

ONTARIO BUILDING CODE DATA

- PROJECT DESCRIPTION:**
NEW MIXED USE BUILDING
BUILDING HEIGHT = 17.20 M (5 STOREYS)
- MAJOR OCCUPANCY:**
RESIDENTIAL - GROUP C
- BUILDING AREA:**
EXISTING (0.0) + NEW (1,596.20) = TOTAL 1,596.20 SQ.M.
- GROSS AREA:**
EXISTING (0.0) + NEW (6,295.20) = TOTAL 6,295.20 SQ.M.
- NUMBER OF STOREYS:**
ABOVE GRADE = 4 STOREYS, BELOW GRADE = 0 STOREYS
- NUMBER OF STREETS / FIRE FIGHTER ACCESS:**
FACING 1 STREET
- BUILDING CLASSIFICATION:**
3.2.2.43A, GROUP C, UP TO 6 STOREYS, SPRINKLERED

DIV. B PART 3

B 3.1.2.1(1)

A 1.4.1.2

A 1.4.1.2

B 3.2.1.1 & A 1.4.1.2

B 3.2.2.10 & B 3.2.5

B 3.2.2.20 - B 3.2.2.83

- SPRINKLER SYSTEM PROPOSED:**
FULLY SPRINKLERED
- STANDPIPE REQUIRED:**
YES
- FIRE ALARM REQUIRED:**
YES
- WATER SERVICE / SUPPLY IS ADEQUATE:**
YES
- HIGH BUILDING:**
NO
- PERMITTED CONSTRUCTION:**
COMBUSTIBLE OR NON-COMBUSTIBLE
ACTUAL CONSTRUCTION:
COMBUSTIBLE AND NON-COMBUSTIBLE
- MEZZANINE AREA(S):**
TOTAL = 0 SQ.M.

B 3.2.2.43 & B 3.2.1.5

B 3.2.9

B 3.2.4

B 3.2.5.7

B 3.2.6

B 3.2.2.20 - B 3.2.2.83

B 3.2.1.1(3) - B 3.2.1.1(8)

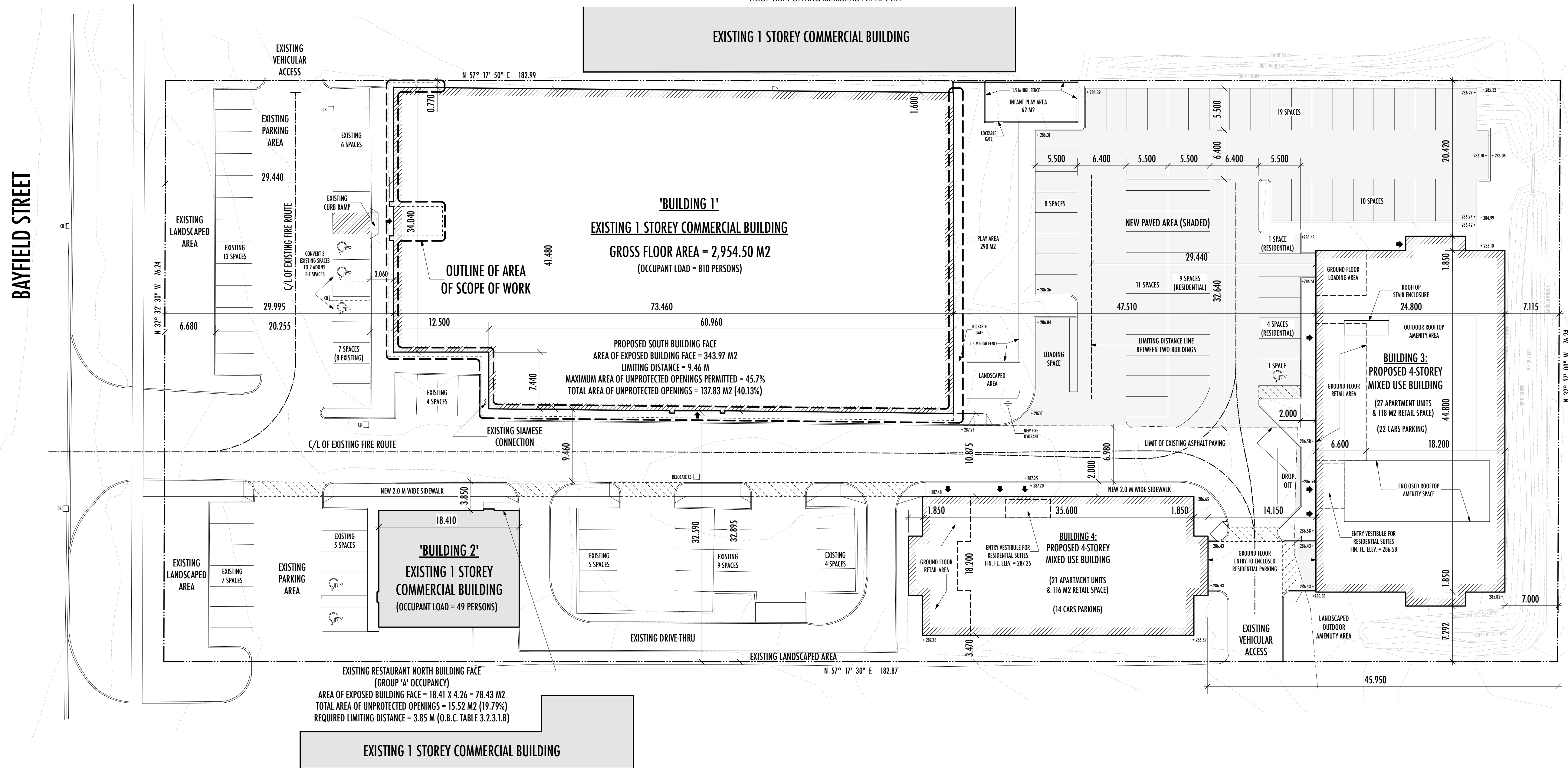
- OCCUPANT LOAD:**
GROUND FLOOR (F): 250 M2 / 3.7 = 68 PERSONS
GROUND FLOOR (F3): 1,086 M2 / 46 = 24 PERSONS
SECOND FLOOR (C): 2 / BEDROOM = 52 PERSONS
THIRD FLOOR (C): 2 / BEDROOM = 52 PERSONS
FOURTH FLOOR (C): 2 / BEDROOM = 52 PERSONS
ROOF (A2): 91 M2 / 1.85 = 50 PERSONS
TOTAL = 298 PERSONS
- BARRIER FREE DESIGN:**
YES
- HAZARDOUS SUBSTANCES:**
NO
- REQUIRED FIRE-RESISTANCE RATINGS:**
SECOND FLOOR ASSEMBLY FRR = 2 HR.
THIRD & FOURTH FLOOR ASSEMBLIES FRR = 1 HR.
ROOF ASSEMBLY FRR = 1 HR.
SECOND FLOOR SUPPORTING MEMBERS FRR = 2 HR.
FLOOR SUPPORTING MEMBERS FRR = 1 HR.
ROOF SUPPORTING MEMBERS FRR = 1 HR.

B 3.1.16

B 3.8

B 3.3.1.2 & B 3.3.1.19

B 3.2.2.43 & B 3.2.1.4



SITE STATISTICS:

	REQUIRED	EXISTING	PROPOSED
OFFICIAL PLAN DESIGNATION:		GENERAL COMMERCIAL	GENERAL COMMERCIAL
ZONING CATEGORY:		GENERAL COMMERCIAL (C4)	GENERAL COMMERCIAL (C4)
ZONING USE:		RETAIL STORE	SHOPPING CENTRE
LOT AREA:	450 M2	13,935.46 M2	13,935.46 M2
LOT FRONTAGE:	15.0 M (MIN.)	76.20 M	76.20 M
BUILDING AREA:		3,236.70 M2	5,053.40 M2
BUILDING 1:		2,954.50 M2	2,954.50 M2
BUILDING 2:		282.20 M2	282.20 M2
BUILDING 3:		0.00 M2	1,139.90 M2
BUILDING 4:		0.00 M2	676.80 M2
LOT COVERAGE:	50% (MAX.)	23.3%	36.3%
BUILDING DENSITY:		2,322.64 M2/HA	7,479.47 M2/HA
GROSS FLOOR AREA:		3,236.70 M2	10,436.10 M2
BUILDING 1:		2,954.50 M2	2,954.50 M2
BUILDING 2:		282.20 M2	282.20 M2
BUILDING 3:		0.00 M2	4,539.60 M2
BUILDING 4:		0.00 M2	2,659.80 M2
FLOOR SPACE INDEX:		0.23	0.74
BUILDING HEIGHTS:	14.0 M (MAX.)		
BUILDING 1:		7.2 M	7.2 M
BUILDING 2:		1 STOREY	1 STOREY
BUILDING 3:			17.2 M
BUILDING 4:			17.2 M

	REQUIRED	EXISTING	PROPOSED
BUILDING 3 SETBACKS:			
FRONT:	6.0 M (MIN.)	N/A	29.440 M
REAR:	7.0 M (MIN.)	N/A	7.000 M
NORTH SIDE:	3.0 M (MIN.)	N/A	20.420 M
SOUTH SIDE:	3.0 M (MIN.)	N/A	7.292 M
BUILDING 4 SETBACKS:			
FRONT:	6.0 M (MIN.)	N/A	25.500 M
REAR:	7.0 M (MIN.)	N/A	45.950 M
NORTH SIDE:	3.0 M (MIN.)	N/A	54.500 M
SOUTH SIDE:	3.0 M (MIN.)	N/A	3.470 M
PARKING AREA:		4,620.86 M2	6,691.56 M2
BUILDINGS 1, 3 & 4:		3,792.17 M2	5,862.87 M2
BUILDING 2:		828.69 M2	828.69 M2
PARKING REQUIRED:		112 SPACES	192 SPACES
BUILDING 1:	2,954.5 M2 @ 1 PER 30 M2	99 SPACES	99 SPACES
BUILDING 2:	1 PER 4 PERSONS	13 SPACES	13 SPACES
BUILDINGS 3&4 (RETAIL):	234 M2 @ 1 PER 30 M2		8 SPACES
BUILDINGS 3&4 (APTMT.):	48 @ 1.5 PER UNIT		72 SPACES
PARKING PROVIDED:		104 SPACES	158 SPACES
BUILDING 1:		91 SPACES	87 SPACES
BUILDING 2:			13 SPACES
BUILDINGS 3&4 (RETAIL):			8 SPACES
BUILDINGS 3&4 (APTMT.):			50 SPACES

NOTE:
INFORMATION ON THIS SITE PLAN
TAKEN FROM:
PLAN OF SURVEY OF
PART OF LOT 18, CONCESSION 4
GEOGRAPHIC TOWNSHIP OF VESPRE
NOW IN THE CITY OF BARRIE
COUNTY OF SIMCOE
BY: J.D. BARNES LIMITED
MARCH 29, 2021



Key Plan

Issue	Date	Description	By
01	JUN 11/19	OWNER REVIEW	J.M.
02	AUG 21/19	OWNER REVIEW	J.M.
03	OCT 18/19	OWNER REVIEW	J.M.
04	JUL 21/20	OWNER REVIEW	J.M.
05	NOV 25/20	OWNER REVIEW	J.M.
06	APR 21/21	OWNER REVIEW	J.M.
07	SEP 24/21	OWNER REVIEW	J.M.
08	MAR 29/22	OWNER REVIEW & CONSULTATION	J.M.
09	JUL 13/22	REVIEW & CONSULTATION	J.M.
10	OCT 27/22	COORDINATION	J.M.
11	JAN 06/23	COORDINATION	J.M.
12	FEB 24/23	OWNER REVIEW	J.M.

Issue	Date	Description	By
01	N/A	N/A	J.M.

ARCHITECT'S INSTRUCTIONS:

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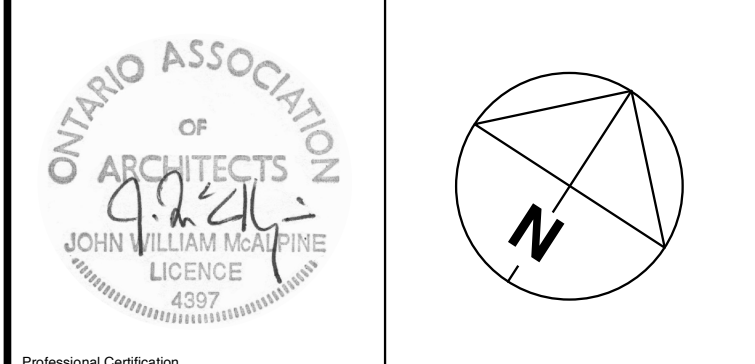
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A PARTNERSHIP OF CORPORATIONS
KEITH LOFFLER DESIGN INC PARTNERS MCALDINE ARCHITECT INC



Professional Certification		
OWNER REVIEW		
Issued for	FEBRUARY 24, 2023	
Issue date	Scale	1 : 300
1935	J.M.	J.M.
Project No.	Drawn by	Checked by

Mixed Use Development Buildings 3 & 4

535 Bayfield Street, Barrie, Ontario

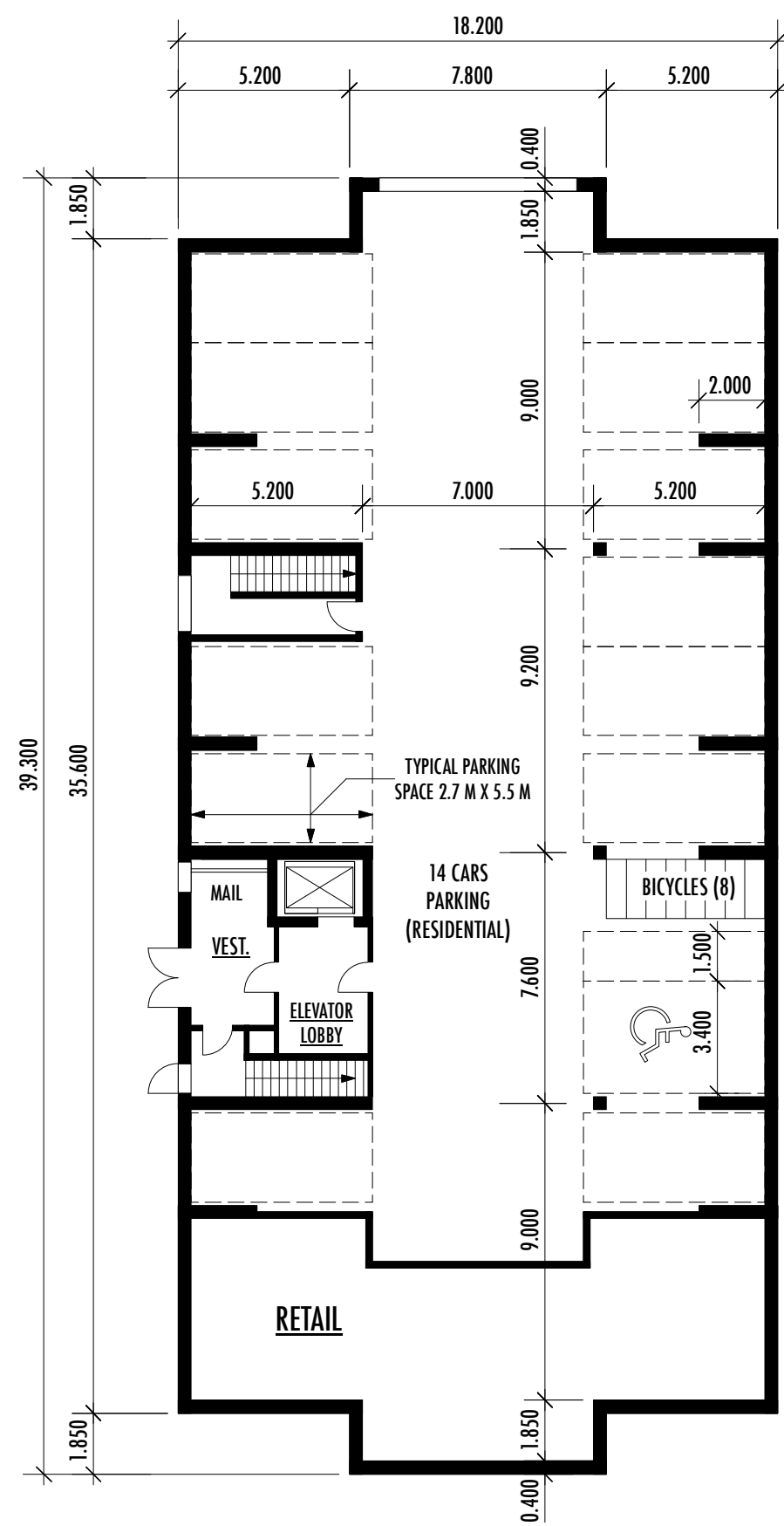
OWNER: Petro Gold Ltd.

Architectural Site Plan

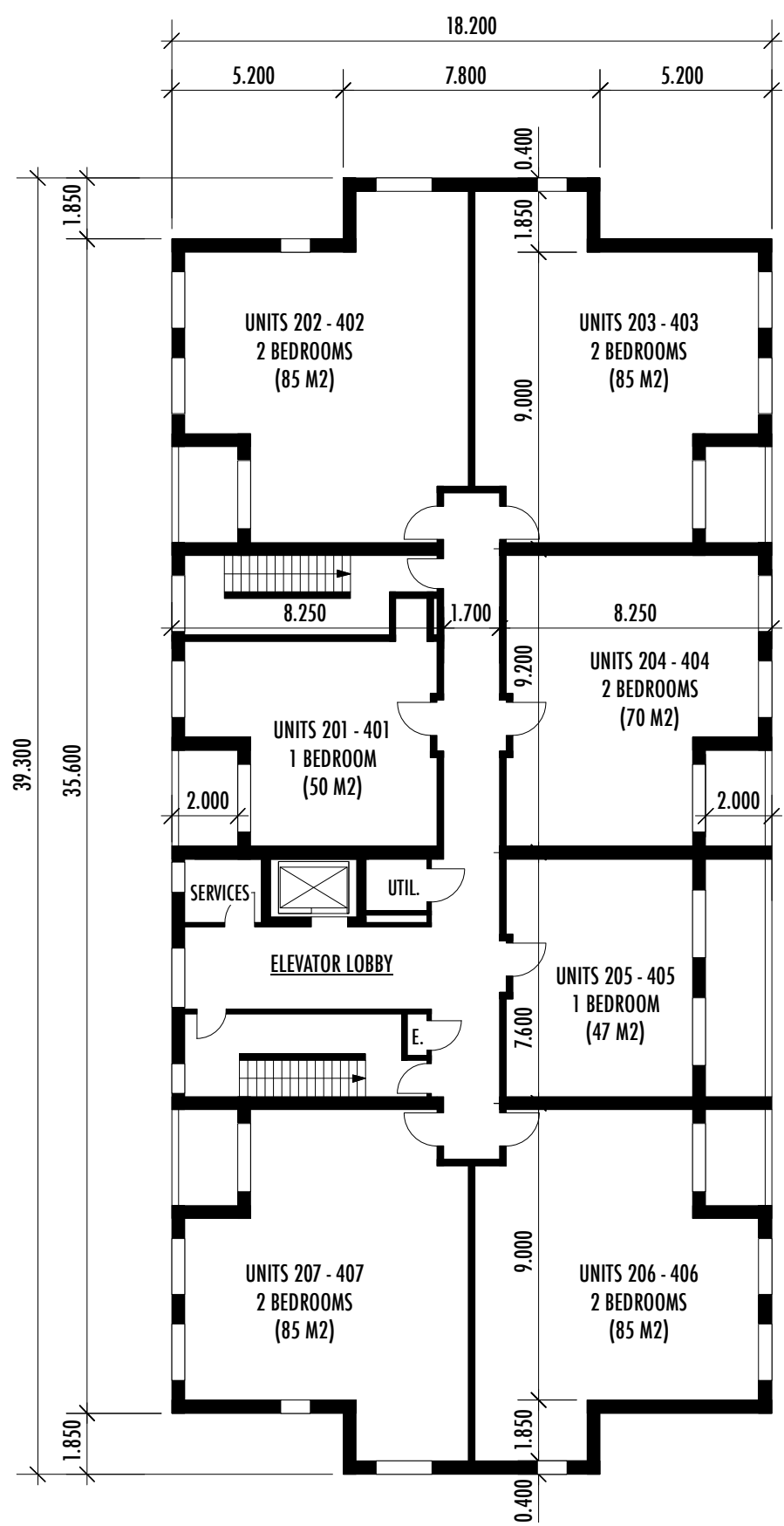
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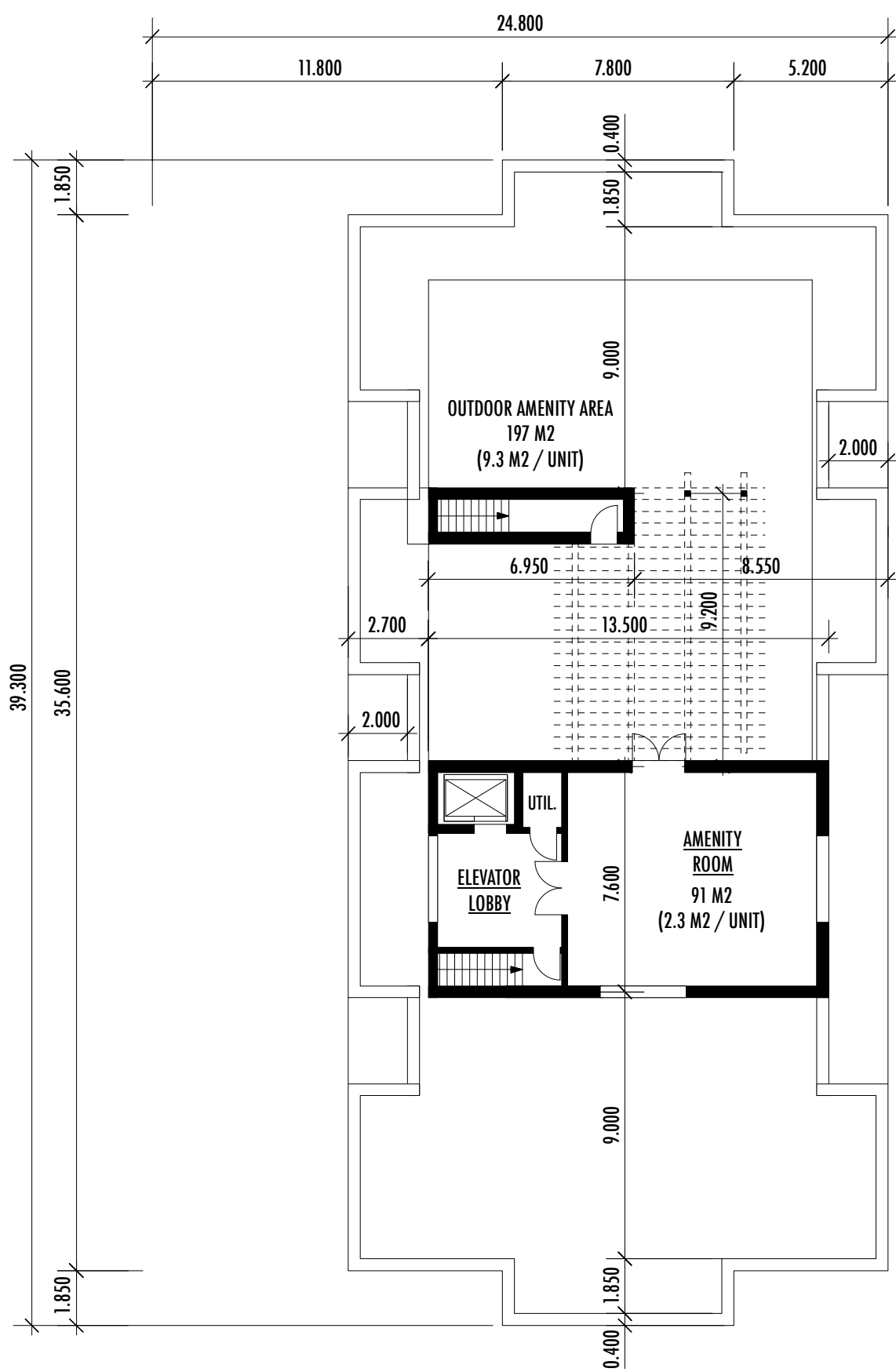
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GROUND FLOOR PLAN
FLOOR PLATE = 676.70 M2



2ND, 3RD, & 4TH FLOOR PLAN
FLOOR PLATE = 625.10 M2



ROOF PLAN
FLOOR AREA = 107.80 M2

BUILDING 4 FLOOR PLANS



Key Plan			
Issue	Date	Description	By
01	MAR 23/22	OWNER REVIEW	J.M.
02	MAR 29/22	OWNER REVIEW & CONSULTATION	J.M.
03	JAN 06/23	COORDINATION	J.M.

01	N/A	N/A	J.M.
Rev.	Date	Description	By

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KEITH LOFFLER DESIGN INC. PARTNERS MCALPINE ARCHITECT INC.

ONTARIO ASSOCIATION OF ARCHITECTS

JOHN WILLIARD MCALPINE LICENCE 4397

COORDINATION		
Issued for	JANUARY 06, 2023	
Issue date	1935	J.M.
Project no.		
Scale	1 : 200	
Drawn by	J.M.	
Checked by		

**Mixed Use Buildings
Buildings 3 & 4**

535 Bayfield Street, Barrie, Ontario

OWNER: Petro Gold Ltd.

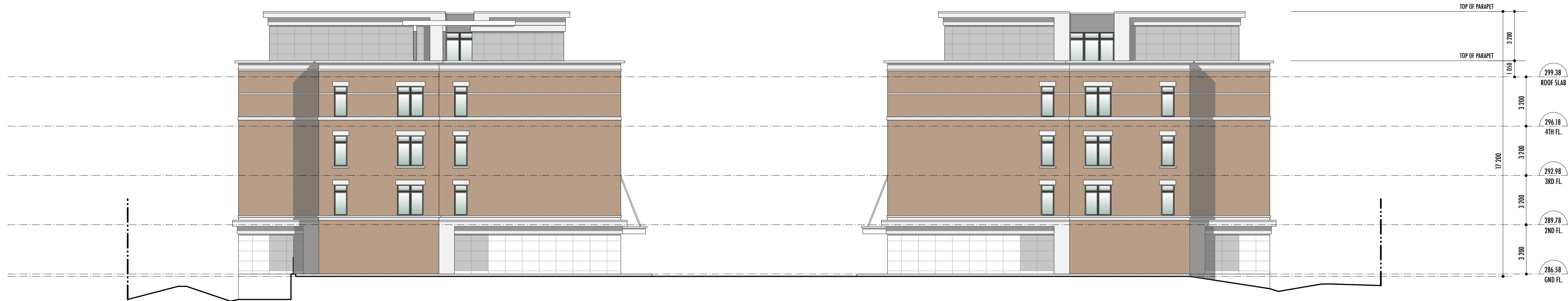
**Buildings 3 & 4
Floor Plans**



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



Key Plan

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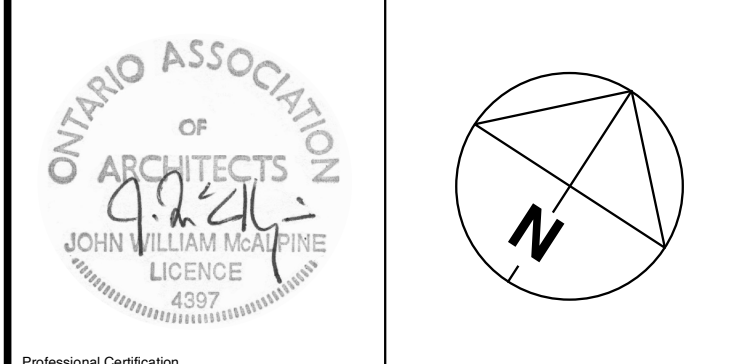
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COORDINATION		
Issued for	JANUARY 06, 2023	
Issue date	1935	Scale
Project no.	J.M.	J.M.

**Mixed Use Buildings
Buildings 3 & 4**

535 Bayfield Street, Barrie, Ontario

OWNER: Petro Gold Ltd.

**Building 3
Exterior Elevations**

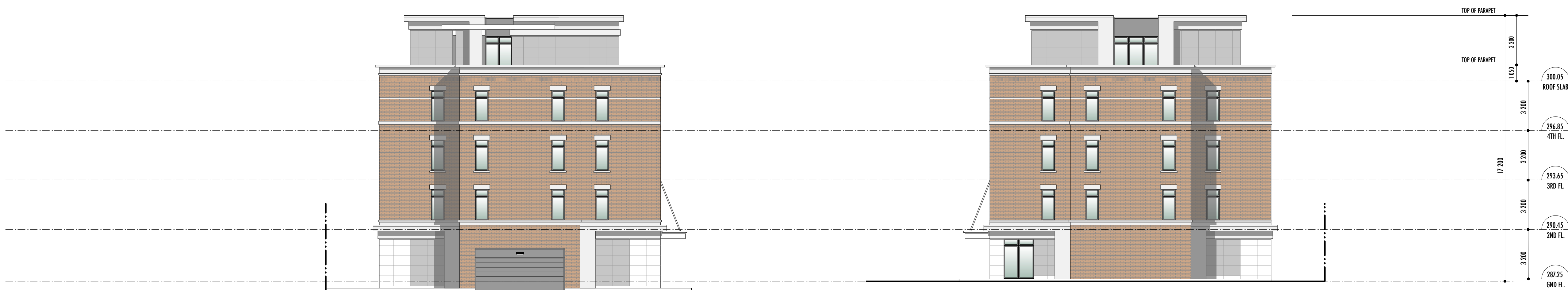
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NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

WEST ELEVATION



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COORDINATION		
Issued for	1 : 150	
Issue date	Scale	
1935	J.M.	J.M.
Project no.	Drawn by	Checked by

Mixed Use Buildings
Buildings 3 & 4

535 Bayfield Street, Barrie, Ontario

OWNER: Petro Gold Ltd.

Building 4
Exterior Elevations

Drawing Title	
A202	
Sheet no.	