) *prioritizing areas with existing or planned higher residential or employment densities to optimize return on investment and the efficiency and viability of existing and planned transit service levels;*
- c) *increasing the capacity of existing transit systems to support strategic growth areas;*
- d) *expanding transit service to areas that have achieved, or will be planned to achieve, transit-supportive densities and provide a mix of residential, office, institutional, and commercial development, wherever possible;*
- e) *facilitating improved linkages between and within municipalities from nearby neighbourhoods to urban growth centres, major transit station areas, and other strategic growth areas;*
- f) *increasing the modal share of transit; and*
- g) *contributing towards the provincial greenhouse gas emissions reduction targets.*

The City of Barrie has prepared a Multi-Modal Active Transportation Master Plan in fulfillment of these policies.

4) Policy 3.2.6: Water and Wastewater Systems

1. *Municipalities should generate sufficient revenue to recover the full cost of providing and maintaining municipal water and wastewater systems.*

The City of Barrie has prepared a Financial Impact Assessment and Long-Range Financial Plan based on the principle that 'growth pays for growth to the greatest extent possible'.

2. *Municipal water and wastewater systems and private communal water and wastewater systems will be planned, designed, constructed, or expanded in accordance with the following:*
 - a) *opportunities for optimization and improved efficiency within existing systems will be prioritized and supported by strategies for energy and water conservation and water demand management;*
 - b) *the system will serve growth in a manner that supports achievement of the minimum intensification and density targets in this Plan;*
 - c) *a comprehensive water or wastewater master plan or equivalent, informed by watershed planning or equivalent has been prepared to:*
 - i. *demonstrate that the effluent discharges and water takings associated with the system will not negatively impact the quality and quantity of water;*
 - ii. *identify the preferred option for servicing growth and development, subject to the hierarchy of services provided in policies 1.6.6.2, 1.6.6.3, 1.6.6.4 and 1.6.6.5 of the PPS, 2020, which must not exceed the assimilative capacity of the effluent receivers and sustainable water supply for servicing, ecological, and other needs; and*
 - iii. *identify the full life cycle costs of the system and develop options to pay for these costs over the long-term.*

The City has prepared a Wastewater Collection Master Plan, a Wastewater Treatment Master Plan and a Water Supply Master Plan in fulfillment of these policies. New development must conform to these Master Plans.

5) Policy 3.2.7: Stormwater Management

1. *Municipalities will develop stormwater master plans or equivalent for serviced settlement areas that:*
 - a) *are informed by watershed planning or equivalent;*
 - b) *protect the quality and quantity of water by assessing existing stormwater facilities and systems;*
 - c) *characterize existing environmental conditions;*
 - d) *examine the cumulative environmental impacts of stormwater from existing and planned development, including an assessment of how extreme weather events will exacerbate these impacts and the identification of appropriate adaptation strategies;*

- e) *incorporate appropriate low impact development and green infrastructure;*
- f) *identify the need for stormwater retrofits, where appropriate;*
- g) *identify the full life cycle costs of the stormwater infrastructure, including maintenance costs, and develop options to pay for these costs over the long-term; and*
- h) *include an implementation and maintenance plan.*

In support of the above policies, the City of Barrie prepared a Drainage and Stormwater Management Master Plan as well as guidelines/standards to implement the use of Low Impact Development measures.

2. *Proposals for large-scale development proceeding by way of a secondary plan, plan of subdivision, vacant land plan of condominium or site plan will be supported by a stormwater management plan or equivalent, that:*
 - a) *is informed by a sub watershed plan or equivalent;*
 - b) *incorporates an integrated treatment approach to minimize stormwater flows and reliance on stormwater ponds, which includes appropriate low impact development and green infrastructure;*
 - c) *establishes planning, design, and construction practices to minimize vegetation removal, grading and soil compaction, sediment erosion, and impervious surfaces; and*
 - d) *aligns with the stormwater master plan or equivalent for the settlement area, where applicable.*

The lands will continue to be serviced by municipal infrastructure.

6) Policy 3.2.8: Public Service Facilities

1. *Planning for public service facilities, land use planning and investment in public service facilities will be co-ordinated to implement this Plan.*

The Gables Park is located directly to the east and south of the lands.

2. *Public service facilities and public services should be co-located in community hubs and integrated to promote cost-effectiveness.*

The location of the existing development allows for public service facilities to be within a short distance.

4.3.3 Protecting What is Valuable

Section 4 of the Growth Plan contains policies applicable to the proposed application including: Water Resource Systems (4.2.1), Natural Heritage System (4.2.2), Lands Adjacent to Key Hydrologic Features and Key Natural Heritage Features (4.2.4), and Cultural Heritage Resources (4.2.7).

1) Policy 4.2.1: Water Resource Systems

1. *Upper- and single-tier municipalities, partnering with lower-tier municipalities and conservation authorities as appropriate, will ensure that watershed planning is undertaken to support a comprehensive, integrated, and long-term approach to the protection, enhancement, or restoration of the quality and quantity of water within a watershed.*

The lands are within the watershed boundary of Lake Simcoe and the lands are regulated by the Lake Simcoe Region Conservation Authority (LSRCA). The proposed applications will be circulated with the LSRCA.

3. *Watershed planning or equivalent will inform:*
 - a) *the identification of water resource systems;*
 - b) *the protection, enhancement, or restoration of the quality and quantity of water;*
 - c) *decisions on allocation of growth; and*

d) planning for water, wastewater, and stormwater infrastructure.

A Natural Heritage Evaluation was prepared for the lands which identified the potential for four natural heritage features. The Study concluded the proposal will not negatively impact the ecological functions of the natural heritage features.

2) Policy 4.2.2: Natural Heritage System

1. *A Natural Heritage System for the Growth Plan has been mapped by the Province to support a comprehensive, integrated, and long-term approach to planning for the protection of the region's natural heritage and biodiversity. The Natural Heritage System for the Growth Plan excludes lands within settlement area boundaries that were approved and in effect as of July 1, 2017.*

The GGH natural heritage mapping does not apply to the majority of lands within the City, including the subject lands as they are located within an approved settlement area boundary.

2. *Beyond the Natural Heritage System for the Growth Plan, including within settlement areas, the municipality:*
 - a) *will continue to protect any other natural heritage features and areas in a manner that is consistent with the PPS; and*
 - b) *may continue to protect any other natural heritage system or identify new systems in a manner that is consistent with the PPS.*

The proposal will not negatively impact the natural heritage system or its related ecological functions.

3) Policy 4.2.7: Cultural Heritage Resources

1. *Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.*

A Stage 1-2 Archaeological Assessment was prepared for the proposed applications, which concludes the lands do not contain cultural heritage resources.

4.3.4 Implementation

Section 5 of the Growth Plan contains policies applicable to the proposed application including: Growth Forecasts (5.2.4).

1) Policy 5.2.4: Growth Forecasts

3. *The population and employment forecasts and plan horizon contained in the applicable upper- or single-tier official plan that is approved and in effect as of August 28, 2020 will apply to all planning matters in that municipality, including lower-tier planning matters where applicable, until the upper- or single-tier municipality has applied the forecasts in Schedule 3 in accordance with policy 5.2.4.2 and those forecasts are approved and in effect in the upper- or single-tier official plan.*

The lands will contain a total of ten residential units, with a site-specific density is 4 units per hectare.

4.3.5 Simcoe Sub-Area

Section 6 of the Growth Plan contains policies applicable to the proposed application including Managing Growth (6.3).

1) Policy 6.3: Managing Growth

1. *Primary settlement areas for the Simcoe Sub-area are identified in Schedule 8.*

The City of Barrie is identified as a primary settlement area in Schedule 8 of the Growth Plan.

2. *Municipalities with primary settlement areas will, in their official plans and other supporting documents:*
 - a) *identify primary settlement areas;*

The subject lands are located within the City of Barrie settlement area boundary.

b) identify and plan for strategic growth areas within primary settlement areas;

The subject lands are within the built-up area.

c) plan to support the achievement of complete communities within primary settlement areas; and,

The proposed applications are intended to aid in the transformation of Barrie becoming a complete community.

d) ensure the development of high quality urban form and public open spaces within primary settlement areas through site design and urban design standards that create attractive and vibrant places that support walking and cycling for everyday activities and are transit- supportive.

The proposed applications will facilitate new residential lots for existing single detached dwellings, as well as one vacant lot for a future dwelling.

In our opinion, the proposed applications conform to the Growth Plan.

4.4 Lake Simcoe Protection Plan

The Lake Simcoe Protection Plan (LSPP) is a policy and implementation document that guides efforts to protect and restore the ecological health of the Lake Simcoe watershed.

Chapter 6 of the LSPP discusses Shorelines and Natural Heritage, which are assessed below.

Settlement Area Policies

6.32-DP Policies 6.32 - 6.34 apply to existing settlement areas and areas of Lake Simcoe adjacent to these lands, including the littoral zone, and these areas are not subject to policies 6.1 – 6.3, 6.5, 6.11 and policies 6.20 - 6.29.

The lands are located within the settlement area of the City of Barrie.

6.33-DP An application for development or site alteration shall, where applicable:

- a. increase or improve fish habitat in streams, lakes and wetlands, and any adjacent riparian areas;*
- b. include landscaping and habitat restoration that increase the ability of native plants and animals to use valleylands or riparian areas as wildlife habitat and movement corridors;*
- c. seek to avoid, minimize and/or mitigate impacts associated with the quality and quantity of urban run-off into receiving streams, lakes and wetlands; and*
- d. establish or increase the extent and width of a vegetation protection zone adjacent to Lake Simcoe to a minimum of 30 metres where feasible.*

The subject lands are identified to contain Level 1 Resources with Existing Development and adjacent to Level 3 Resources according to Schedule H: Natural Heritage Resources of the City of Barrie's current in-effect Official Plan. The proposed applications will allow the existing residential uses on the lands to continue. A Natural Heritage Evaluation has been prepared for the subject lands, in consultation with the Lake Simcoe Region Conservation Authority (LSRCA), to ensure that all features and functions in relation to the lands were studied. The Study concludes the proposal will not negatively impact the ecological functions of natural heritage features, including habitat of Species at Risk.

Existing Uses Policies

6.45-DP Where a policy in this Chapter permits development or site alteration in relation to existing uses, the following policies apply:

- a. All existing uses lawfully used for such purposes on the day before the Lake Simcoe Protection Plan comes into force are permitted;*

The subject lands have been previously disturbed prior to the date the LSPP came into effect in 2009. According to County of Simcoe Interactive Mapping, a total of 10 dwelling units were established on the lands prior to 1978, however, one of the dwelling units was demolished after 2002. The proposed applications will permit separate lots for the nine existing single detached dwellings, and permit the redevelopment of an additional single detached dwelling on the proposed vacant lot.

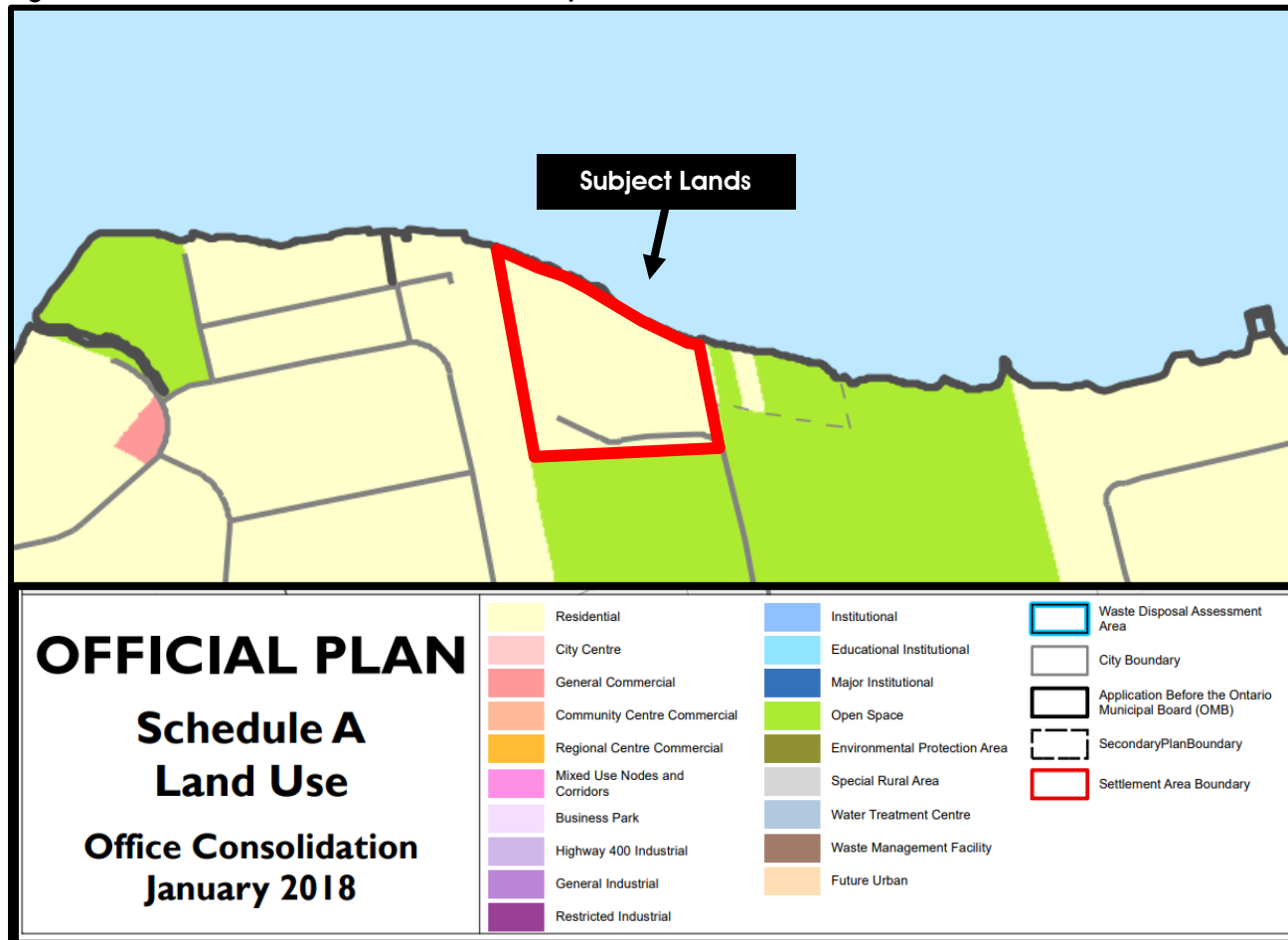
In our opinion, the proposed applications conform to the Lake Simcoe Protection Plan.

4.5 City of Barrie Official Plan

On April 23, 2010, the Ministry of Municipal Affairs and Housing (MMAH) approved the current Official Plan for the City of Barrie. The Official Plan incorporates municipal strategic priorities and addresses matters of provincial interest. The lands are subject to the policies of this currently in-effect City of Barrie Official Plan.

The subject lands are designated Residential according to Schedule A – Land Use (**Figure 9**).

Figure 9: Schedule A Land Use: 101-119 Bay Lane



4.5.1 Official Plan Policies

The proposed applications have been reviewed to determine its conformity with the following Official Plan policies.

4.5.1.1 Community Vision

Section 2.0 of the Official Plan contains direction on the Community Context, and specifically Section 2.2 provides principles related to the City's Vision. The Plan states the City is to promote and manage growth that sustains and builds a strong economy, and supports a healthy environment. The City is to provide a safe environment for the community through developing security measures for physical spaces (private and public) and implementing good urban design, encourage the sustainable use of our water, land and air resources, and maintain and enhance transportation links within the City and beyond.

The proposed applications promote an efficient use of lands through the creation of separate lots for existing residential uses. No natural heritage features or resources will be negatively impacted from the development, and a common block will be created to contain the existing private roadway and recreational uses for residents to continue to access. The lands are located directly adjacent to municipal parkland, are in

proximity to local public transit stops, and are within 1 kilometre of a range of commercial uses to the south. The lands will continue to efficiently utilize municipal wastewater and water services.

4.5.1.2 Growth Management

Section 3.1 of the Official Plan contains policies for growth management. Section 3.1.1 states the goals of growth management are to accommodate projected needs for residential, employment, and other lands in order to achieve a complete community with an appropriate mix of jobs, local services, housing, open space, schools, and recreation opportunities. Further, the City is to direct growth to take advantage of existing services and infrastructure where possible, and to minimize the cost of infrastructure extension.

The proposed applications will allow the existing built form to continue in an established residential area, which will contribute to the achievement of complete communities. Residents have access to commercial uses, private recreational areas, and municipal parkland. The lands efficiently utilize existing municipal infrastructure.

1) Policy 3.1.2.1: Balanced Growth

a) It is an objective of this Plan to identify employment areas and residential lands for development in order to achieve and maintain a ratio of approximately 1 job in the City for every 2 residents of the City. (Mod D (b))

The lands are appropriate for residential uses as they contain existing single detached dwellings within the built-up area. The proposed applications will maintain the nine dwelling units on the lands and permit one additional single detached dwelling to be redeveloped on the vacant lot, which will assist the City in achieving its intensification targets (e.g. 50% of all new residential growth occurring within the built-up area of the City).

2) Policy 3.1.2.2: Staging and Phasing of Development

(d) The approval of specific development applications shall be governed by the following principles:

i) encouraging a mix and form of housing that supports affordable housing and specialty needs housing; (Mod D (g))

The applications will maintain the existing residential uses on the lands, which will continue to provide housing supply to the City that is compatible with the adjacent built form in the area.

iv) giving priority to lands adjacent to existing development;

The lands are adjacent to existing low-density residential uses to the west.

v) sequential development of neighbourhood facilities;

The subject lands will contain a common block to contain the existing private roadway and recreational uses (tennis court) for residents to access. The lands are also directly adjacent to municipal parkland to the east and south.

vi) provision of community facilities and urban services with emphasis on using existing sewage and water services where possible; (Mod D (h))

The lands will continue to utilize existing municipal sewage and water services.

vii) provision of schools and parks;

The lands will contain a common area for existing recreational uses and access which is directly adjacent to municipal parkland.

viii) provision of sidewalks and access to public transit.

The subject lands are located on Bay Lane, which does not contain sidewalks. The site is located within 500 metres of local public transit stops on Hurst Drive/Tollendal Mill Road, which also contains cycling infrastructure.

- ix) *sequential construction of collector roads and access to arterial and boundary roads;*

The proposed residential lots will continue to be accessed by a private gravel roadway and private gravel driveways, which has direct access to Bay Lane.

- x) *sequential construction of sanitary sewer and watermain extensions and electrical distribution systems;*

The subject lands will continue to utilize existing municipal infrastructure.

- xi) *adequacy of storm drainage; and,*

The subject lands will continue to utilize existing municipal infrastructure.

- xii) *protection of the environment and significant natural resources.*

The proposal will not negatively impact any natural heritage features or resources, as concluded in the Natural Heritage Evaluation.

3) Policy 3.1.2.3: Density of Development and Intensification

- (b) By 2015, and for each year thereafter, at least 40 percent of residential dwelling unit development shall be directed to the area within the built-up area as identified on Schedule I - Intensification Areas of the Plan. (Mod D (k))*

According to Schedule I – Intensification Areas, the lands are located within the built-up area.

- (d) The City's Growth Management Strategy identifies that the built up area, as identified on Schedule I, can accommodate an additional 13,500 housing units, of which 39% are in the Urban Growth Centre and 61% are outside the Urban Growth Centre. An additional 5,700 units will be developed in the City's designated Greenfield areas within the former City of Barrie, while approximately 15,700 units will be accommodated in the Salem and Hewitt's Secondary Plan Areas. These units will accommodate the population forecast in the Growth Plan and will be subject to monitoring and review throughout the life of this Plan. (OPA 40 OMB PL 140770 PL 140771, PL140772 July 22, 2016)*

The proposed applications will facilitate nine existing residential units on separate lots and one future dwelling unit on a vacant lot within the built-up area. The dwelling units are compatible with the surrounding residential development, which primarily consist of single detached dwellings.

- (e) The City of Barrie will monitor residential and employment growth on an annual basis to ensure the intensification, density and housing targets identified in 3.1.2.3 (a) - (d) are met. (Mod D (l))*

The proposed applications will recognize existing single detached dwellings on a parcel of land that is designated and zoned to support residential uses.

- (f) The development of transit infrastructure will be used to direct and manage growth, and residential and employment densities will be used to support the efficiency and viability of existing and planned transit services.*

The site is located within 500 metres of transit stops for the City of Barrie Transit Routes of 4A East Bayfield and 4B South GO. This route connects to the Allandale Waterfront GO Station and Barrie South GO Station, which provides access to all other bus routes in Barrie, County of Simcoe LINX Route 2, as well as the GO Train.

4.5.1.3 Housing

Section 3.3 of the Official Plan contains policies for housing which have been assessed below:

- a) The City will encourage the maintenance of reasonable housing costs by encouraging a varied selection with regard to size, density and tenure. The Zoning By-law will be amended to allow for innovative housing where it is recognized to be in accordance with good land use planning principles. (Mod D (p))*

The proposed applications will create separate lots for existing single detached dwellings. The proposed rezoning application will recognize the site-specific development standards for the residential uses.

b) The City shall support programs and policies encouraging a wide range of housing opportunities including rental housing in order to meet identified housing needs in accordance with good land use planning principles.

The proposed applications will recognize the existing residential uses, and will facilitate 10 single detached dwellings on the lands.

g) The City will direct that new residential development be at densities that are consistent with this Plan and encourage the creation of complete, mixed use communities that include the integration and use of transit and active transportation.

The lands contain single detached dwellings in an established residential area, that is directly adjacent to municipal parkland. The site is within 1 kilometre of a range of commercial uses to the south, and within 500 metres of Tollendal Mill Road, which contains local transit stops and cycling infrastructure.

h) The City shall maintain a 10-year supply of designated land and a 3-year supply of draft approved and registered lots through residential intensification and redevelopment sufficient to provide an appropriate range of housing types and densities to meet projected requirements of current and future residents.

The current Official Plan states the City is projected to grow to 210,000 persons by the year 2031. The proposal will contribute to the housing supply of the City by allowing the existing units to be located on separate lots, and permit the redevelopment of one single detached dwelling on the proposed vacant lot.

4.5.1.4 Cultural Heritage Conservation

Section 3.4 contains policies related to Cultural Heritage Conservation, which state development should have regard for cultural heritage resources and shall, wherever feasible, incorporate these resources into any development plans. Further, all new development in older established areas of historic, architectural or landscape value, shall be encouraged to be in keeping with the overall character of these areas.

A Stage 1-2 Archaeological Assessment was prepared for the proposed applications, which concluded the lands do not contain any archaeological resources.

4.5.1.5 Natural Heritage, Natural Hazards, and Resources

Section 3.5 of the Official Plan are design policies for Natural Heritage, Natural Hazards and Resources.

1) Policy 3.5.2.1: General Policies

a) The City shall encourage the local Conservation Authorities to prepare watershed management plans as input to the City's role in the management of watershed resources.

The lands are located within the Lake Simcoe watershed, and are regulated by the Lake Simcoe Region Conservation Authority. The Natural Heritage Evaluation concludes the proposal conforms to the policies in the Lake Simcoe Protection Plan.

b) In the review of plans, programs and development applications, the City shall protect the natural environment and its ecological functions for conservation, recreation, scientific and educational value, and its benefits to human health.

The proposed applications will not negatively impact any natural heritage features, as concluded in the Natural Heritage Evaluation.

2) Policy 3.5.2.2: Land Management

a) In order to maintain and enhance vegetation cover, the City shall support tree planting, tree preservation, conservation initiatives and land stewardship strategies.

No vegetation or trees are proposed to be removed as a result of the applications.

3) Policy 3.5.2.3: Water Resource Management

- a) In reviewing development proposals, the City shall protect, maintain, and enhance water and water related resources on an integrated watershed management basis.*

The lands are not identified within any intake protection zones, wellhead protection areas or issue contributing areas on Schedule G – Drinking Water System Vulnerable Areas. The proposed applications are not expected to have any impacts on water related resources.

- b) The City will maintain and, where possible, protect, improve or restore the quality and sustainability of surface and groundwater resources.*

The lands are within a significant groundwater recharge area. The proposed applications will allow the existing residential uses on the lands to continue, and as such, are not expected to negatively impact surface and groundwater resources.

- c) The City will promote water conservation and support the efficient use of water resources.*

The lands will continue to utilize municipal services. The proposed applications will not negatively impact any water resources.

- d) The City shall protect or improve water quality and quantity by minimizing cross jurisdictional or cross watershed impacts, in consultation with the Conservation Authorities.*

The lands are located within the Lake Simcoe watershed, and are regulated by the Lake Simcoe Region Conservation Authority (LSRCA). The applications will be reviewed by the LSRCA.

4.5.1.6 Energy Conservation and Renewable Energy

Section 3.7.2.1 of the Official Plan contains general policies for energy conservation, which are assessed below:

- a) A compact urban form, which supports active transportation, transit use, and trip reduction as a means of reducing energy consumption and improving air quality will be promoted;*

The proposed applications will maintain the existing compact built form that supports the use of public transportation and active transportation.

- b) Energy conservation shall be encouraged through community and site planning design and the use of energy-efficient materials and landscaping;*

The existing single detached dwellings on the lands will not be altered. The new single detached dwelling on the proposed vacant lot will need to conform to the Ontario Building Code.

- c) In the review of development applications, consideration shall be given to energy conservation measures such as the solar orientation of streets and buildings, increased densities, and the use of landscaping and building materials; and.*

The existing single detached dwellings on the lands will continue following approval of the applications. The new single detached dwelling on the proposed vacant lot, or any building alterations in the future will need to conform to the Ontario Building Code.

- d) The retention of forests and tree planting will be encouraged to enhance and improve the "urban forest" and tree cover as a means of improving air quality and reducing energy use through shading, sheltering, and screening.*

No vegetation or trees are proposed to be removed as a result of the applications.

4.5.1.7 Lake Simcoe Protection Plan

Section 3.9 contains policies related to the Lake Simcoe Protection Plan, which are assessed below:

1) Policy 3.9.2.1: General Policies

- a) The policies of the Lake Simcoe Protection Plan (LSPP) are in effect as per the date of release, June 2, 2009 and apply to all lands within the Lake Simcoe watershed identified on Schedule J to this Plan.*

The lands are located within the Lake Simcoe watershed. As described in Section 5.4 of this Report, as well as concluded in the Natural Heritage Evaluation, the proposal conforms to the Lake Simcoe Protection Plan.

4.5.1.8 Residential Policies

Section 4.2 contains policies related to the Residential designation, which are assessed below:

1) Policy 4.2.2.2: Residential Densities

c) Low density residential development shall consist of single detached, duplexes, or semi-detached dwellings with frontage on a public street.

- i. Average densities in low density residential development shall range between 12 and 25 units per net residential hectare unless otherwise specified in this Plan. (Mod E (k)(i))*
- ii. The average density within this range shall generally be achieved by combining a mix of housing/built form and densities within these ranges. (Mod E (k)(ii))*

The proposed applications will allow nine existing single detached dwelling units to be located on separate lots, and will permit one additional single detached dwelling on a proposed vacant lot. The existing density on the lands is 6 units per net residential hectare, which will not be altered.

2) Policy 4.2.2.4: Design Policies

a) Residential development shall provide necessary on-site parking (as prescribed in the implementing zoning by-law) and a functional open space amenity area including landscaping, screening, buffering and accessibility considerations.

Each residential lot will contain an existing driveway that will continue to provide the necessary on-site parking for each dwelling unit, which will meet the requirements in the City's Zoning By-law. Further, the proposed application will create a common block to contain the existing private roadway and tennis court for residents. No vegetation or trees are proposed to be removed as a result of the applications.

b) Densities shall be graduated where possible in order to provide for integration between adjoining residential land uses. Where medium or high density uses abut development of a low density nature, buffering protection will be provided to minimize the impact to the lower density uses.

The lands are surrounded by an established low-density residential area to the west, which contains single detached dwellings. The existing built form is compatible with the adjacent residential housing typology and surrounding area.

c) Measures shall be taken to mitigate adverse impacts on residential property from non-residential uses, railways, arterial roads and highways. Noise studies may be required at the time of considering proposals for residential development in accordance with Section 5.4.2.1 (e).

Not applicable to the subject applications.

d) The City will continue to encourage the maintenance and improvement of the character, and appearance of existing residential areas.

The proposed applications will allow the existing uses on the lands to continue, which will maintain the low-density residential character of the area.

e) Special care shall be taken to visually screen development and redevelopment of a non-residential character from existing residential uses.

Not applicable to the subject applications.

3) Policy 4.2.2.5: General Policies

a) Development that generates large amounts of traffic, noise, odours, dust and other nuisances which could have a negative impact on adjoining residential land uses shall be discouraged in order to maintain healthy, safe and liveable communities and a high degree of residential area amenity. Spot rezoning of residential lands should not be approved when they would have a negative impact on an existing neighbourhood. (Mod E (p))

The proposed applications are not expected to generate any adverse impacts as the existing residential uses will not be altered. No additional traffic is expected to be generated by the development, and no road improvements are proposed.

4.5.1.9 Servicing and Transportation

Section 5.0 of the Official Plan contains policies for servicing and transportation, which are assessed below:

1) Policy 5.1.2.1 Servicing General Policies

a) Public Utilities, including sanitary sewage facilities, stormwater management facilities, municipal water, the electrical power utility, the TransCanada Pipeline, telecommunications/communications infrastructure, or any other utilities shall be permitted within any land use designation of this Plan. (Mod F (b)) Wherever possible, public utilities/facilities shall not be located on lands designated Environmental Protection or Open Space. Where the location of public utilities on lands designated Environmental Protection or Open Space is efficient, cost effective and in the public interest, an EIS shall be undertaken in accordance with the policies of Section 6 of this Plan.

Not applicable. The subject lands are not designated Environmental Protection or Open Space.

b) New sewage treatment facilities, waste disposal sites, wastewater treatment or stormwater management facilities shall not be permitted in vulnerable areas where the activity would be a significant drinking water threat. (OPA 24 By-law 2013-185)

No additional infrastructure is proposed.

c) Expansions or retrofitting of existing facilities that are located in vulnerable areas where they are or would be a significant threat, may be permitted where no feasible alternative is available and the risk is not increased, or where the risk is reduced as result of the expansion or retrofit. (OPA 24 By-law 2013-185)

Not applicable to the proposed development.

c) If the availability of any urban service is to be restricted, industrial/commercial/institutional development shall take precedence over other land uses to receive the available capacity.

The proposed applications will allow the existing low-density residential built form on the lands to continue.

d) The City will encourage, and work in co-operation with the County and neighbouring municipalities for overall co-ordination of the transportation system including any active transportation and public transit initiatives.

The lands are located within 500 metres of local public transit stops along Tollendal Mill Road, which also contains cycling infrastructure. The public transit route connects residents to regional transit opportunities, including County of Simcoe LINX Route 2 and the GO Train.

e) Development occurring adjacent to the TransCanada Pipeline easement shall be required to maintain an appropriate setback for all permanent structures and excavations. Specific standards will be included in the City's Zoning By-law.

Not applicable.

f) Where municipal sewage services and municipal water services are not provided, no new development shall be permitted on individual on-site sewage services with the exception of a limited amount of residential infill where infill is defined by 6.2.1.1 of this Plan. Expansions or additions to existing development on individual on-site sewage services may be permitted only when they do not exceed the capacity of the existing system and where they do not constitute a significant drinking water threat. (Mod F (c)) (OPA 24-By-law 2013-185)

The lands utilize existing municipal water services.

g) The provision and expansion of services, taking into account the utilization of existing services, whenever feasible, shall be co-ordinated with planned future development to ensure that growth and redevelopment take place in an efficient, cost effective and environmentally sound manner. (Mod F (d))

Not applicable to the subject applications.

- h) The provision and expansion of services shall be planned to minimize conflicts with other land uses through their location, design and buffering.*

Not applicable to the proposed applications. Existing municipal services will continue to be utilized.

- i) Development in the City shall be dependent upon the availability of sanitary sewage capacity in the City's Water Pollution Control Centre. Flows to this facility shall be monitored as new development proceeds and shall comply with provincial regulations. (Mod F (e))*

The lands will utilize existing municipal water services.

- j) Draft approval of a plan of subdivision does not in itself constitute a commitment by the City, its electrical power utility, or the Ministry of the Environment to provide access to the City's Water Pollution Control Centre or the Water Supply Plant. Draft plans may proceed to registration provided there is sufficient plant capacity and capability to serve the development. Plant capacity will be allocated for new development on a priority basis at the time of payment of development charges. The provisions of Section 3 will be used to assist in determining the priority of individual development proposals.*

No proposed changes to servicing capacity as the existing dwelling units will continue to utilize existing services.

- k) Expansions to the existing serviced area shall progress logically from the extremities of the existing system outwards to the City boundaries subject to the provisions of Section 5.1.2.1 (e) and (f) above.*

The subject lands are located within the Built-up Area.

- l) All sanitary sewers should be designed to accommodate sewage flows from the ultimate development expected in the contributory area.*

No proposed changes to servicing capacity as the existing dwelling units will continue to utilize existing services.

- m) No stormwater from any source including roof or foundation drains of buildings or parking lots shall be connected to the sanitary sewer system. Capture and reuse of stormwater will be encouraged. Separation of any stormwater systems attached to municipal sanitary sewer systems shall be a requirement of redevelopment.*

No proposed changes to stormwater management.

- n) The design of services shall comply with the approved standards of the City and its electrical power utility as revised from time to time.*

The lands are currently connected to electrical power utilities.

- o) The City will encourage the development of TransCanada's right-of-way for passive parkland or open space purposes subject to TransCanada's easement rights.*

Not applicable to the subject application.

2) Policy 5.3.2.2 Stormwater Management General Policies

- a) An application for major development shall be accompanied by a stormwater management plan that demonstrates:*

- i) an integrated treatment train approach will be used to minimize stormwater management flows and reliance on end-of-pipe controls through measures including source controls, lot-level controls and conveyance techniques, such as grass swales;*
- ii) through an evaluation of anticipated changes in the water balance between pre-development and post-development, how such changes shall be minimized; and*
- iii) through an evaluation of anticipated changes in phosphorus loadings between pre-development and post development, how the loadings shall be minimized.*

The proposed applications will not result in any changes to stormwater management.

3) Policy 5.4.2.1 Transportation General Policies

- a) The road network existing and proposed is shown on Schedule D - , Roads Plan and Schedule E – Road Widening Plan. (Mod F (r)) These maps, together with the following policies, will be the basis for the provision of roads and right-of-way widths within the City. Development proposals may be subject to conditions related to transportation improvement as outlined in the City's Transportation Study, updates thereto and the Development Charges By-law.*

The lands are accessed by Bay Lane, which is classified as local roadway on Schedule D – Roads Plan. No additional traffic is expected to be generated by the applications, and no road improvements are proposed.

4) Policy 5.4.2.3 Public Transit

- a) The City shall promote the use of existing and the development of new public transit routes, wherever possible to link communities in the interests of fiscal responsibility, energy conservation and environmental protection. (Mod F (u))*

The subject lands are located in proximity to City of Barrie Transit Routes of 4A East Bayfield and 4B South GO, and a transit stop is located within 500 metres to the south. These public transit routes connect residents to County of Simcoe LINX Route 2, which runs from the City of Barrie to the Towns of Wasaga Beach and Collingwood. These Routes also provides access to Allandale GO Station and Barrie South GO Station, which connects residents to the Greater Toronto Area.

5) Policy 5.4.2.4 Active Transportation

- a) The City shall promote the use of bicycles, pedestrian movement and other modes of active transportation by developing a linked open space network as identified in Section 4.6 of this Plan. (Mod F (x))*

The lands are located adjacent to municipal parkland, which contains a trail network for residents to access. Tollendal Mills Road connects to Bay Lane to the south, which contains sidewalks and separated cycling lanes to encourage active transportation.

In our opinion, the proposed applications conform to the current City of Barrie Official Plan.

4.6 Adopted City of Barrie Official Plan

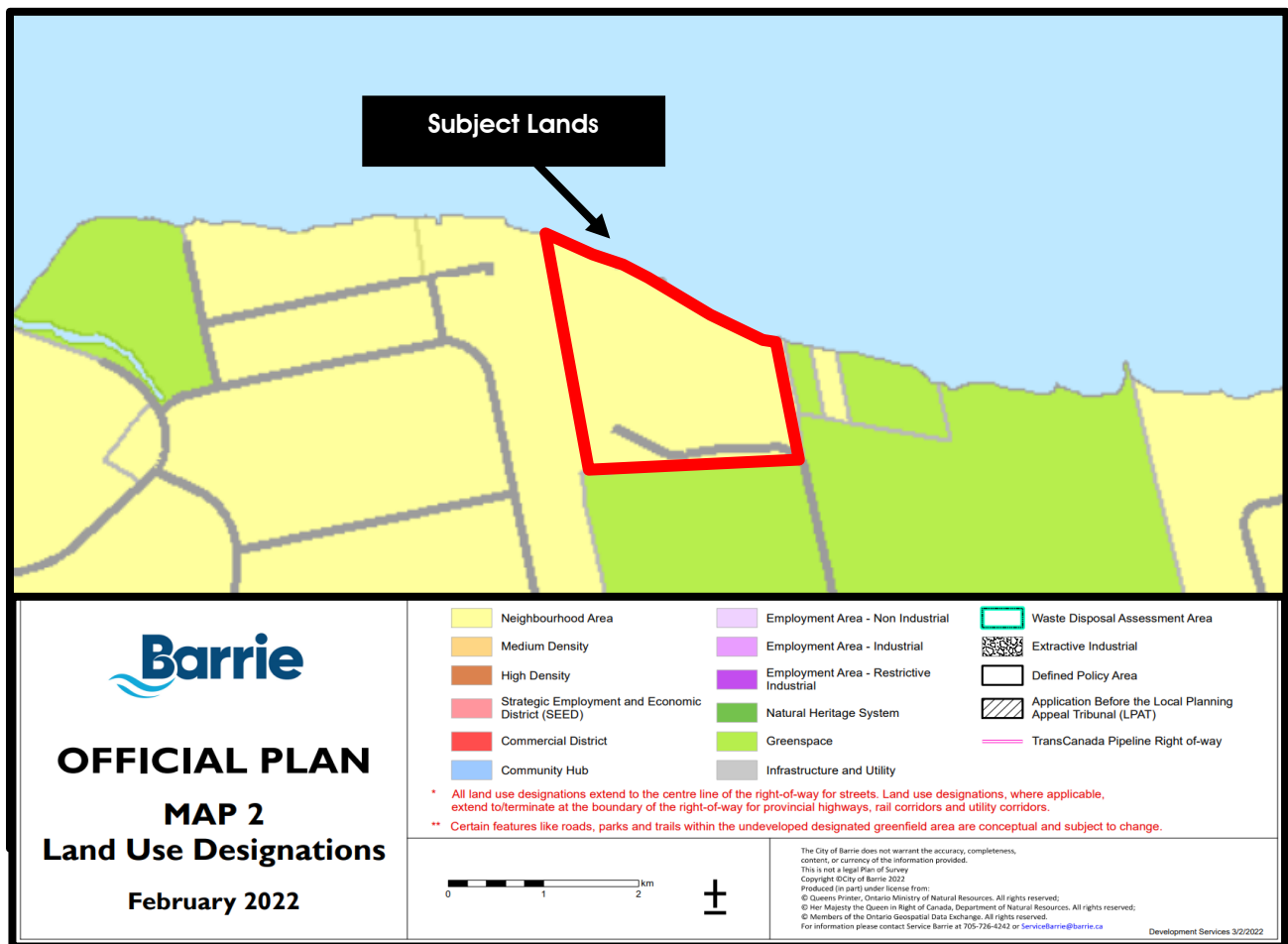
On February 14, 2022, City Council approved a new Official Plan for the City of Barrie. The new Official Plan is pending further approval from the Ministry of Municipal Affairs and Housing (MMAH). The new Official Plan directs the city's growth to accommodate for population and job growth by 2051. The document provides municipal policies and objectives for protecting employment lands, natural spaces, and building up the downtown and other growth areas to create more homes, as these matters adhere to provincial interest. The lands are subject to the policies of the new City of Barrie Official Plan.

Because the new Official Plan is adopted, but not yet approved and in-effect, it is relevant from a policy perspective as it provides information as to the direction the City is taking with respect to land uses.

4.6.1 101-119 Bay Lane

The subject lands are a designated Neighbourhood Area according to Map 2 – Land Use Designations (**Figure 10**).

Figure 10. Adopted City of Barrie Official Plan: 101-119 Bay Lane



4.6.2 Proposed Official Plan Policies

The proposed application has been reviewed to determine its conformity with the following proposed Official Plan policies.

4.6.2.1 Built-Up Area

Section 2.4.2.2 of the adopted Official Plan contains general policies for lands within the Built-Up Area, which are assessed below:

- a) *The City will take a balanced approach to growth management by directing 50% of annual residential growth to within the Built-Up Area, in accordance with the following: i) Development within the Built-Up Area shall be directed toward Strategic Growth Areas, including the Urban Growth Centre, the Allandale Major Transit Station Area and lands fronting onto Intensification Corridors as shown on Map 1; ii) In the Built-Up Area, lands within neighbourhoods shall accommodate appropriate levels of intensification and redevelopment as per the policies of the applicable land-use designation; and, iii) The City will support a mix of land uses across the Built-Up Area.*

The proposed application will maintain the existing nine single detached dwelling units on the lands and allow the redevelopment of one additional single detached dwelling on the proposed vacant lot, which will contribute to the residential growth targets in the Built-Up Area.

- b) *The Built-Up Area will be planned to accommodate new development with a housing mix that is at least 74% high-density, with a substantial proportion of medium-density housing, and with limited low-density development.*

The lands will continue to provide low density housing typology that is appropriate for the site and consistent with the surrounding residential uses in the area.

4.6.2.2 Neighbourhood Area

The lands are proposed to be designated Neighbourhood Area, as shown on Map 2, which permits all forms and tenure of residential uses. Section 2.6.1 contains general land use policies and development policies for the Neighbourhood Area designation which have been assessed below:

1) Policy 2.6.1.2 Land Use Policies

- a) *Provide most of the city's low-rise housing stock, offer neighbourhood-scale commercial uses to service immediate neighbourhoods, and provide a mixture of uses on arterial streets and Intensification Corridors to service the wider community.*

The subject lands contribute nine existing single detached dwelling units, and one additional dwelling unit on the proposed vacant lot, to the City's low-rise housing stock.

- b) *Function as complete communities, and will be planned to encourage walking, cycling and transit use with guidance from Section 4.2.*

The proposed applications will allow the residential uses on the lands to continue, which are in proximity to walking trails, cycling infrastructure and public transit routes.

- c) *Be considered established neighbourhoods that are not intended to experience significant physical change that would alter their general character, except for lands designated Neighbourhood Area within the Designated Greenfield Area, or located on an Intensification Corridor (Map 1), or lands fronting onto arterial or collector streets (Map 4a and Map 4b).*

The lands are not proposed to experience significant physical change as the existing dwelling units will be maintained.

- d) *Permit new development in built-out neighbourhoods that appropriately respects the scale, height, massing, lot pattern, building type, orientation, character, form, and planned function of the immediate local area, as set out in Section 3 of this Plan.*

One additional single detached dwelling unit will be permitted to be redeveloped on the proposed vacant lot, which is previously disturbed. The new dwelling unit will be consistent with the low-density character of the area.

- e) *Permit appropriate levels of intensification in accordance with Sections 2.3.6 and 2.3.7 of this Plan. Any proposed development must be sensitive to and compatible with the character, form, and planned function of the surrounding context, as per the policies in Section 3 of this Plan.*

Not applicable to the proposed application.

- f) *Promote intensification by permitting additional residential units, including detached ancillary dwelling units, second suites, shared accommodations, and other forms of low impact intensification, which can provide affordable housing options.*

Not applicable to the proposed application.

2) Policy 2.6.1.2 Development Policies

- a) *Unless otherwise specified in this Plan, development on lands designated Neighbourhood Area which front onto a local street or collector street, as identified on Map 4b, shall be kept to three storeys or less, unless otherwise specified in the Zoning By-law and in which case shall be no more than four storeys.*

The existing one and two-storey single detached dwellings on the lands will remain.

4.6.2.3 Low-Rise Buildings

Section 3.3.2 contains urban design policies for low-rise buildings, which include detached houses, semi-detached houses, townhouses and walk-up apartment buildings. The applicable urban design policies are assessed below:

- a) *The scale, massing, setback, and orientation of low-rise development will be determined through the process of developing and approving block plans, plans of subdivision, Zoning By-laws, demonstration plans, and/or urban design briefs.*

The proposed Plan of Subdivision will facilitate separate lots for existing single detached dwelling units, as well as one vacant lot for a future single detached dwelling to be developed on previously disturbed lands. The Zoning By-law Amendment application will provide site-specific development standards to recognize the existing low-density built form on the lands.

- b) *The primary defining features of low-rise residential or mixed-use development are the main building entrance, arrangement of windows, articulation of the building façade, and articulation of the roofline, and these shall be distinctive in their urban design but not out of proportion within a neighbourhood.*

The lands currently contain nine existing single detached dwelling units that will remain.

- c) *Low-rise development shall respect and complement the scale, massing, setback, and orientation of other built and approved low-rise buildings in the immediate area and shall be consistent with the other policies in this Plan.*

The lands will continue to facilitate single detached dwelling units, which is consistent with surrounding residential character of the area.

- f) *To provide appropriate privacy and daylight for any adjacent lower-scale housing forms, low-rise buildings on a lot that abuts another detached house, semi-detached house or townhouse shall incorporate setbacks and buffers that maintain a high quality of urban design, as per the policies of Section 3.2 of this Plan, the Zoning By-law and the City-Wide Urban Design Guidelines.*

The proposed applications will create separate lots for existing single detached dwellings and will provide site-specific development standards to recognize the existing setbacks and buffers.

- g) *To create visual interest and diversity in the built environment, a wide variety of architectural designs are encouraged. However, new buildings proposed within older, established areas of the city are encouraged to be designed to complement the visual character and architectural/building material elements found in these areas.*

One new single detached dwelling will be permitted to be redeveloped on the proposed vacant lot. The architectural/building material elements of the new dwelling will be reviewed through the building permit process.

- h) *Dwellings should be sited with a consistent setback to provide human scaled streets.*

The residential lots will connect to an existing private driveway, which has access to Bay Lane.

- j) *Garages shall not project forward in such a way that the resultant streetscape created at ground level is dominated by the garages rather than the overall building facades.*

The lands contain existing detached garages which will continue to be accessory to the residential uses.

4.6.2.4 Natural Heritage System

Section 5.3 contains design policies for the Natural Heritage System which are addressed below:

- a) *Lands part of the Natural Heritage System are subject to a series of natural heritage protection overlays identified on Map 3.*

The lands are identified to be within Level 1 Resources with Existing Development and adjacent to Level 3 Resources in Map 3.

- b) *The City will protect its natural heritage features and areas for the long term.*

A Natural Heritage Evaluation was prepared for the proposed applications, which concluded the lands have contain the natural heritage features of Habitat for Endangered and Threatened Species, Significant Woodland, Candidate Significant Wildlife Habitat, and Fish Habitat. The Study concludes the proposal will not result in negative direct or indirect impacts to habitat of Species at Risk and will not negatively impact the ecological functions of any natural heritage features.

4.6.2.5 Infrastructure

Section 6.6.2 contains development control policies for Infrastructure, which are addressed below:

- b) *Infrastructure, including wastewater, water facilities, and gas pipelines, should be planned and located in conjunction with the street right-of-way or existing infrastructure corridors.*

The lands will continue to utilize municipal services.

4.6.2.6 Stormwater Management

Section 6.6.4 contains development control policies for Stormwater Management, which are addressed below:

- a) *All new development shall utilize generally accepted best practices in stormwater management, which shall be the highest level determined to be technically and economically feasible.*

The lands will continue to utilize municipal services. The proposed applications will not result in any changes to stormwater management.

4.6.2.7 Archaeological Resources

Section 8.4.4 contains policies for archaeological resources, which are addressed below:

- a) *Archaeological assessments by archaeologists licensed under the Ontario Heritage Act, carried out in accordance with the Standards and Guidelines for Consultant Archaeologists, shall be required as part of a development application for an Official Plan amendment, Zoning By-law amendment, draft plan of subdivision approval, or consent, and any application under the Planning Act or any public works undertaking where there is potential for archaeological resources including marine archaeological resources.*

The Stage 1-2 Archaeological Assessment submitted with the applications concludes the lands do not contain any archaeological resources.

4.6.2.8 Implementation

Section 9.5 contains policies for the City to consider when evaluating different types of development applications and land use controls, which are addressed below:

1) Policy 9.5.3: Plans of Subdivision

- a) *New plans of subdivision shall be developed in accordance with the policies of this Plan with the objective of developing complete communities while minimizing impacts on the City's existing property tax base.*

The proposed application will meet the intent of the proposed Neighbourhood Area designation as the lands will continue to facilitate low-density residential uses that are compatible with the adjacent land uses and contribute to the housing supply in the City.

- b) *New plans of subdivision must be integrated with adjacent lands, subdivisions, and roads.*

The plan of subdivision will incorporate the existing private driveway on a common block to provide access to the residential uses. The private driveway has direct access to Bay Lane.

- c) *New plans of subdivision must include traffic calming on local roads to improve the safety of all street uses and create a more uniform speed.*

No new local roads are proposed.

- d) *New plans of subdivision must be designed efficiently to minimize operating costs, and utilize existing services so that they do not adversely impact the transportation system, the natural environment, or adjacent land uses.*

The lands will continue to utilize existing municipal services. No negative impacts to the transportation system or adjacent land uses area anticipated. The Natural Heritage Evaluation concludes the proposal will not result in any negative impacts to natural heritage features.

- e) *New plans of subdivision will not be granted draft approval unless they can be supplied with adequate services such as water supply, sewage disposal, storm drainage, fire and police protection, parks, schools, solid waste collection and disposal, and other community facilities.*

The lands are connected to municipal services and have access to community facilities.

- f) *The layout of new plans of subdivision should be encouraged to orient lots to maximize energy efficiency.*

The proposed layout of the residential lots was integrated with the existing single detached dwellings.

- g) *New plans of subdivision must indicate the proposed use for all lots, blocks, and parcels within the subdivision.*

The proposed Plan will provide ten (10) separate residential lots for existing uses and a common block to contain the existing private driveway, tennis court and other accessory uses.

2) Policy 9.5.7: Zoning By-law Amendment

- a) *Conformity with the Plan's land use designation and overall intent of the Plan.*

The proposed application will meet the intent of the proposed Neighbourhood Area designation as the lands will continue to facilitate low-density residential uses that are compatible with the adjacent land uses and contribute to the housing supply in the City.

- b) *The inherent nature of the planned land uses and their potential for negative impacts, relative to any new proposed land use being sought by the amendment.*

The lands will facilitate existing residential uses which are permitted in the current and proposed Official Plan.

- c) *The availability of servicing the proposed land use, if the servicing needs are significantly different than the planned/permitted land uses.*

The lands will continue to utilize existing municipal services.

- d) *The availability of information to adequately understand the development, including whether a plan of subdivision, consent, or site plan application has been filed.*

A Plan of Subdivision application has been submitted concurrently.

e) *How well the proposed development or alteration contributes to meeting the principles and policies of this Plan.*

The proposed applications will allow the existing uses on the lands to continue, while also maintaining the housing supply within the built-up area of the City.

In our opinion, the proposed applications conform to the general intent of the adopted new City of Barrie Official Plan.

4.7 City of Barrie Zoning By-law Amendment

The subject lands are zoned Residential Hold (RH) in the City of Barrie Zoning By-law (**Figure 11**).

Figure 11. Zoning By-law 2009-141: 101-119 Bay Lane



The purpose of the application for a Zoning By-law Amendment is to rezone the lands from Residential Hold (RH) to Residential Single Detached Dwelling First Density (R1) with the following special provisions.

1. Notwithstanding Section 5.3.1 & Table 5.3 of By-law 2009-141, a minimum lot frontage of 17 metres is permitted; whereas, 22 metres is required in the R1 zone.
2. Notwithstanding Section 4.6.2.6 of By-law 2009-141, uncurbed gravel surface treatment will be permitted for private roads and driveways; whereas, curbed stable surfaces such as Portland cement, asphaltic binder or paving stones are required.
3. Uses, buildings and structures accessory to residential uses on Lots 1-10 will be permitted on Block 11. Accessory uses such as recreational uses/facilities (e.g. tennis court), private roadway/driveways, infrastructure and storage will be permitted.

5.0 CONCLUSION

This report reviewed the land use planning merits of a Zoning By-law Amendment application, Plan of Subdivision application and Condominium Exemption application for the lands located at 101-119 Bay Lane in the City of Barrie. The proposed applications are consistent with the PPS, and conform to the policies of the Growth Plan, the Lake Simcoe Protection Plan, the current City of Barrie Official Plan, and the new adopted City of Barrie Official Plan.

The proposed applications will allow the existing residential uses on the lands to continue, which represents an appropriate use of the lands. The proposal will not negatively impact any natural heritage features and is designed to integrate the existing built form and be compatible with adjacent uses.

In our professional opinion, the proposed Zoning By-law Amendment application, Plan of Subdivision application and Condominium Exemption application represents good planning and will contribute in a positive way to the quality of life in the City of Barrie.

Sincerely,

THE JONES CONSULTING GROUP LTD.



Amanda Hoffmann, BURPI.
Planner



Ray Duhamel, M.C.P., MCIP, RPP
Partner