

PROPOSED MIXED-USE DEVELOPMENT

440 Essa Road, Barrie ON

DRAWING LIST

ARCHITECTURAL

A 0.00 DEVELOPMENT STATISTICS

A 1.00	CONTEXT PLAN
A 1.01	SITE PLAN
A 1.02	GROUND FLOOR SITE PLAN

A 3.00	P2 & P1 LEVEL
A 3.01	G.F. & 2ND FLOOR PLANS
A 3.02	3RD & 4TH FLOOR PLANS
A 3.03	5TH & 6TH FLOOR PLANS
A 3.04	7TH & 8TH FLOOR PLANS
A 3.05	ROOFTOP & ROOF PLANS



**ISSUED FOR SPA 4TH SUBMISSION,
JUNE 02, 2023**

Issued:

[illegible]

SPA 4	June 02, 2023
SPA 3	Mar. 03, 2023
Minor Variance	Jun. 10, 2022
SPA 2	Apr. 30, 2021
SPA	Dec. 21, 2020
ZBA	Aug. 23, 2019

No.	Issued for	Date
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General Notes:

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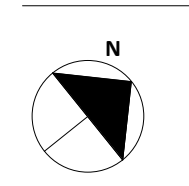
3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect

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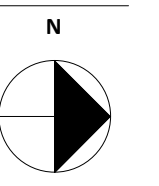
STUDIO

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Toronto, ON M3J 0H1
t. 416.901.6528
www.studiojci.com



TRUE NORTH



PROJECT NORTH

PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:

440 Essa Road , Barrie, ON

COVER

Project No.: 1905
Scale:
Date: June 02, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 0

PROPOSED MIXED USE DEVELOPMENT

440 Essa Road

AREA SUMMARY

Lot Area (existing):	5008.20 m ²	53907.8 ft ²	Density:	3.85
Total Building GFA:	19288.9 m ²	207623.9 ft ²	Lot Coverage:	52%

COMMON AREA / CIRCULATION				PARKING		RESIDENTIAL *		PRIVATE OUTDOOR AMENITY (BALCONY / TERRACE)		COMMERCIAL		INDOOR AMENITY		PUBLIC OUTDOOR AMENITY		GROSS CONSTRUCTION AREA		
Level	m2	sf	m2	sf	m2	SF	m2	sf	m2	sf	m2	sf	m2	sf	m2	sf	m2	sf
P2	277.6 m²	2988.1 ft²	3515.2 m²	37837.7 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	4036.5 m²	43448.4 ft²
P1	385.3 m²	4147.0 ft²	3438.8 m²	37015.2 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	3978.2 m²	42821.0 ft²
LOWER GROUND FLOOR	604.5 m²	6507.2 ft²	85.0 m²	914.6 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	926.8 m²	9976.3 ft²	237.0 m²	2551.0 ft²	1251.8 m²	13474.3 ft²	1853.3 m²	19949.1 ft²		
MEZZANINE	92.0 m²	990.3 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	92.0 m²	990.3 ft²
FLOOR 2	183.5 m²	1975.5 ft²	0.0 m²	0.0 ft²	2050.6 m²	22072.6 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	2289.9 m²	24648.0 ft²
FLOOR 3	190.1 m²	2046.3 ft²	0.0 m²	0.0 ft²	2419.8 m²	26046.0 ft²	13.2 m²	142.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	2609.9 m²	28092.3 ft²
FLOOR 4	189.9 m²	2044.5 ft²	0.0 m²	0.0 ft²	2419.9 m²	26047.6 ft²	13.2 m²	142.2 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	2609.8 m²	28092.1 ft²
FLOOR 5	189.9 m²	2044.5 ft²	0.0 m²	0.0 ft²	2419.9 m²	26047.6 ft²	13.2 m²	142.2 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	2609.8 m²	28092.1 ft²
FLOOR 6	190.0 m²	2045.3 ft²	0.0 m²	0.0 ft²	2385.3 m²	25675.3 ft²	13.2 m²	142.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	2575.3 m²	27720.6 ft²
FLOOR 7	191.7 m²	2063.6 ft²	0.0 m²	0.0 ft²	2092.6 m²	22525.0 ft²	295.7 m²	3183.1 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	2284.3 m²	24588.5 ft²
FLOOR 8	191.7 m²	2063.7 ft²	0.0 m²	0.0 ft²	1832.0 m²	19719.2 ft²	272.2 m²	2929.6 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	2023.7 m²	21782.9 ft²
FLOOR 9	178.1 m²	1916.9 ft²	0.0 m²	0.0 ft²	1310.4 m²	14104.6 ft²	535.6 m²	5765.6 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	1488.4 m²	16021.4 ft²
MECH. PENTHOUSE	280.7 m²	3021.3 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	0.0 m²	0.0 ft²	736.5 m²	7928.1 ft²	280.7 m²	3021.3 ft²
TOTAL	3145.2 m²	33854.1 ft²	7039.0 m²	75767.5 ft²	16930.4 m²	182237.8 ft²	1156.3 m²	12446.8 ft²	926.8 m²	9976.3 ft²	237.0 m²	2551.0 ft²	1988.4 m²	21402.4 ft²	28731.9 m²	309268.0 ft²		

Note *: not including balcony and terrace area

UNIT PERCENT *		
Unit Type	Count	Percentage
1B	36	13.7%
1B+D	54	20.6%
2B	86	32.8%
2B+D	63	24.0%
3B	15	5.7%
STUDIO	8	3.1%
TOTAL	262	100.0%

Note:

* Affordable units included

AFFORDABLE UNIT COUNT		
Unit Type	Count	Percentage
1B	27	10.3%
1B+D	5	1.9%
STUDIO	7	2.7%
TOTAL	39	14.9%

UNIT BREAK DOWN PER LEVEL		UNIT BREAK DOWN PER LEVEL	
Floor / Unit Type	Unit	Floor / Unit Type	Unit
FLOOR 2		FLOOR 6	
1B	27	1B+D	4
1B+D	5	2B	13
2B	2	2B+D	14
STUDIO	7	3B	3
	41		34
FLOOR 3		FLOOR 7	
1B+D	4	1B	4
2B	13	1B+D	14
2B+D	14	2B	15
3B	3	2B+D	1
	34		34
FLOOR 4		FLOOR 8	
1B+D	4	1B	5
2B	13	1B+D	4
2B+D	14	2B	15
3B	3	2B+D	4
	34	3B	1
FLOOR 5			29
1B+D	4	FLOOR 9	
2B	13	1B+D	15
2B+D	14	2B	2
3B	3	2B+D	2
	34	3B	2
		STUDIO	1
			22
		TOTAL UNITS	262

RESIDENTIAL LOCKER STATISTICS	
Level	Count
P2	66
P1	44
FLOOR 2	16
TOTAL	126

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440 Essa Road

ZONING STATS

STANDARD	REQUIRED 'MU2 ZONE (MU2 SP-591) '	PROPOSED (9 Storey)
LOT AREA (MIN)	-	5008.2 m ²
LOT FRONTAGE (MIN)	-	136.53 m
FRONT YARD SETBACK (WEST)	0.5 m (MIN)	2.52 m 0.75 m
SIDE YARD SETBACK - EXTERIOR (STREET OR LAKE) (MIN)	3.0 m (MIN)	N/A
SIDE YARD SETBACK (NORTH) (MAX)	3.0 m (MAX)	2.43 m
SIDE YARD SETBACK (SOUTH) (MIN)	7.5 m	7.50 m
REAR YARD SETBACK (EAST) (MIN)	15.0 m	15.20 m
LANDSCAPE OPEN SPACE (MIN)	-	-
LOT COVERAGE (MAX)	-	52%
GROSS FLOOR AREA (MAX % OF LOT AREA)	-	3.79
STREET LEVEL FLOOR HEIGHT (MIN)	4.5 m	4.7 m
BUILDING HEIGHT (MAX)	7.5 m (MIN) 25.5 m (MAX)	29.0 m
BUILDING HEIGHT - ABUTTING RESIDENTIAL (MAX)	7.5 m (MIN) 25.5 m (MAX)	29.0 m
FRONT FAÇADE STEP-BACK (MIN)	45 DEGREE ANGULAR PLANE @ 80% EQUIV. ROW USING 3M STEP-BACK	COMPLIES (SEE SECTION)
SIDE FAÇADE STEP-BACK (MIN)	IF ADJACENT TO AN OS ZONE, 5.5M @ HEIGHT ABOVE 80% EQUIV. ROW	N/A
REAR FAÇADE STEP-BACK (MIN)	45 DEGREE ANGULAR PLANE ABOVE 7.5m USING 3m STEP-BACK	COMPLIES - MINOR ENCROACHMENT OF ROOFTOP MECH. ELEMENTS (SEE SECTION)
GROUND FLOOR COMMERCIAL (MIN % OF 1ST FLOOR GFA)	50%	79%
AMENITY AREAS FOR RESIDENTIAL USES (MIN)	12 m ² / UNIT (OPEN LANDSCAPE, ROOFTOP AMENITY, PRIVATE BALC., OR OTHER AMENITY FEATURES), 3084.0 m ²	3144.0 m ²
LANDSCAPE BUFFER AND FENCING (MIN. ABUTTING RESIDENTIAL)	3m BUFFER & 2m HEIGHT TIGHT BOARD FENCE (ALONG LOT LINE)	COMPLIES (SEE SECTION & PLANS)
PARKING (MIN)	1 / 24m ² OF GFA (MULTIPLE COMMERCIAL USES) & 1.0 SPACES/UNIT (RESIDENTIAL)	45 Commercial Spaces -6 Replaced parking spots for 430 Essa 231 Residential Spaces + 4 tandem spots (4 Type A & 5 Type B BF spaces included)
PARKING COVERAGE APARTMENT DWELLING UNITS (MAX % LOT)	45 Com/257 Res 35%	18.4 % (10 RESIDENTIAL PARKING SPACE AT GRADE)
FRONT YARD PARKING (MAX)	0%	N/A
PARKING STALL SIZE (MIN)	REGULAR: 2.7m x 5.5m PARALLEL: 2.7m x 6.7m	COMPLIES
PARKING STALL SIZE - BARRIER FREE (MIN)	TYPE A 3.4m x 5.5m TYPE B 3.1m x 5.5m WITH 1.5m ACCESS AISLE	COMPLIES
DRIVE AISLE WIDTH (MIN)	6.4 m	6.4 m
LOADING SPACES (MIN)	1 SPACE 3m x 9m x 4m(w x l x h)	1 SPACE 3m x 9m x 4m(w x l x h)
ACCESSORY BUILDING	HEIGHT(MAX): 4M, CONNOT OCCUPY FRONT OR EXTERIOR SIDE YARDS. SIDE: 0.6m, LOT(MAX): LESSER OF 10% OR 50m2	N/A

GFA EXEMPTIONS ***		TOTAL GFA	
m2	sf	m2	sf
4017.1 m ²	43240.2 ft ²	19.3 m ²	208.2 ft ²
3958.9 m ²	42612.8 ft ²	19.3 m ²	208.2 ft ²
616.2 m ²	6633.2 ft ²	1237.1 m ²	13315.9 ft ²
92.0 m ²	990.3 ft ²	0.0 m ²	0.0 ft ²
109.5 m ²	1178.7 ft ²	2180.4 m ²	23469.3 ft ²
54.5 m ²	586.2 ft ²	2555.4 m ²	27506.0 ft ²
54.2 m ²	583.2 ft ²	2555.7 m ²	27508.9 ft ²
54.2 m ²	583.2 ft ²	2555.7 m ²	27508.9 ft ²
54.3 m ²	584.6 ft ²	2521.0 m ²	27136.0 ft ²
54.3 m ²	584.8 ft ²	2230.0 m ²	24003.7 ft ²
54.4 m ²	585.2 ft ²	1969.3 m ²	21197.7 ft ²
54.2 m ²	583.5 ft ²	1434.2 m ²	15438.0 ft ²
269.2 m ²	2898.1 ft ²	11.4 m ²	123.2 ft ²
9443.0 m²	101644.0 ft²	19288.9 m²	207623.9 ft²

Note ***: GFA Exemptions as per comprehensive zoning by-law 2009-141

Gross floor area shall mean the total area of all floors in a building, excepting a basement in a residential building, measured from the outside face of the exterior walls, but exclusive of any part of a building which is used for the storage or parking of motor vehicles other than for the automotive purposes defined in section 3.0 in this by-law, for storage, stairwells, or for mechanical or electrical equipment providing services for the entire building. In addition to the exceptions, in calculating the gross floor area for "dwelling, apartment", the part of the gross corridor areas which are in excess of the minimum corridor areas required under the provisions of the Ontario building code and the area occupied by a recreational amenity shall not be included.

Issued:

No.		Date
	ZBA	Aug. 23, 2020
	SPA	Dec. 21, 2020
	SPA 2	Apr. 30, 2021
	Minor Variance	Jun. 10, 2022
	SPA 3	Mar. 03, 2023

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ONTARIO ASSOCIATION
 OF
 ARCHITECTS
Valery
 JAEGER, CHAIR
 LICENCE
 6108

PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:

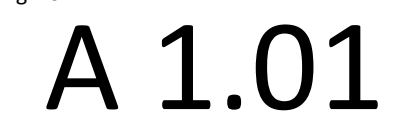
440 Essa Road , Barrie, ON

DEVELOPMENT STATISTICS

Project No.: 1905
Scale:
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 0.00



BUILDING HEIGHT
SHALL MEAN THE VERTICAL DISTANCE FROM THE AVERAGE FINISHED GRADE LEVEL TO, IN THE CASE OF A FLAT ROOF, THE HIGHEST POINT OF THE HIGHEST ROOF SURFACE (BY-LAW 2019-115)

REFER TO CIVIL DRAWINGS FOR DETAILED SITE GRADING PLAN

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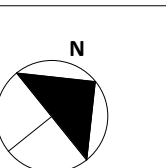
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ARCHITECTS
Zalozny
AFGEO CHARTER
LICENCE
6108

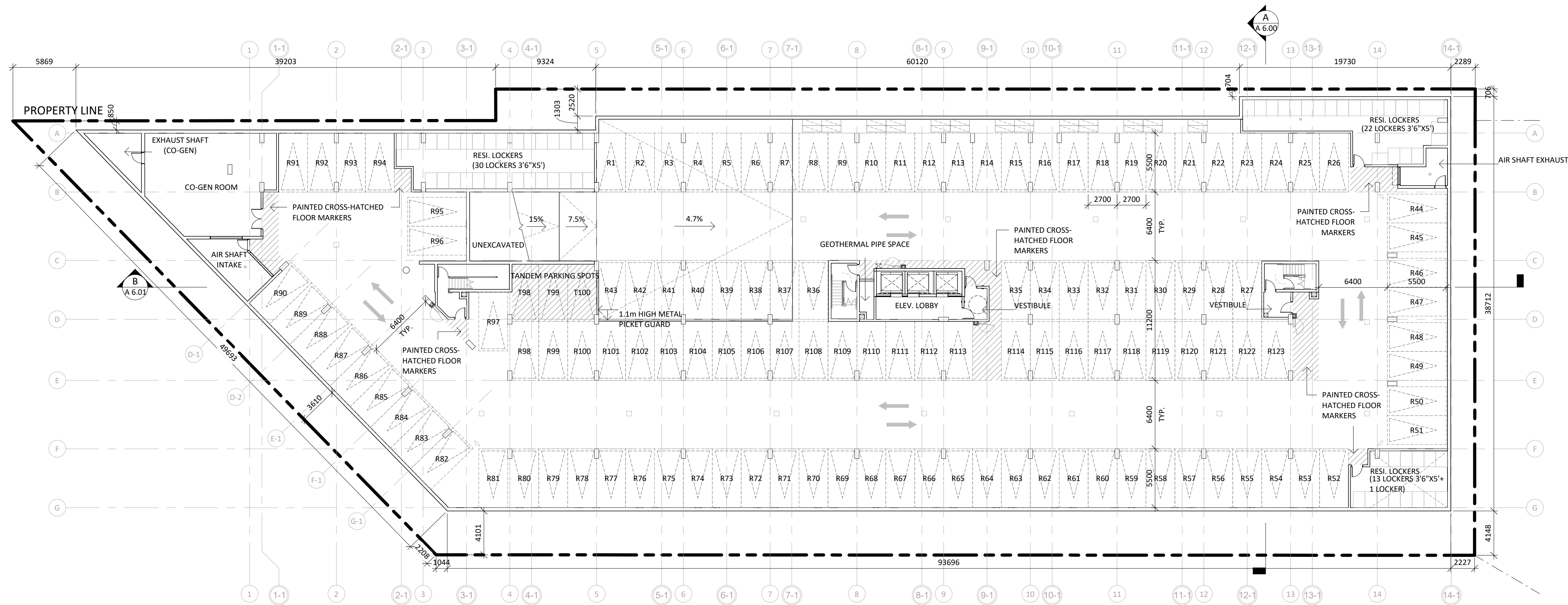


ADDRESS:
40 Essa Road , Barrie, ON

Project No.: 1905
Scale: 1 : 200
Date: June 02, 2023
Drawn by: STUDIO JCI

Drawing No.:

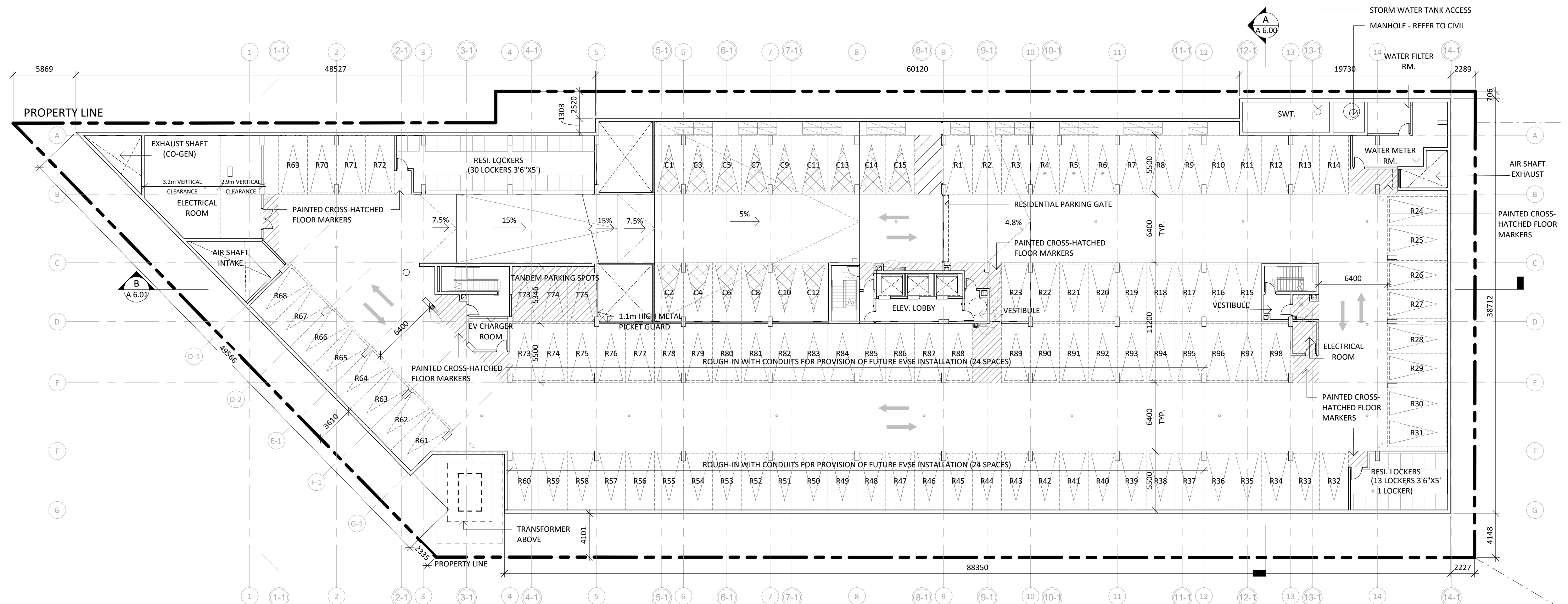
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1 P2 LEVEL FLOOR PLAN
Scale: 1 : 250

VEHICLE PARKING P2

Residential	123
Residential (Tandem)	3
TOTAL	126



2 P1 LEVEL FLOOR PLAN
Scale: 1 : 250

VEHICLE PARKING P1

Commercial	15
Residential	98
Residential (Tandem)	3
TOTAL	116

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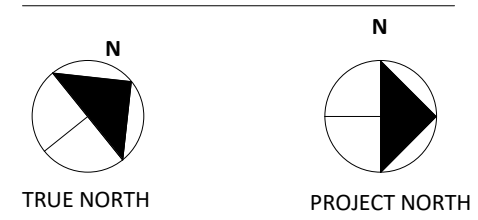
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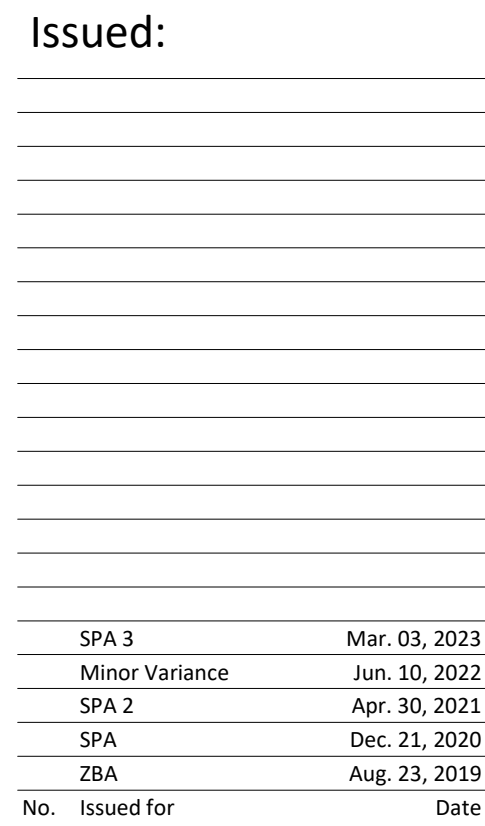
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P2 & P1 LEVEL

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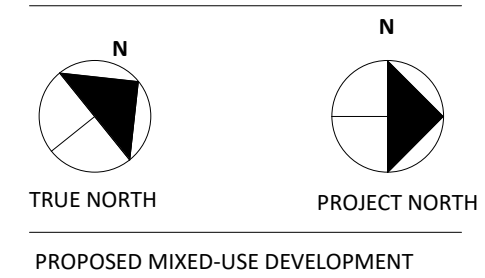
Drawing No.:

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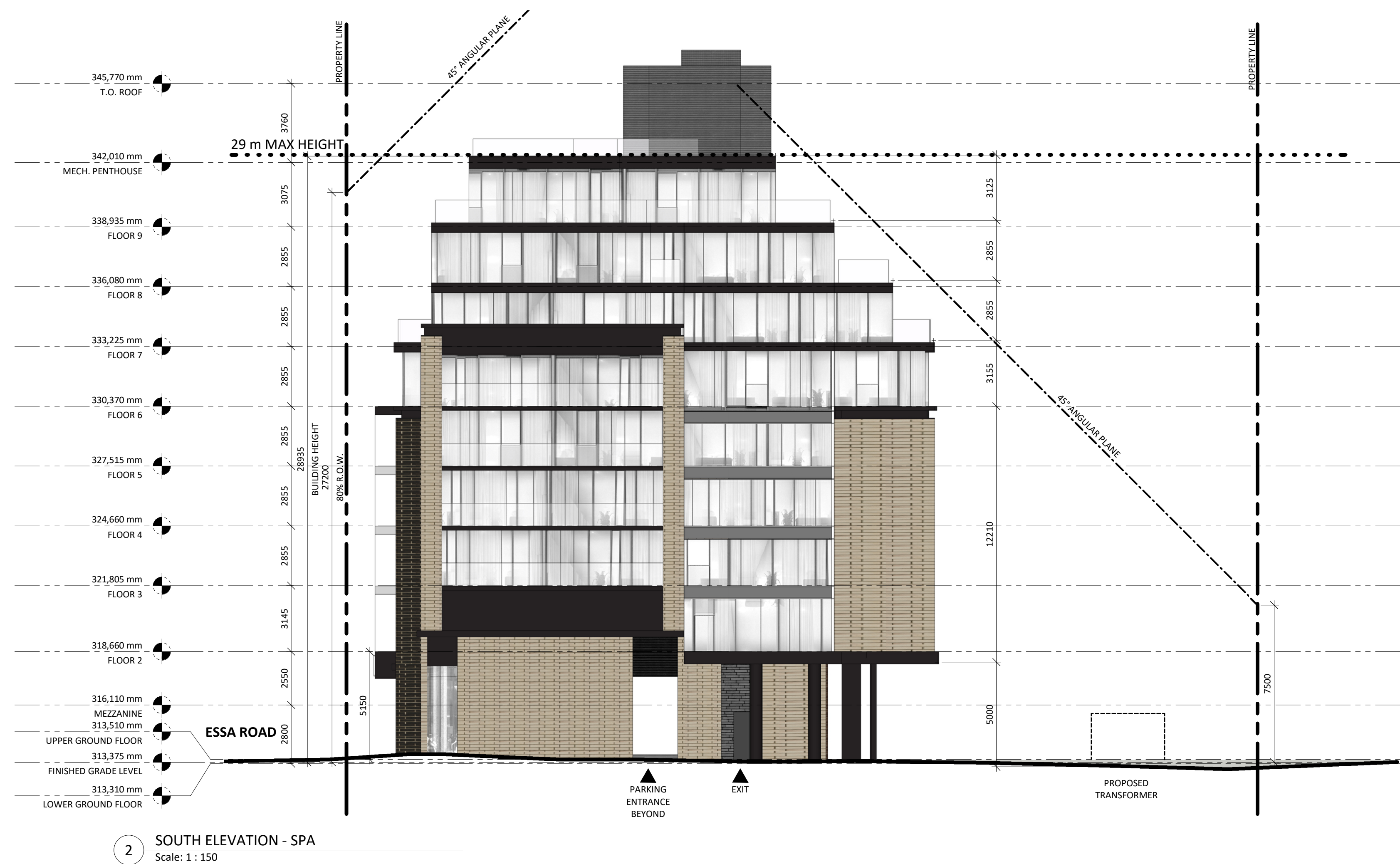
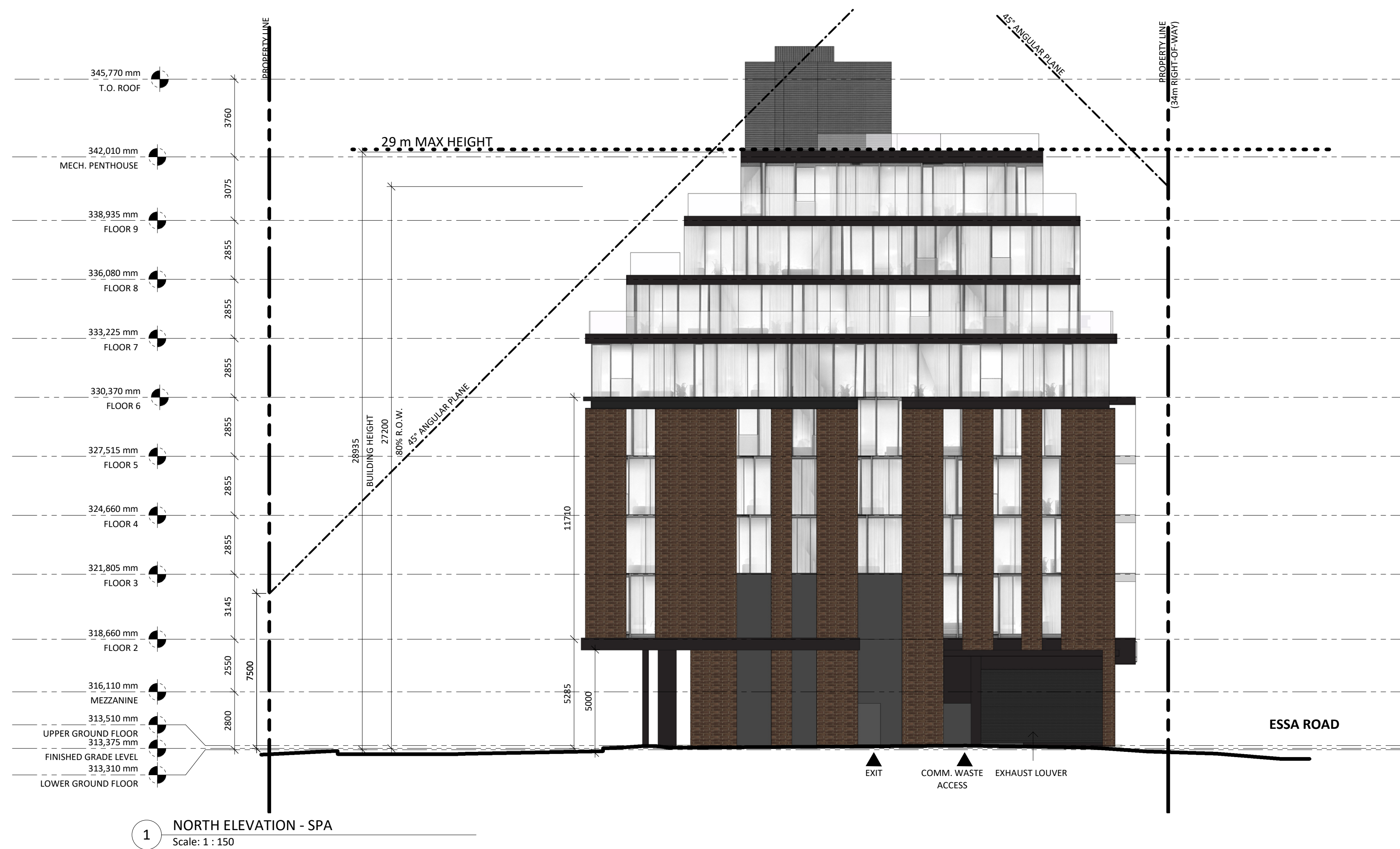


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G.F.& 2ND FLOOR
PLANS

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NORTH & SOUTH ELEVATIONS

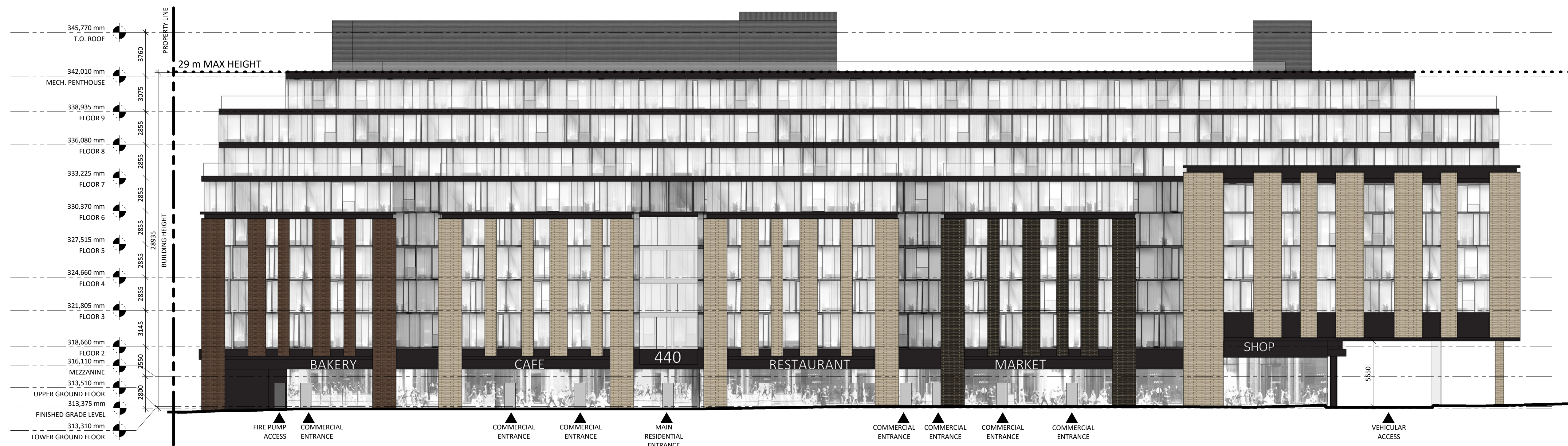
Project No.: 1905
Scale: 1 : 150
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 5.00



1 EAST ELEVATION
Scale: 1 : 200



2 WEST ELEVATION
Scale: 1 : 200

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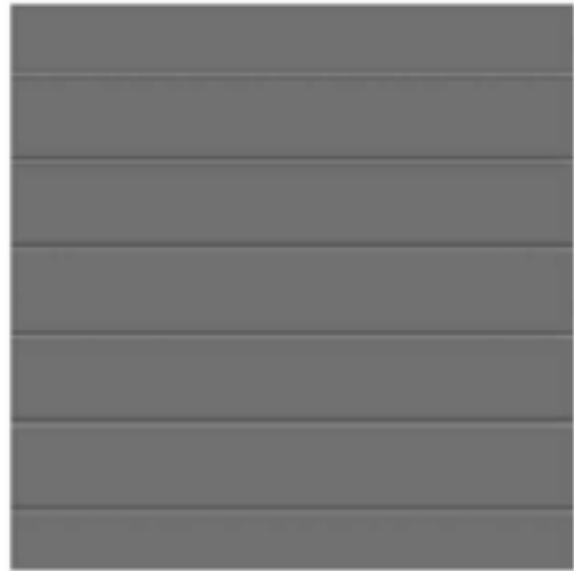
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EAST & WEST
ELEVATIONS

Project No.: 1905
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Drawing No.:

A 5.01



1. GREY ALUMINUM HORIZONTAL SIDING



2. DARK BROWN METAL (Window mullions, pre-finished metal panels, canopy finish, slab edge cover)



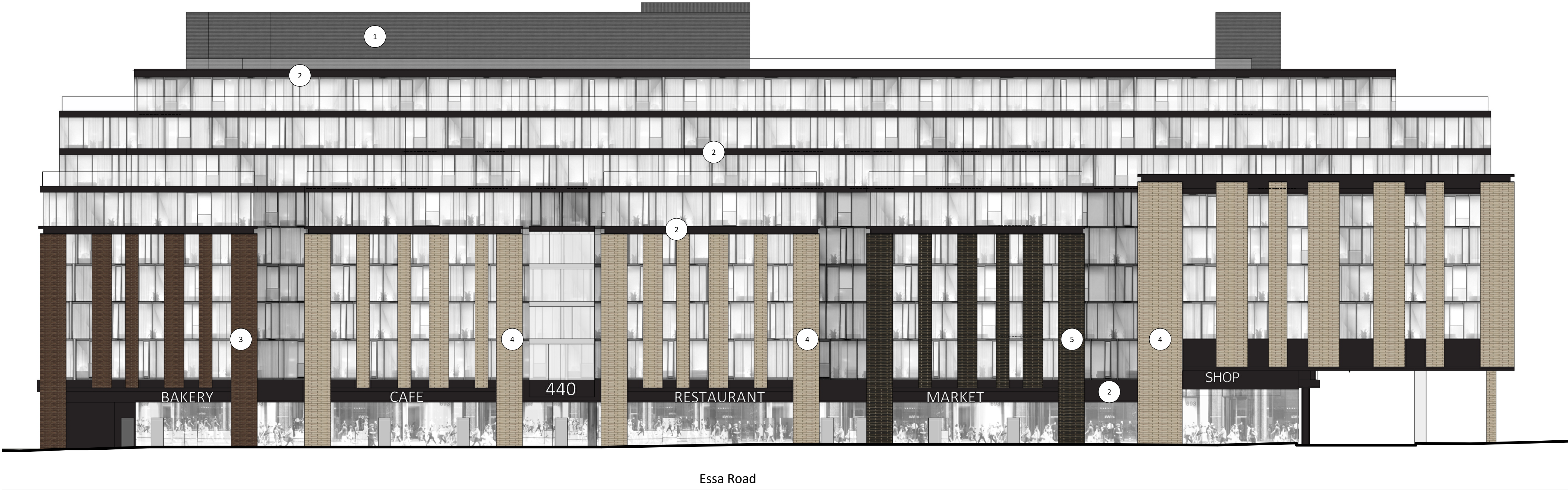
3. BRICK 1



4. BRICK 2



5. BRICK 3



Issued:

SPA 3	Mar. 03, 2023	
SPA 2	Apr. 30, 2021	
SPA	Dec. 21, 2020	
ZBA	Aug. 23, 2019	
No.	Issued for	Date

General Notes:
1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the Contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect

Architect:
STUDIO
JCI
20 De Boers Drive suite 525
Toronto, ON M5J 0H1
t. 416.901.6528
www.studiojci.com



PROPOSED MIXED-USE DEVELOPMENT

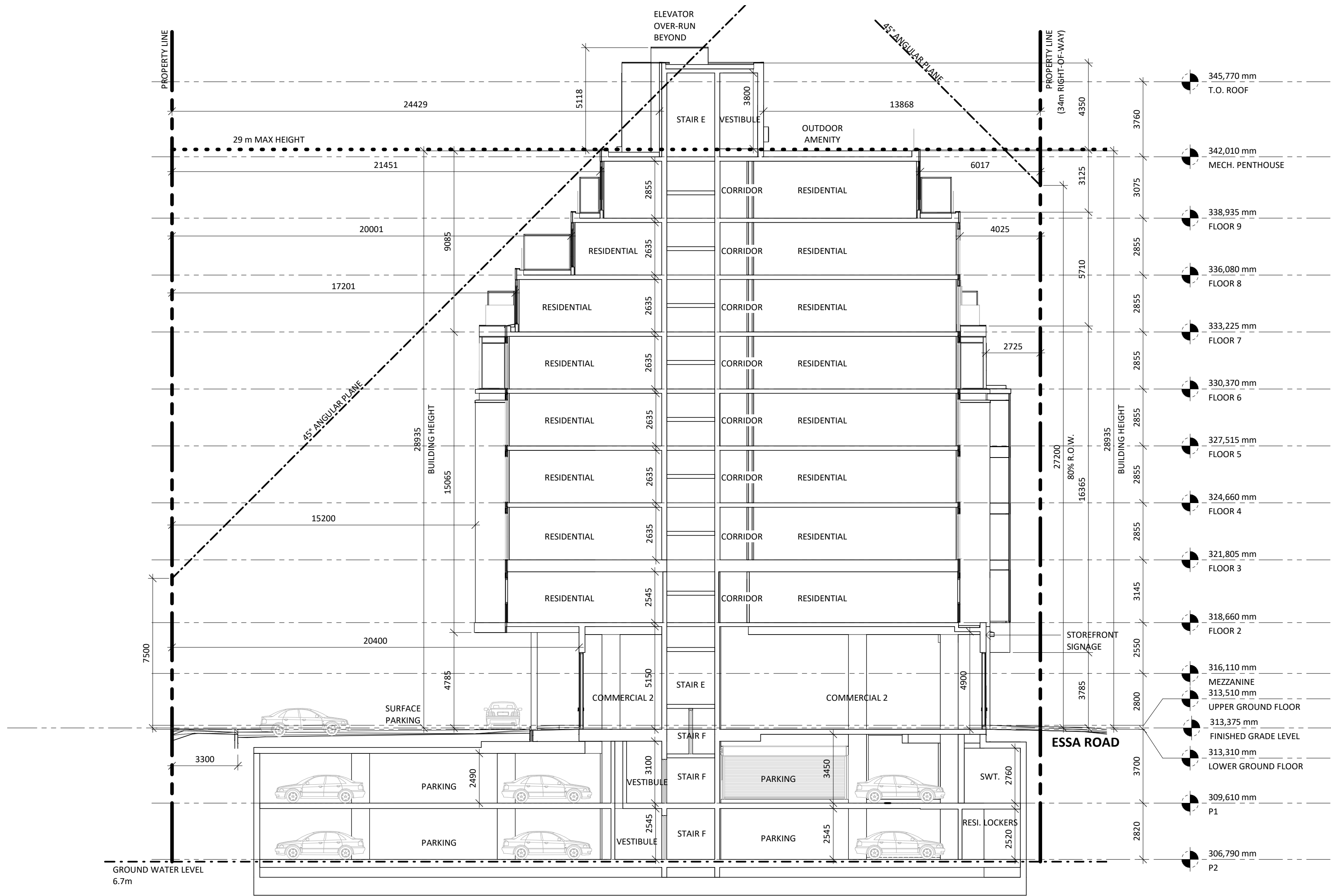
ADDRESS:
440 Essa Road , Barrie, ON

MATERIAL BOARD

Project No.: 1905
Scale: 1 : 170
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 5.03



A SECTION A - SPA
Scale: 1 : 150

Issued:

SPA 3	Mar. 03, 2023
Minor Variance	Jun. 10, 2022
SPA 2	Apr. 30, 2021
SPA	Dec. 21, 2020
ZBA	Aug. 23, 2019

No. Issued for Date

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 - Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
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Architect:
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PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:
440 Essa Road, Barrie, ON

BUILDING SECTION
A

Project No.: 1905
Scale: 1 : 150
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 6.00

B SECTION B - SPA
Scale: 1 : 150

A 6.01



Issued:

[illegible]

Architect:
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6108

PROPOSED MIXED-USE DEVELOPMENT

ADDRESS:
440 Essa Road , Barrie, ON

3D VIEWS

Project No.: 1905
Scale:
Date: Mar. 3, 2023
Drawn by: STUDIO JCI

Drawing No.:

A 10.0