

metro

5150 SPECTRUM WAY, SUITE 401
MISSISSAUGA, ON L4W 5G2

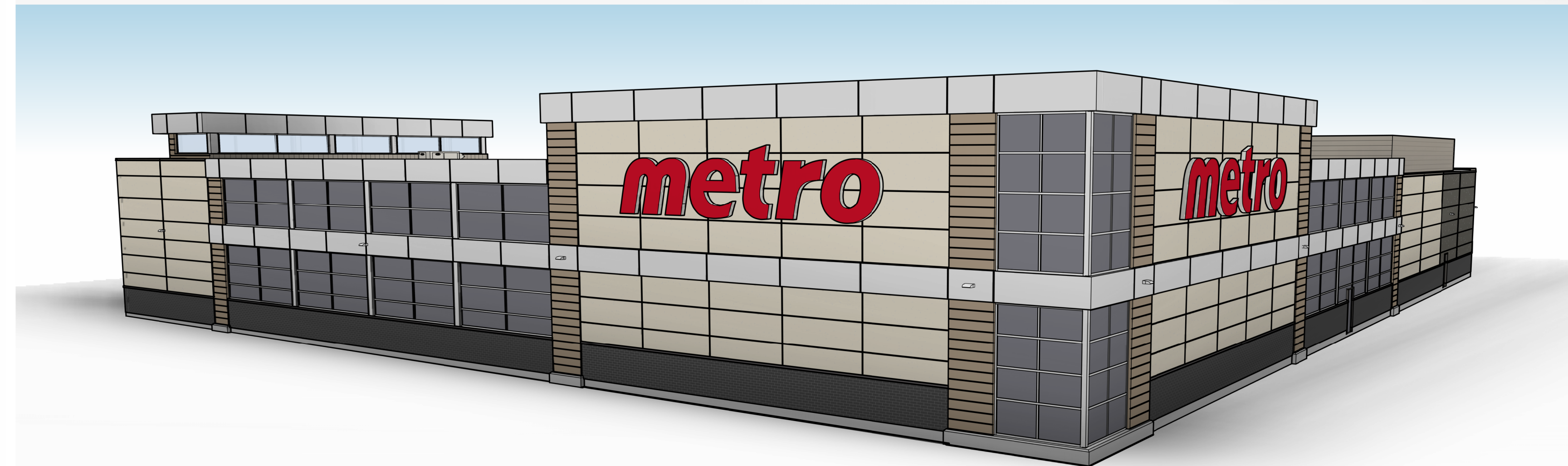
Contact: Antony Cannell
Email: antony.cannell@metro.ca
Phone: 416-523-6168

PROPOSED NEW METRO FOOD STORE

YONGE STREET & MAPLEVIEW DRIVE, BARRIE, ON

21.009CS

STORE No. 145



**TURNER
FLEISCHER**

67 Lesmill Rd
Toronto, ON, M3B 2T8
Contact Name: Matthew Shelp
Phone Number: 416-425-2222 ext. 279
Email: matthew.shelp@turnerfleischer.com

**FINAL SUBMISSION FOR SITE PLAN APPROVAL
JUNE 05, 2023**

Fotenn

Planner
174 Spadina Ave, Suite 304
Toronto, ON M5T 2C2
Contact Name: Jaime Posen
Email: posen@fotenn.com
Phone: 613.730.5709 x236

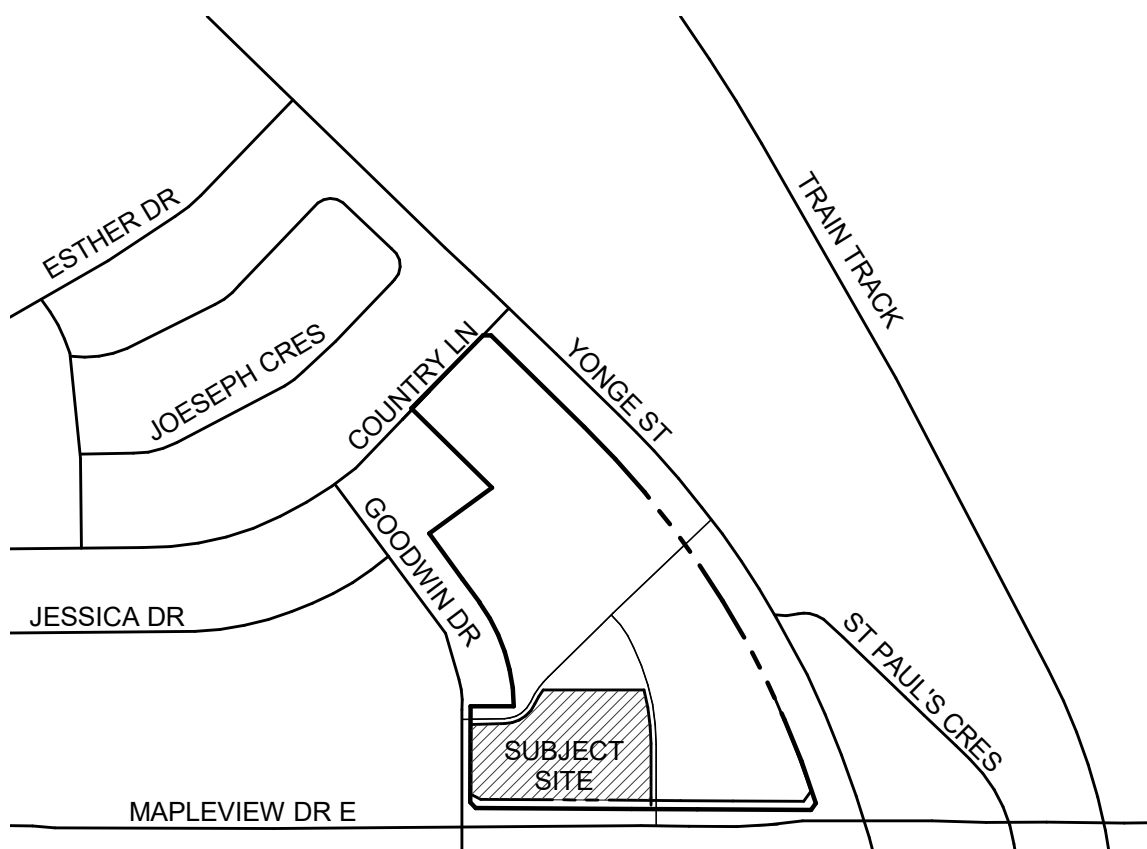
Tatham Engineering

Civil Engineer
41 King Street, Unit 4,
Barrie, ON L4N 6B5
Contact Name: Lisa Cowan
Email: lcowan@tathameng.com
Phone: 705-733-9037 x2019

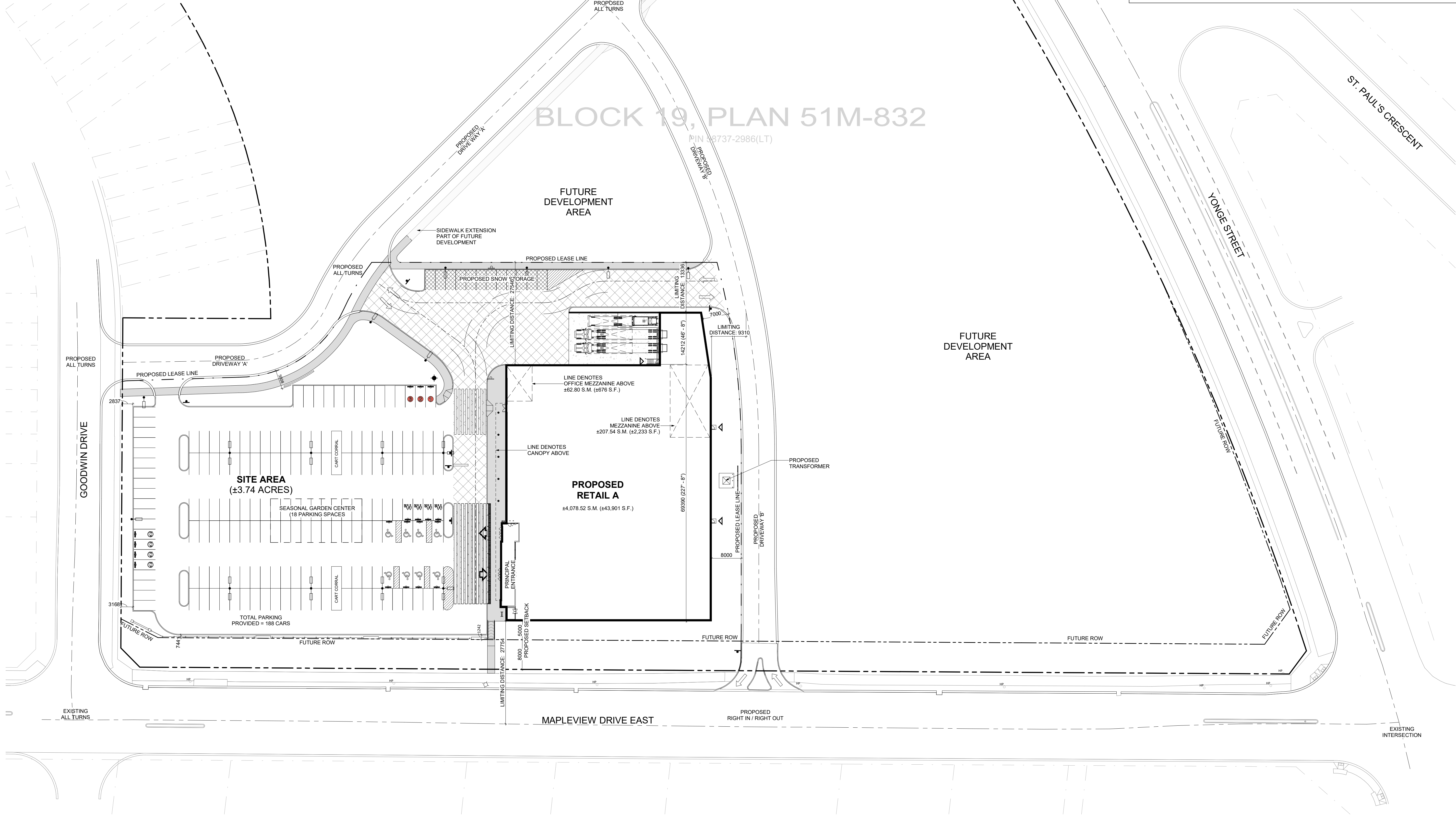
Hammerschlagg + Joffe

Electrical Engineer
43 Lesmill Rd,
North York, ON M3B 2T8
Contact Name: Mike Bekhit
Email: mbekhit@hamjof.com
Phone: 416-444-9263 x238

2023-06-05 2:14:23 PM



2
SPA003
NTS



ZONING STATISTICS

REGULATION	REQUIREMENT	PROPOSED
Permitted Uses	Commercial Uses - Retail Store	Retail Store
Lot Area (min.)	450m ²	±15,141.5m ²
Lot Frontage (min.)	15m	77.34m
Front Yard (min.)	6m	102.34m
Side Yard (min.)	3m	13.34m
Side Yard Adjoining Street (min.)	5m	5.0m
Rear Yard (min.)	7m	7.0m
Lot Coverage (max.)	50%	Built Area = 4,078.52m ² Lot Coverage = 28.9%
Gross Floor Area (max. % of lot area)	N/A	4,348.9m ²
Building Height (max.)	9m	UIS of Steel Deck - 7.01m Main Parapet - 7.47m Tower (unoccupied) - 10.82
Parking Standards	1 space / 24m ² GFA = 181 spaces	188 spaces provided
Size of Parking Space (min.)	Width = 2.7m, Length = 5.5m	Width = 2.75m, Length = 5.90m
Aisle Width (min.)	90° = 6.4m	6.50m
Barrier Free Parking	3% of req'd. parking = 5 spaces	8 spaces
Size of Barrier Free Parking Space (min.)	Type 'A' Width = 3.4m Type 'A' Length = 5.5m Access Aisle = 1.5m Type 'B' Width = 3.1m Type 'B' Length = 5.5m	Type 'A' Width = 3.65m Type 'A' Length = 5.90m Access Aisle = 1.50m Type 'B' Width = 3.10m Type 'B' Length = 5.90m
Loading Spaces	3,000m ² - 7,499m ² = 2 spaces	2 spaces provided
Size of Loading Space (min.)	Width = 3m, Length = 9m	Width = 3.00m, Length = 12.0m
Landscape Buffer Areas	Adjacent to Residential - 3m	3.0m
Paved Parking Area		8024.00m ²
Landscaped Area		2,147.46m ²
Sight Triangles	5m x 5m	Varies, 5m x 5m min.

Amel Leased Lands: 658-662 Mapleview Drive East & 800 Yonge Street
LEGAL DESCRIPTION: PIN 58737-2986(LT) Part of block 19, plan 51M-832, City of Barrie, County of Simcoe

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Leslie Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

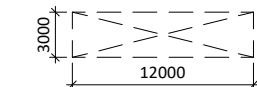
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PROPOSED

DESIGN CONCEPT

LEGEND

- PROPOSED PRINCIPAL ENTRANCE ARROW
- PROPOSED EXIT ARROW
- PROPOSED FIRE HYDRANT
- PROPOSED SIAMENSE CONNECTION
- PROPOSED SIGN
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SNOW STORAGE
- PAINTED LINES
- PROPERTY LINE
- LEASE LINE
- FUTURE ROW
- CENTER LINE OF ROAD
- FIRE TRUCK ROUTE
- ABOVE
- LOADING SPACE



12	2023-06-05	FINAL SUBMISSION FOR SITE PLAN APPROVAL	MSH
11	2023-05-25	REVISE SIDEWALK WIDTH	MSH
10	2023-04-20	ISSUE FOR SPA SECOND SUBMISSION	MSH
9	2023-03-22	ISSUE FOR LANDLORD REVIEW	MSH
8	2023-12-07	REISSUED FOR SPA	MSH
7	2022-12-01	ISSUED FOR REVIEW	MSH
6	2022-10-24	ISSUED FOR SPA	MSH
5	2023-02-09	ISSUE FOR REVIEW	MSH
4	2022-01-11	ISSUED FOR REVIEW	MSH
3	2021-08-27	ISSUED FOR REVIEW	ROH
2	2021-08-17	ISSUED FOR REVIEW	ROH
1	2021-03-17	ISSUED FOR PPR	ROH
#	DATE	DESCRIPTION	BY

metro

NEW STORE #

PROJECT

PROPOSED NEW METRO FOOD STORE

YONGE STREET & MAPLEVIEW DRIVE, BARRIE, ON

DRAWING

SITE PLAN

PROJECT NO.

21.009

SHEET ISSUE DATE

2022-10-24

DRAWN BY

CFE

CHECKED BY

JLB

SCALE

1 : 500



DRAWING NO.

SPA003

REV.

12

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DESIGN CONCEPT

The site plan prepared by Turner Fleischer is reliant on a legal survey showing the boundaries of the land together with the current location of any existing buildings, features or encroachment prepared by Stuart M. Moore, dated 2022-11-17 as provided by KRCMAR SURVEYORS LTD.

	PROPOSED PRINCIPAL ENTRANCE ARROW
	PROPOSED EXIT ARROW
	PROPOSED FIRE HYDRANT
	PROPOSED SIAMESE CONNECTION
	PROPOSED SIGN



PROPOSED FIRE & TRUCK
ROUTE
(HEAVY DUTY ASPHALT)

PROPOSED CONCRETE
SUBMITTAL

PROPOSED SNOW STORAGE



— - — LEASE LINE

===== FUTURE ROW
===== CENTER LINE OF ROAD

--- FIRE TRUCK ROUTE

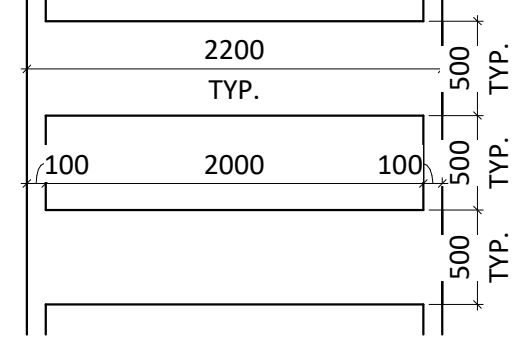
77-78



12000

PAINTED CROSSING

- REFER TO SITE PLAN FOR LOCATIONS OF CROSSINGS
- PAINT COLOUR: WHITE
- ALL ITEMS PROVIDED BY LANDLORD



10	2023-06-05	FINAL SUBMISSION FOR SITE PLAN APPROVAL	MSH
9	2023-05-25	REVISE SIDEWALK WIDTH	MSH
8	2023-04-20	ISSUE FOR SPA SECOND SUBMISSION	MSH
7	2023-03-22	ISSUE FOR LANDLORD REVIEW	MSH
6	2022-12-07	REISSUED FOR SPA	MSH
5	2022-12-01	ISSUED FOR REVIEW	MSH
4	2022-10-24	ISSUED FOR SPA	MSH
3	2022-02-09	ISSUED FOR REVIEW	MSH
2	2021-08-27	ISSUED FOR REVIEW	RCH
1	2021-08-17	ISSUED FOR REVIEW	RCH
#	DATE	DESCRIPTION	BY

metro

NEW STORE :

PROJECT

PROPOSED NEW METRO FOOD STORE

**YONGE STREET & MAPLEVIEW DRIVE,
BARRIE, ON**

DRAWING

ENLARGED SITE PLAN

PROJECT NO.

21.009

SHEET ISSUE

2022-10-2

DRAWN BY

DRAWN BY
CEE

CPE

CHECKED BY

JLB

SCALE

1 : 250

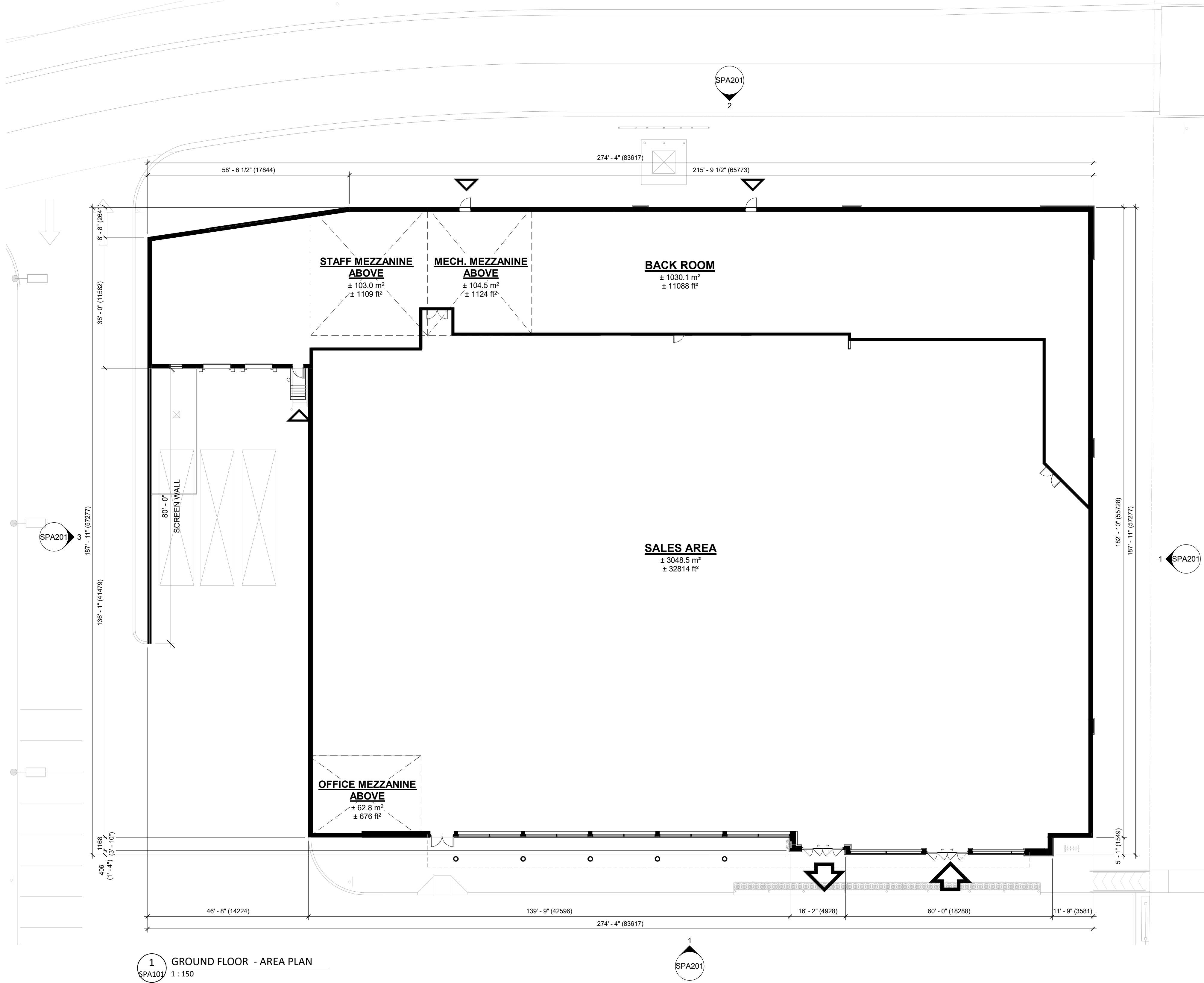
DRAWING NO.

CDAC

SPAC

11





Ontario Building Code Data Matrix							Building Code Reference
Part 3							
3.00	Building Code Version:	O. Reg. 332/12		Last Amendment		O. Reg. 867/21	
3.01	Project Type:	☒ New ☐ Change of use ☐ Additional ☐ Addition and renovation ☐ Renovation Description: <u>Proposed new food store</u>					[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy Group E Use "Mercantile"					3.1.2.1(1)
3.03	Superimposed Major Occupancies:	☒ No Description: ☐ Yes					3.2.2.7
3.04	Building Area (m²)	Description: Existing New Total Proposed Food Store04078.524078.52 000 000 Total04078.524078.52					[A] 1.4.1.2.
3.05	Gross Area (m²)	Description: Existing New Total Proposed Sales Area (Mercantile)03048.53048.5 Proposed Staff Area (Office)0165.8165.8 Proposed Backroom Area (Storage)01030.11030.1 Proposed Service mezzanine Area0104.5104.5 Total04348.94348.9					[A] 1.4.1.2.
3.06	Mezzanine Area (m²)	Description: Existing New Total Proposed Office Mezzanine Area0165.8165.8 Proposed Service Mezzanine Area0104.5104.5 000 Total0270.3270.3					3.2.1.1.
3.07	Building Height	1Stores above grade 0Stores below grade 7.47(m) Above grade					[A] 1.4.1.2. & 3.2.1.1.
3.08	High Building	☒ No ☐ Yes					3.2.6
3.09	Number of Streets/ Firefighter access	4street(s)					3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.60Group /Div Group E, up to 3 Storeys, Sprinklered					3.2.2.20. - 83.
3.11	Sprinkler System	☒ Required ☐ Not Required Proposed: ☒ Entire building ☐ Selected floor areas ☐ In lieu of roof rating ☐ Basement compartments ☐ Selected ☐ None					3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	☐ Required ☒ Not Required					3.2.9.
3.13	Fire Alarm System	☒ Required ☐ Not Required					3.2.4.
3.14	Water Service/ Supply is Adequate	☐ No ☒ Yes					
3.15	Construction Type:	Restriction: ☒ Combustible permitted ☐ Non-combustible required Actual: ☐ Combustible ☐ Non-combustible ☒ Combination Heavy Timber Construction: ☒ No ☐ Yes					3.2.20-83 & 3.2.14.0
3.16	Importance Category:	☐ Low ☒ Normal ☐ High ☐ Post-disaster ☐ Low human occupancy ☐ Minor storage building ☐ Post-disaster shelter ☐ Explosive or hazardous substances					4.1.2.1 (3) & 14.1.2.1.B
3.18	Occupant Load	Floor Level / AreaOccupancy TypeBased OnOccupant Load (Persons) Sales areaMercantileDesign540 BackroomStorage28m²/Person36 Staff AreaOffice9.3m²/Person18 Service MezzanineStorage28m²/Person4					3.1.17.
3.19	Barrier-Free Design:	☒ Yes ☐ No Explanation:					3.8
3.20	Hazardous Substances:	☐ Yes ☒ No Explanation:					3.3.1.2 & 3.3.1.19.
3.21	Required Fire Resistance Rating:	Horizontal AssemblyRating (H)Supporting Assembly(H)Noncombustible in lieu of rating? Floors over basement00☐ No ☐ Yes ☒ N/A Floors00☐ No ☐ Yes ☒ N/A Mezzanine45 min.45 min.☐ No ☒ Yes ☐ N/A Roof00☐ No ☐ Yes ☒ N/A					3.2.2.20-83 & 3.2.1.4
3.22	Spatial Separation - Construction of Exterior Walls	FACEArea of EBF (m²)L/D or H/LPermitted L/H or H/LProposed Max % of OpeningsPermitted % of OpeningsFRR (Hours)LISTED DESIGN OR DESCRIPTIONExterior Wall Construction TypeEIF Exterior Wall Cladding Type North A88.213.343.1 to 10.1100.000-N/A-- North B309.327.95Less than 3.1100.000-N/A-- South415.927.753.1 to 10.1100.00.8-N/A-- East586.39.31Over 10.1100.00.8-N/A-- West647.1114.88Over 10.1100.038.67-N/A--					3.2.3. <

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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PROPOSED

DESIGN CONCEPT

3 2023-06-05 FINAL SUBMISSION FOR SITE PLAN APPROVAL MSH

2 2023-04-01 ISSUE FOR SPA SECOND SUBMISSION MSH

1 2023-03-22 ISSUE FOR LANDLORD COORDINATION MSH

#	DATE	DESCRIPTION	BY
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metro

NEW STORE #
145

PROJECT

PROPOSED NEW METRO FOOD STORE

YONGE STREET & MAPLEVIEW DRIVE, BARRIE, ON

DRAWING

CODE COMPLIANCE PLANS AND SCHEDULES

PROJECT NO. 21.009CS	
SHEET ISSUE DATE	
DRAWN BY MSH	
CHECKED BY JP	
SCALE 1 : 150	

DRAWING NO. SPA101	REV. 3
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DESIGN CONCEPT



6	2023-08-05	FINAL SUBMISSION FOR SITE PLAN APPROVAL	MSH
5	2023-04-20	ISSUE FOR SPA SECOND SUBMISSION	MSH
4	2023-03-22	ISSUE FOR LANDLORD COORDINATION	MSH
3	2022-12-07	REISSUED FOR SPA	MSH
2	2022-12-01	ISSUE FOR REVIEW	MSH
1	2022-10-24	ISSUED FOR SPA	MSH
#	DATE	DESCRIPTION	BY

NEW STORE #
145

PROJECT

PROPOSED NEW METRO FOOD STORE

**YONGE STREET & MAPLEVIEW DRIVE,
BARRIE, ON**

DRAWING

SPA ROOF PLAN

PROJECT NO.	21.009CS
SHEET ISSUE DATE	10/18/22
DRAWN BY	MSH
CHECKED BY	
SCALE	As indicated



DRAWING NO.

SPA104

REV.

6

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PROPOSED

DESIGN CONCEPT

U/S ROOF DECK
23'-0"

STORE LEVEL
0'-0"

1 WEST SPA ELEVATION
SPA201 3/32" = 1'-0"

U/S OF PORTAL DECK
34'-0"

U/S ROOF DECK
23'-0"

STORE LEVEL
0'-0"

2 EAST SPA ELEVATION
SPA201 3/32" = 1'-0"

U/S OF PORTAL DECK
34'-0"

U/S ROOF DECK
23'-0"

STORE LEVEL
0'-0"

3 NORTH SPA ELEVATION
SPA201 3/32" = 1'-0"

U/S OF PORTAL DECK
34'-0"

U/S ROOF DECK
23'-0"

STORE LEVEL
0'-0"

4 SOUTH SPA ELEVATION
SPA201 3/32" = 1'-0"

FINISH LEGEND

- 01a ALUMINUM STOREFRONT SYSTEM
-SEALED UNITS WITH DOUBLE 6MM CLEAR HEAT STRENGTHENED GLASS PANE IN THERMALLY BROKEN ALUMINUM FRAMING
-SURFACE 2: LOW-E COATING
-ARGON FILLED
-WARM EDGE SPACERS
-VERTICAL AND HORIZONTAL FRAMES WHERE INDICATED
-FRAMES: CLEAR ANODIZED
-CAPS: CLEAR ANODIZED
- 01b ALUMINUM SPANDREL VENEER GLAZING SYSTEM
SEALED UNITS WITH SINGLE 6MM CLEAR HEAT STRENGTHENED GLASS PANE C/W OPACIFIER COATING IN VENTED, WALL MOUNTED.
ALUMINUM CURTAIN WALL FRAMING
-SURFACE 2: OPACIFIER COATING - OPACI-COAT-300, #3-2468 GRIZZLE GRAY, "NITRO" CLEAR
-VERTICAL AND HORIZONTAL FRAMES WHERE INDICATED
-FRAMES: CLEAR ANODIZED
-CAPS: CLEAR ANODIZED
- 02 PRE-FINISHED ALUMINUM COMPOSITE PANELS
RAINSCREEN SYSTEM WITH DRY JOINTS
-3/4" VERTICAL JOINTS AS INDICATED
-FINISH: ALPOLIC - CLEAR ANODIZED
- 03 PRE-FINISHED ALUMINUM COMPOSITE PANELS
RAINSCREEN SYSTEM WITH DRY JOINTS
-3/4" VERTICAL JOINTS AS INDICATED
-FINISH: ALPOLIC - TOR RED
- 04 PRE-FINISHED ALUMINUM PLATE PANELS (APP)
RAINSCREEN SYSTEM WITH DRY JOINTS
-11 1/4" PANELS WITH
-3/4" HORIZONTAL REVEALS
-FINISH: DURABOND - UC110532 'SANDSTONE'
- 05 EXTERIOR INSULATION FINISH SYSTEM (EIFS) ASSEMBLY
-COLOUR: DURABOND BMOCC-48
-FINISH: MARBLE COAT 1.0
1" HORIZONTAL AND VERTICAL REVEALS AS INDICATED
- 06 EXTERIOR INSULATION FINISH SYSTEM (EIFS) ASSEMBLY
-COLOUR: DURABOND S16207-73
-FINISH: MARBLE COAT 1.0
1" HORIZONTAL AND VERTICAL REVEALS AS INDICATED
- 07 ARCHITECTURAL BRICK
MELVILLE SLIK BRICK - PERMICON
-COLOUR: ROCKLAND BLACK
-SIZE: 3 1/8" X 3 1/2" X 10 1/8" L
-MORTAR: SOLOMON 97
- 08 ARCHITECTURAL SILL WITH DRIP LEDGE
RICHVALE YORK SILL - R24/35
-5 1/2" BED WIDTH
-COLOUR: DIAMOND BLACK
-MORTAR: SOLOMON 97
- 09 ARCHITECTURAL CONCRETE BLOCK VENEER
ARCHITECTURAL SERIES - RICHVALE YORK BLOCK
-COLOUR: DARK CHARCOAL
-SIZE: 90 X 190 X 390mm
-MORTAR: SOLOMON 97
- 10 ARCHITECTURAL SILL WITH DRIP LEDGE
RICHVALE YORK SILL - R24/35
-5 1/2" BED WIDTH
-COLOUR: DARK CHARCOAL
-MORTAR: SOLOMON 97
- 11 1'-0" HIGH POURED CONCRETE CURB
6" PROJECTION FROM CURTAIN WALL FRAMING
SMOOTH STEEL TROWEL FINISH
-PAINT FINISH
-COLOUR: SICO 6207-73 'STORM BELT'
- 12 INSULATED HOLLOW METAL MAN DOOR
-PAINT FINISH
-COLOUR: SICO 6207-73 'STORM BELT'
- 13 AUTOMATIC SLIDING DOOR
DOOR SYSTEM INTEGRAL TO ALUMINUM STOREFRONT
-C/W EMERGENCY BREAKOUTS
-CLEAR TEMPERED GLASS UNITS
-CLEAR ANODIZED FRAMING
- 14 MASONRY CONTROL JOINTS AS NOTED
- 17 PRE-FINISHED METAL CAP FLASHING
-COLOUR: QC16071 'STONE GRAY'
- 18 PRE-FINISHED METAL AND FLASHING
-COLOUR: QC16072 'CHARCOAL'
- 19 LED LIT 'metro' LOGO SIGNAGE
-INDIVIDUAL LETTERS WITH INTEGRAL LIGHTING
-PROVIDE EXTERIOR GRADE PLYWOOD BACKING AS REQUIRED BY SIGNAGE CONTRACTOR
- 20 WHITE 'metro' AND BLACK 'ca' HD PVC LETTERS
PINNED TO PRE-FINISHED ALUMINUM CANOPY
- 21 BLACK STORE NAME HD PVC SIGN LETTERS
PINNED TO EXTERIOR INSULATION FINISH SYSTEM
- 22 GALVANIZED STEEL STAIRS C/W LANDING AND GUARD
- 23 CLEAR TEMPERED GLASS DOORS
IN ALUMINUM ENTRANCE FRAMING
-NO CENTER MULLION
- 24 OVERHEAD DOOR WITH VISION PANEL
8'-0" X 9'-0" HIGH THERMOSPAN 200 SECTIONAL STEEL
-COLOUR: WHITE
- 25 3'-0" X 3'-0" GARAGE COMPACTOR ACCESS DOOR
-INSULATED HOLLOW METAL DOOR AND FRAME
-PAINT FINISH
-COLOUR: SICO 6207-73 'STORM BELT'
- 26 PRE-FINISHED METAL SIDING SYSTEM
VERTICAL METAL SIDING PANELS
PROFILE: VIOWEST AD-300/AGWAY HF-12NF
COLOUR: QC16071 'STONE GRAY'
- 27 WALL PACK LIGHT FIXTURE (REFER TO ELEC. DWGS.)
- 28 1/2" VERTICAL REVEAL WITH 1/2" DEEP PRE-FIN. METAL TRIM CONTINUOUS ALONG EDGE OF CORRUGATED METAL PANELS
- 31 RED 'entrance' HD PVC LETTERS PINNED TO SEAMLESS ALUMINUM PANEL
- 32 PRE-FINISHED ALUMINUM COMPOSITE PANELS AT COLUMNS WITH 1'-0" HIGH CONCRETE CURB AT BASE
-COLOUR: ALPOLIC - CLEAR ANODIZED (INSTALLED VERTICALLY)
- 33 ALUMINUM FILLER PANELS
-CLEAR ANODIZED, TO MATCH MULLIONS
- 35 ILLUMINATED 'PHARMACY' ALUMINUM SIGN CABINET
-SIGN TO BE SURFACE MOUNTED
-PROVIDE EXTERIOR GRADE PLYWOOD BACKING AS REQUIRED BY SIGNAGE CONTRACTOR
- 37 ILLUMINATED 'NATURE'S SIGNATURE' SIGN CABINET
-SIGN TO BE SURFACE MOUNTED
-PROVIDE EXTERIOR GRADE PLYWOOD BACKING AS REQUIRED BY SIGNAGE CONTRACTOR
- 38 VISUAL ROOF SCREENS
-NON-ACOUSTIC SIDING PANEL ON GALVANIZED HSS POSTS.
PROFILE: HORIZONTAL VIOWEST AD-300 OR AGWAY HF-12NF
COLOUR: QC16071 'STONE GRAY'

metro

NEW STORE #

145

PROJECT

PROPOSED NEW METRO FOOD STORE

YONGE STREET & MAPLEVIEW DRIVE,
BARRIE, ON

DRAWINGS

EXTERIOR ELEVATIONS

PROJECT NO.

21.009CS

SHEET ISSUE DATE

2022-10-17

DRAWN BY

MSH

CHECKED BY

AS NOTED

DRAWING NO.

SPA201

REV.

6

