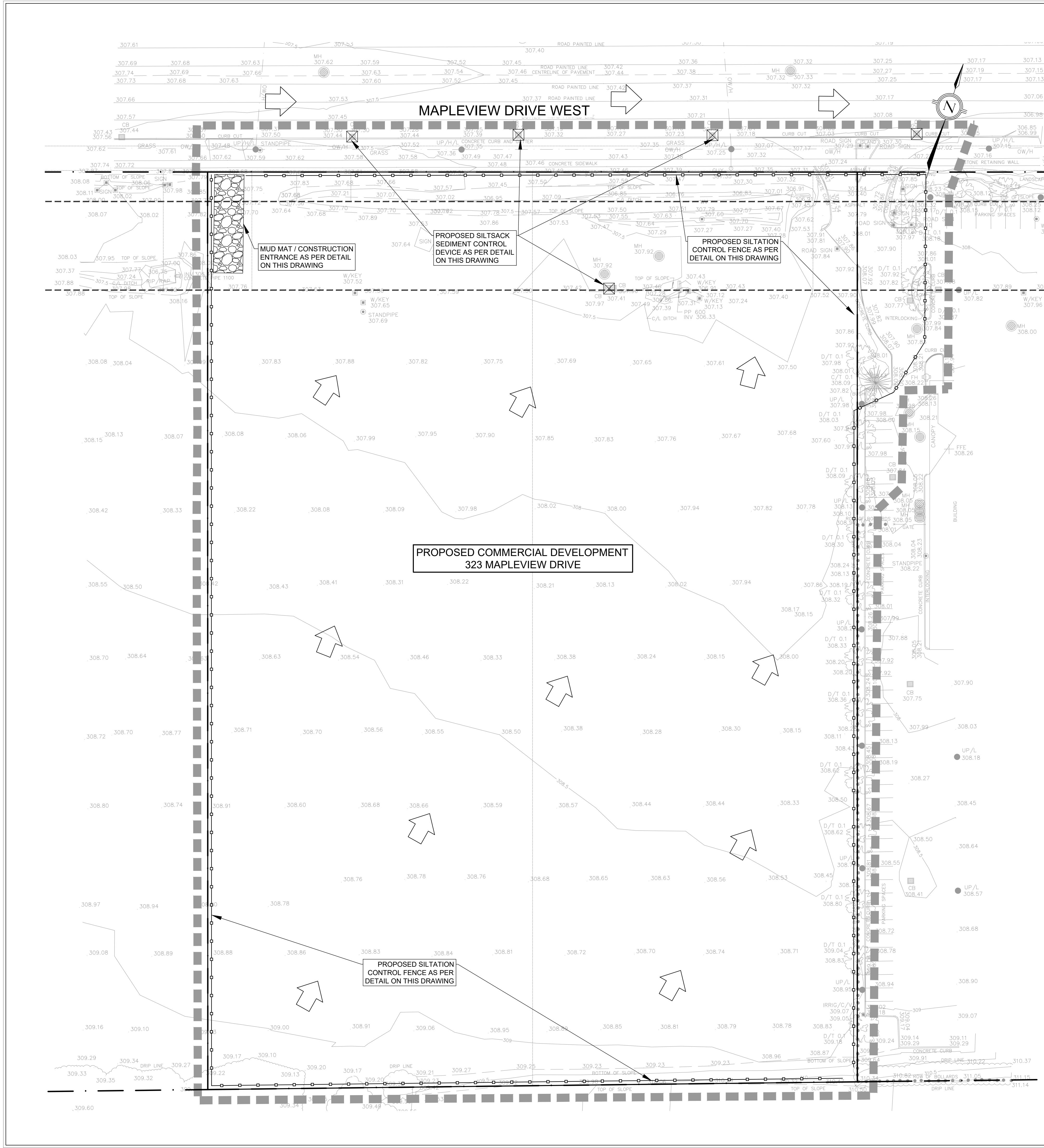
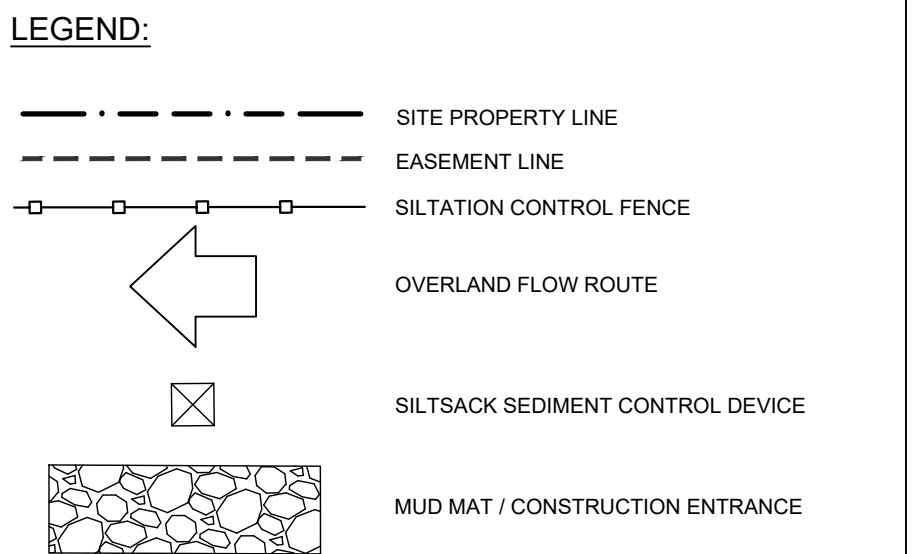
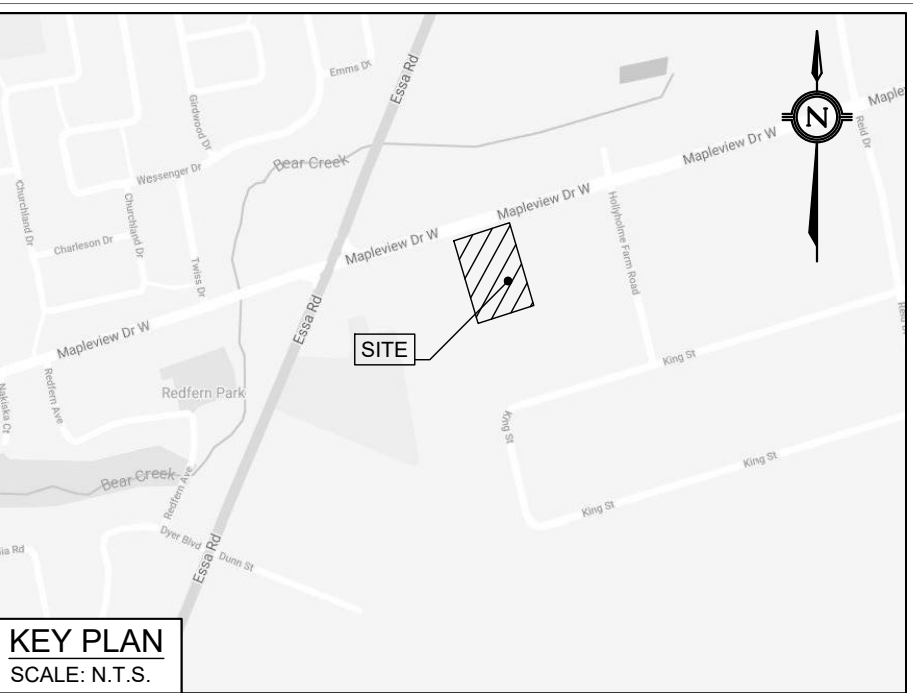
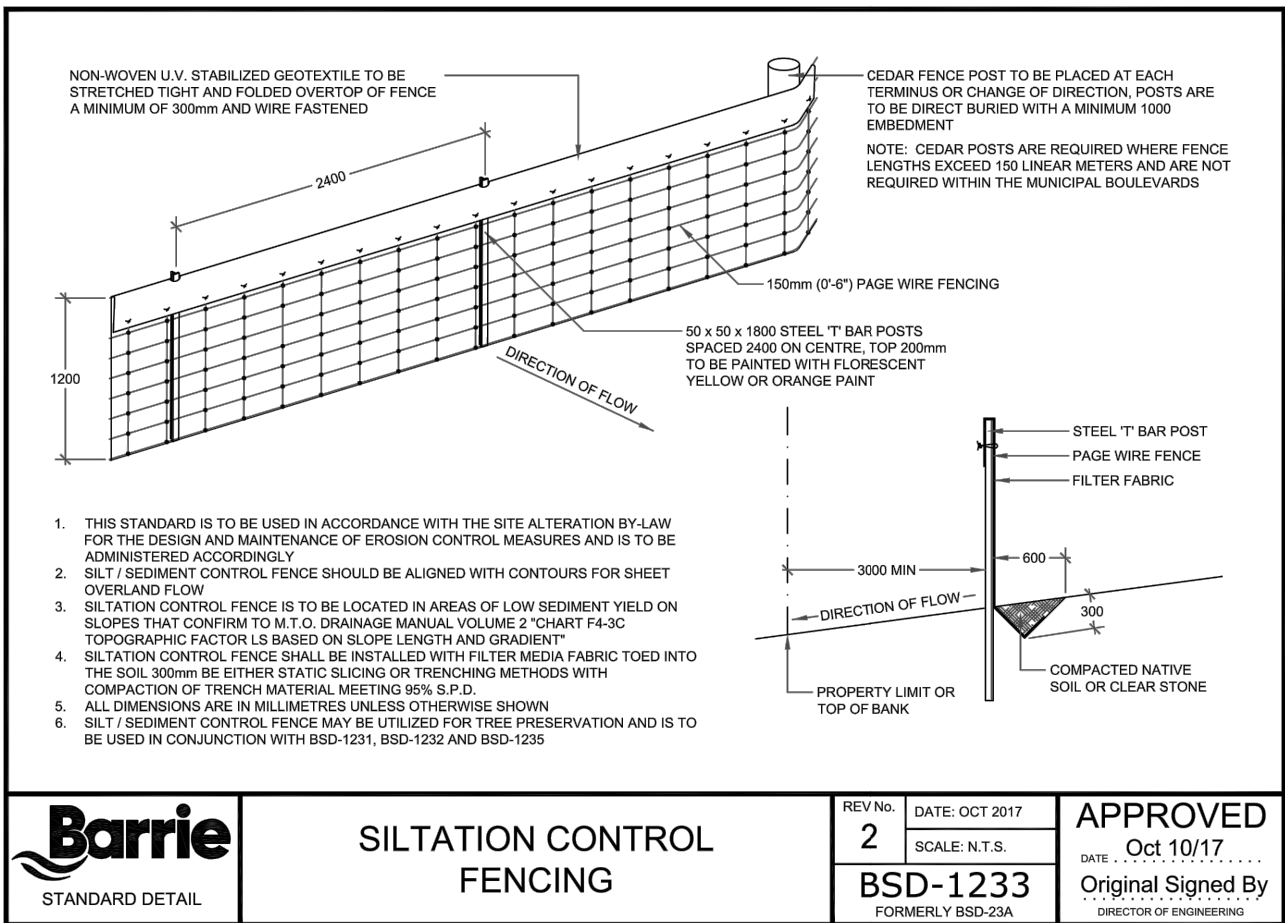
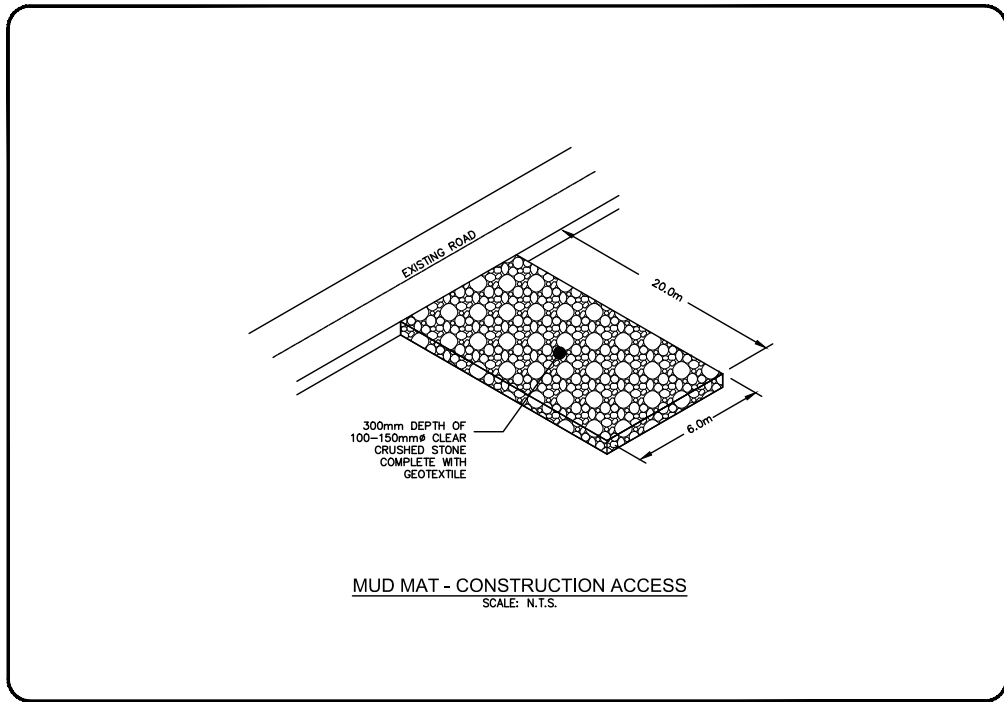
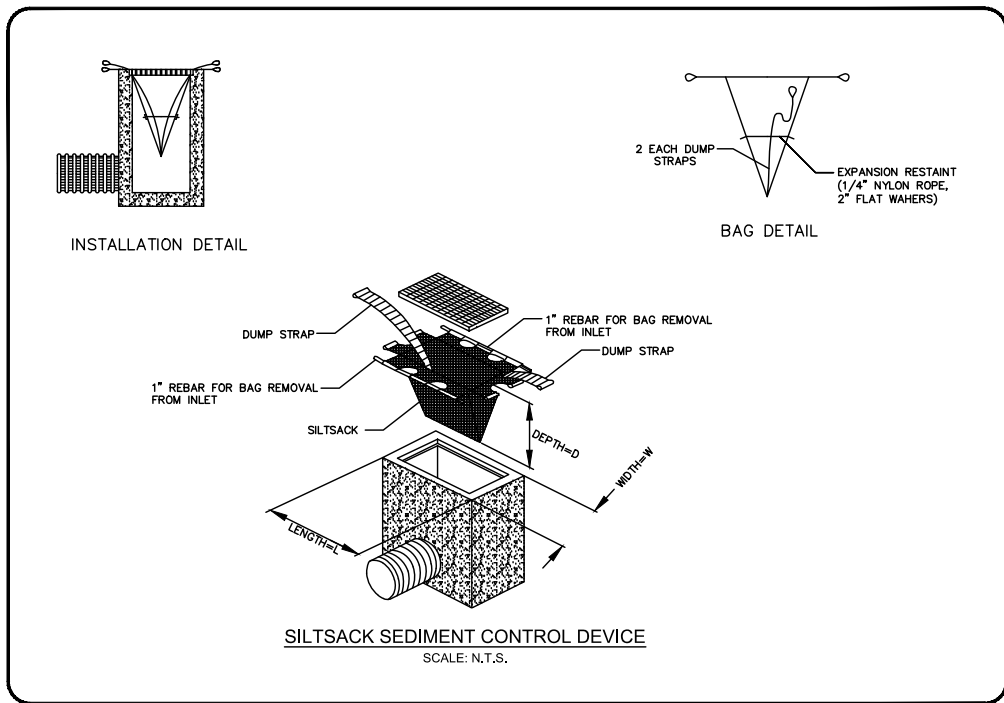




EROSION & SEDIMENT CONTROL:

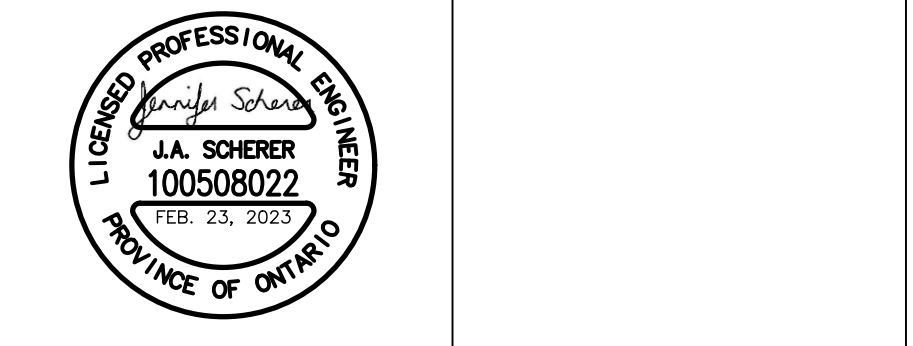
1. EROSION AND SEDIMENT CONTROL (ESC) MEASURES WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING CONSTRUCTION PHASES, TO PREVENT ENTRY OF SEDIMENT INTO THE WATER. ALL DAMAGED EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE REPAIRED OR REPLACED WITHIN 48 HOURS OF INSPECTION OR BOTH.
2. EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE INSPECTED ON A REGULAR BASIS, AS WELL AS AFTER EVERY RAIN EVENT AND MUST BE REPAIRED AS NECESSARY TO PREVENT ANY OFF-SITE ENVIRONMENTAL IMPACTS.
3. ALL DISTURBED AREAS WILL BE MINIMIZED TO THE EXTENT POSSIBLE, AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES.
4. THE EROSION AND SEDIMENT CONTROL STRATEGIES OUTLINED ON THE PLANS ARE STATIC AND MAY NEED TO BE UPGRADED/AMENDED AS SITE CONDITIONS CHANGE TO MINIMIZE SEDIMENT LADEN RUNOFF FROM LEAVING THE WORK AREA. IF THE PRESCRIBED MEASURES ON THE PLANS ARE NOT EFFECTIVE IN PREVENTING THE RELEASE OF A DELETERIOUS SUBSTANCE, THEN ALTERNATIVE MEASURES MUST BE IMPLEMENTED IMMEDIATELY TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS AND LAKE SIMCOE REGION CONSERVATION AUTHORITY ENFORCEMENT OFFICE SHOULD BE IMMEDIATELY CONTACTED. ADDITIONAL ESC MEASURES TO BE KEPT ON SITE AND USED AS NECESSARY.
5. ALL ACTIVITIES, INCLUDING MAINTENANCE PROCEDURES, WILL BE CONTROLLED TO PREVENT THE ENTRY OF PETROLEUM PRODUCTS, DEBRIS, RUBBLE, CONCRETE OR OTHER DELETERIOUS SUBSTANCES INTO THE WATER. VEHICULAR REFUELING AND MAINTENANCE AND REFUELING WILL BE CONDUCTED A MINIMUM OF 30 m FROM THE WATER.
6. ALL GRADES WITHIN THE REGULATORY FLOOD PLAN WILL BE MAINTAINED OR MATCHED.
7. IF NECESSARY, TRUCKS WILL BE WASHED DOWN BEFORE LEAVING THE SITE.
8. THE SITE WILL BE WET DOWN IF NECESSARY TO CONTROL DUST.
9. ALL CONSTRUCTION EQUIPMENT MUST BE PARKED ON-SITE.
10. SILTATION CONTROL FENCE TO BE AS PER DETAIL ON THIS DRAWING.
11. ALL SILTSACK SEDIMENT CONTROL DEVICES TO BE ROUTINELY INSPECTED AND MAINTAINED IN PROPER WORKING ORDER UNTIL AREA IS STABILIZED.
12. SILTSACK TO BE PLACED UNDER GRATES ON ALL CATCHBASINS TO TRAP SEDIMENT. SILTSACKS ARE TO BE CLEANED REGULARLY AND ARE NOT TO BE REMOVED UNTIL SUCH TIME AS THE CURBS ARE CONSTRUCTED AND THE BOULEVARDS ARE SODDED OR BACKYARDS GRADED AND SODDED. SILTSACK FOR SILT CONTROL TO BE TERRA FIX SILTSACK OR APPROVED EQUIVALENT AS PER DETAIL ON THIS DRAWING..
13. IN THE CASE OF ANY CONFLICT WITH ANOTHER PLAN, THIS PLAN PREVAILS ONLY IN RESPECT TO CONSTRUCTION MEASURES AND ACTIVITIES SUCH AS THE CONSTRUCTION ACCESS, SILT FENCE, SECURITY FENCING, SEDIMENT CONTROL, AND MUD MATS.
14. STREET SWEEPING, CATCH BASIN CLEANING AND DUST CONTROL ARE THE RESPONSIBILITY OF THE DEVELOPER AND MUST BE KEPT UNDER CONTROL ON ALL ROADWAYS TO THE SATISFACTION OF THE CITY.
15. APPROPRIATE SIGNAGE IS TO BE INSTALLED ON THE BOULEVARD TO INDICATE THAT THE SIDEWALK IS NOT ACCESSIBLE.



SITE PLAN
PREPARED BY: BJC ARCHITECTS INC.
DATE: FEBRUARY 8, 2023
TOPOGRAPHIC & LEGAL
PREPARED BY: SCAFFER DZALDOV BENNETT LTD.
DATE: SEPTEMBER 1, 2021
BENCHMARK NOTES
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO ONTARIO MINISTRY OF NATURAL RESOURCES AND FORESTRY CONTROL MONUMENT No. 03120080060 HAVING A PUBLISHED ELEVATION OF 307.474 METRES

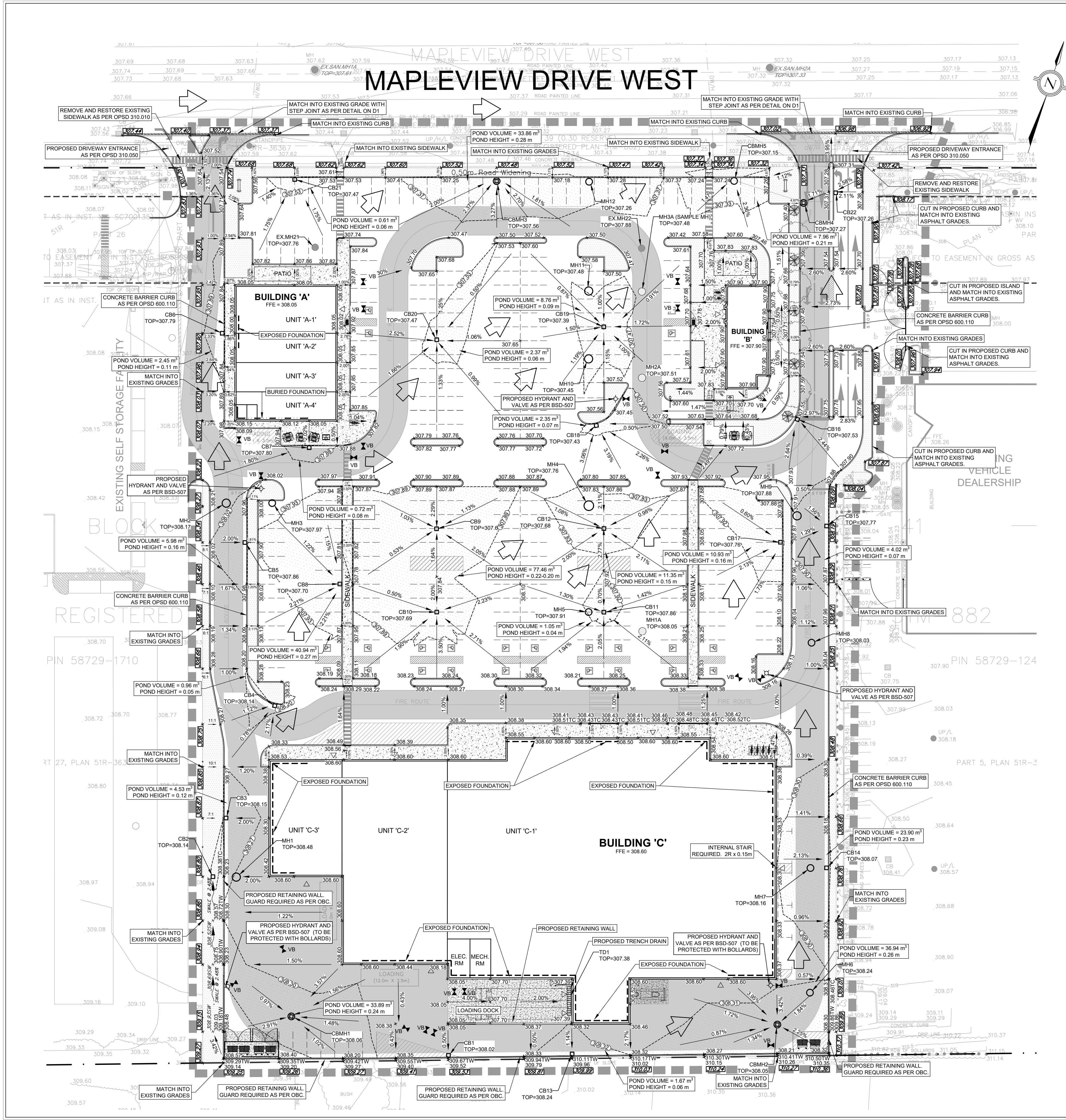
Notes
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No.	Issue / Revision	Date	Auth.
1	ISSUED FOR OPA & ZBA #1	OCT. 15, 2021	JS
2	ISSUED FOR OPA & ZBA #2	FEB. 23, 2023	JS



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web: www.rjburnside.com

Client PLAZA REIT 307 SHEPPARD AVENUE EAST UNIT 110 TORONTO, ON M2N 3B3			
Drawing Title COMMERCIAL DEVELOPMENT 315, 323 MAPLEVIEW DRIVE WEST BARRIE, ON L4N 9E8			
EROSION SEDIMENT CONTROL PLAN			
Drawn GP	Checked PM	Designed JS	Checked PM
Project No. 300053710	Contract No.	Date 21/09/23	Revision No.
Scale 1:400			ESC1



GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY OF BARRIE STANDARD DRAWINGS (BSD) AND ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD).
- ORDER OF PRECEDENCE OF STANDARD DRAWINGS IS FIRSTLY CITY OF BARRIE STANDARD DRAWINGS(BSD) AND SECONDLY ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD).
- LOCATION OF EXISTING SERVICES ARE NOT GUARANTEED. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- A ROAD OCCUPANCY PERMIT IS REQUIRED FROM THE ROADS AND PARKS OPERATIONS BRANCH PRIOR TO THE COMMENCEMENT OF WORK WITHIN ANY CITY RIGHT-OF-WAY.
- A SITE ALTERATION PERMIT IS REQUIRED FROM THE ENGINEERING DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY EARTH WORKS ON THE SITE.
- NATIVE MATERIAL, SUITABLE FOR BACKFILL, SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- GRANULAR MATERIAL, USED FOR BACKFILL, SHALL BE PLACED IN LAYERS 150mm IN DEPTH MAXIMUM AND COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- ALL DISTURBED AREAS ARE TO BE REINSTATED TO THEIR ORIGINAL CONDITION OR BETTER, AS DETERMINED BY THE CITY ENGINEERING DEPARTMENT.
- ALL SILT CONTROL AND EROSION PROTECTION DEVICES ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL CONSTRUCTION IS COMPLETE AND THE GRASS HAS ESTABLISHED GROWTH, SUBJECT TO APPROVAL BY THE CITY ENGINEERING DEPARTMENT.

SITE GRADING:

- ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER WITH SOD ON MIN 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
- PROVIDE SUBDRAINS, MINIMUM LENGTH OF 3.0m, EXTENDING FROM ALL CATCHBASINS AND CATCHBASIN MANHOLES TO DRAIN THE GRANULAR SUB-BASE LAYER AS PER DETAIL ON DRAWING D1.
- ALL CONCRETE CURB WITHIN THE SITE TO BE CONSTRUCTED AS PER DETAIL ON DRAWING D1, UNLESS OTHERWISE SPECIFIED.
- TRENCH BACKFILL WITHIN THE RIGHT OF WAY SHALL BE UNSHRINKABLE FILL AND SHALL EXTEND TO THE BASE OF ASPHALT.
- ALL WORK SHALL BE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF CITY ROAD OCCUPANCY PERMIT.
- INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERWAYS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED BY THE MUNICIPALITY.
- REFER TO SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
- STEP JOINTS ARE TO BE USED WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT AS PER DETAIL ON DRAWING D1. ALL JOINTS MUST BE SEALED AS PER DETAIL.
- EMBANKMENTS TO BE SLOPED AT MAX. 3:1, UNLESS OTHERWISE SPECIFIED.
- THE PAVEMENT STRUCTURE SHALL BE CONSTRUCTED OF THE MINIMUM THICKNESSES OF MATERIALS AS PER THE GEOTECHNICAL REPORT PREPARED BY TERRAPROBE, DATED OCTOBER 27, 2006.

PAVEMENT STRUCTURE

40 MM OPSS HL3 ASPHALT
100 MM OPSS HL8 ASPHALT
50 MM OPSS GRANULAR 'A' BASE
300 MM OPSS GRANULAR 'B' BASE

- ALL PAVEMENT MARKING, LINE PAINTING, DIRECTIONAL LINES/ARROWS ETC. SHALL BE PLACED IN ACCORDANCE WITH THE ARCHITECTURAL SITE PLAN OR THE OWNER'S TRAFFIC ENGINEERING CONSULTANT'S DRAWINGS. LINE PAINTING AND DIRECTIONAL SYMBOLS SHALL BE APPLIED WITH A MINIMUM OF TWO COATS OF ORGANIC SOLVENT BASED PAINT IN ACCORDANCE WITH OPSS 1712.
- WHERE APPLICABLE THE CONTRACTOR IS TO SUBMIT SHOP DRAWINGS FOR THE RETAINING WALL (INCLUDE RAILINGS IF APPLICABLE) TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. SHOP DRAWINGS MUST BE SITE SPECIFIC, SIGNED AND SEALED BY A LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR WILL ALSO BE REQUIRED TO SUPPLY STRUCTURAL AND GEOTECHNICAL CERTIFICATION OF THE AS-CONSTRUCTED RETAINING WALL TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER 1 (ONE) SET OF AS CONSTRUCTED SITE SERVICING, GRADINGS, AND SITE ELECTRICAL DRAWINGS (IN HARD PRINTS AND DIGITAL CAD FORMAT).

KEY PLAN
SCALE: N.T.S.

LEGEND:

- SITE PROPERTY LINE
- EASEMENT LINE
- LIMIT OF CONSTRUCTION
- EXPOSED FOUNDATION
- BURIED FOUNDATION
- RETAINING WALL
- STEP JOINT
- PROPOSED BUILDING ENTRANCE
- EXISTING ELEVATIONS
- EXISTING ELEVATIONS TO MATCH
- FINISHED GROUND ELEVATION
- FUTURE ELEVATIONS TO MATCH
- TOP OF CURB ELEVATION
- TOP OF WALL ELEVATION
- SWALE ELEVATION
- OVERLAND FLOW ROUTE
- PROPOSED SLOPES
- INTERCEPTOR SWALE
- NEW STORM / SANITARY MANHOLE
- EXISTING STORM / SANITARY MANHOLE
- CATCHBASIN / DOUBLE CATCHBASIN
- TRENCH DRAIN
- HYDRANT AND VALVE
- VALVE & BOX
- CHECK VALVE & BOX
- SIAMSE CONNECTION
- HEAVY DUTY ASPHALT
- CONCRETE SURFACE
- LANDSCAPE SURFACE

SITE PLAN
PREPARED BY: BJC ARCHITECTS INC.
DATE: FEBRUARY 8, 2023

TOPOGRAPHIC & LEGAL
PREPARED BY: SCAFFER DZALDOV BENNETT LTD.
DATE: SEPTEMBER 1, 2021

BENCHMARK NOTES
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO ONTARIO MINISTRY OF NATURAL RESOURCES AND FORESTRY CONTROL MONUMENT No. 0312008060 HAVING A PUBLISHED ELEVATION OF 307.474 METRES

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2	ISSUED FOR OPA & ZBA #2	FEB. 23, 2023	JS

J.A. SCHERER
100508027
FEB. 23, 2023
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

BURNSIDE
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1405 Pickering Parkway
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Fax: (905) 420-5247
web: www.rjburnside.com

Client
PLAZA REIT
307 SHEPPARD AVENUE EAST UNIT 110
TORONTO, ON
M2N 3B3

Drawing Title
COMMERCIAL DEVELOPMENT
315, 323 MAPLEVIEW DRIVE WEST
BARRIE, ON L4N 9E8

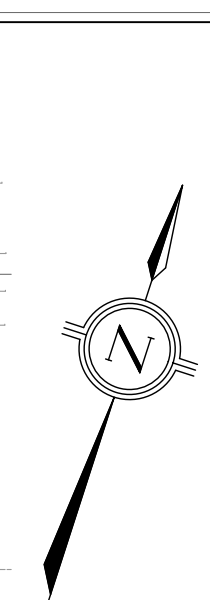
GRADING PLAN

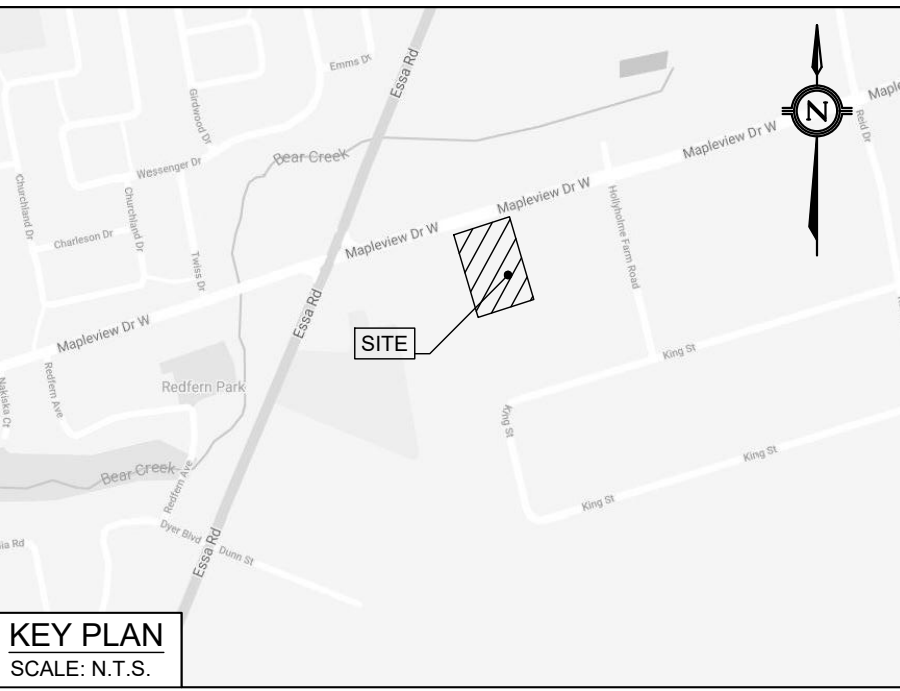
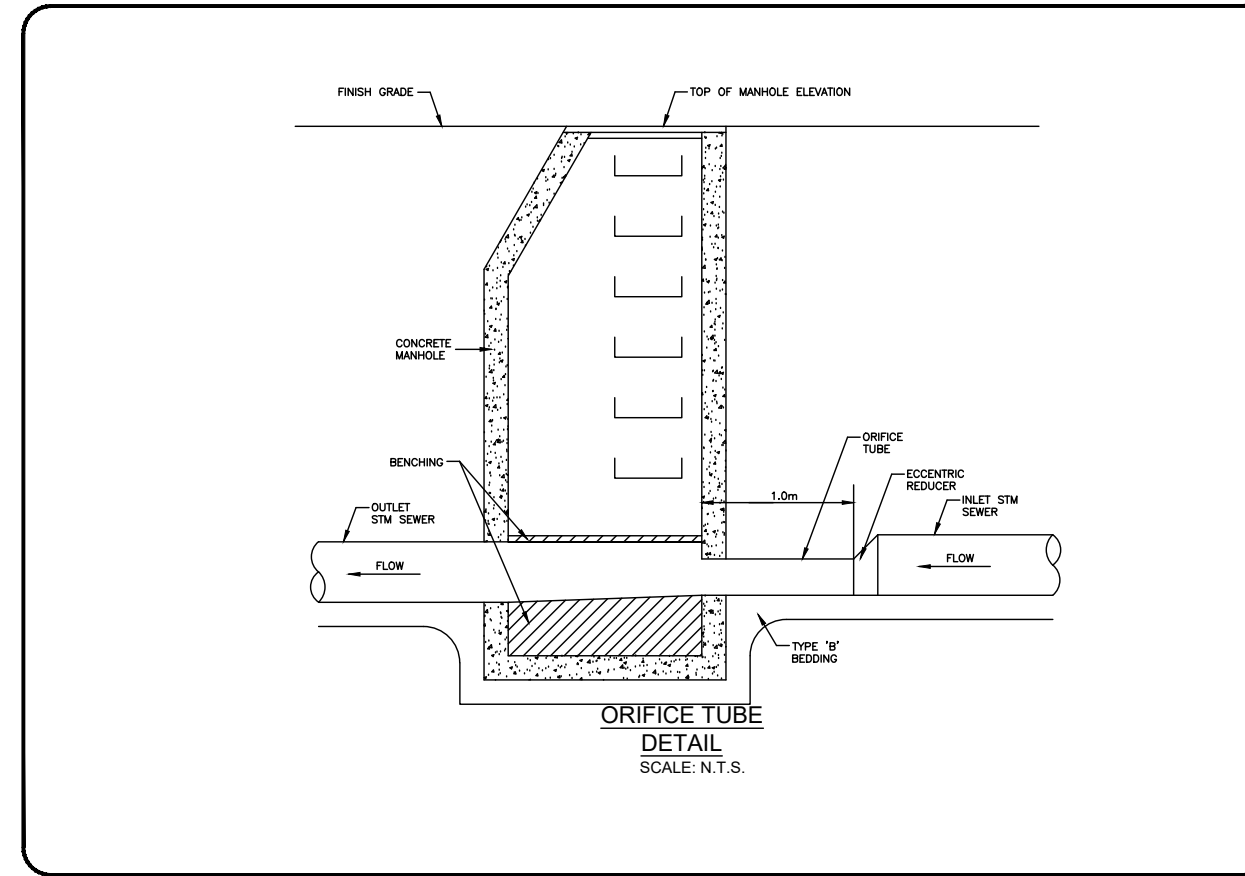
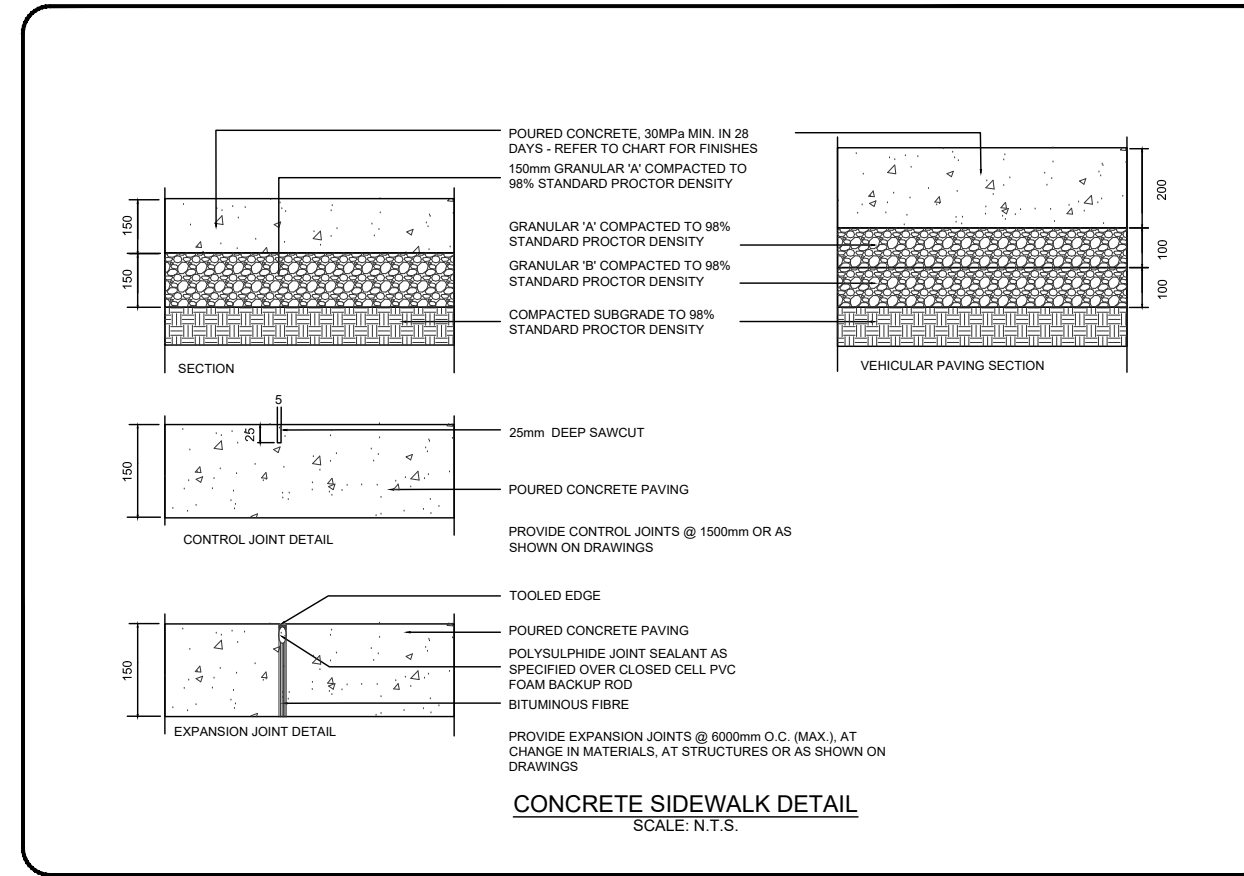
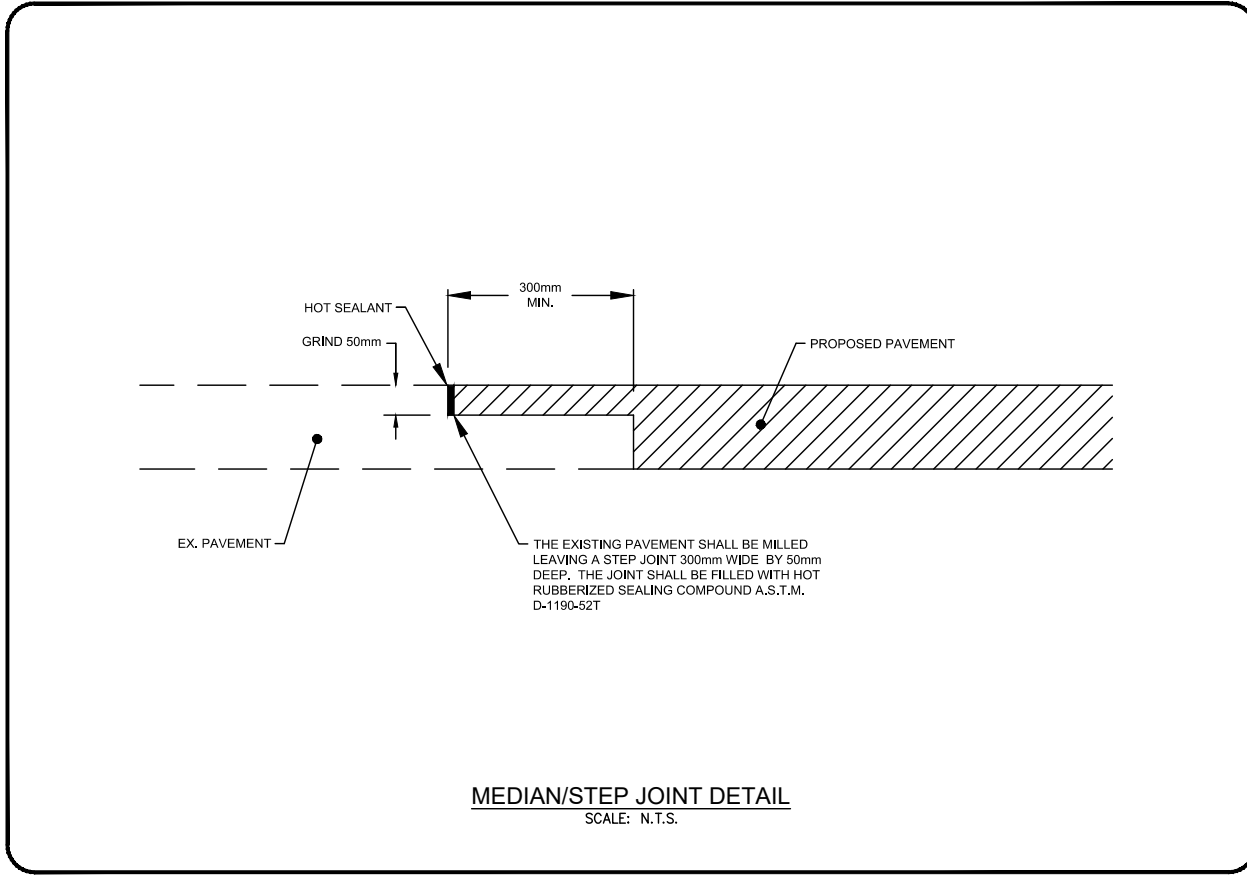
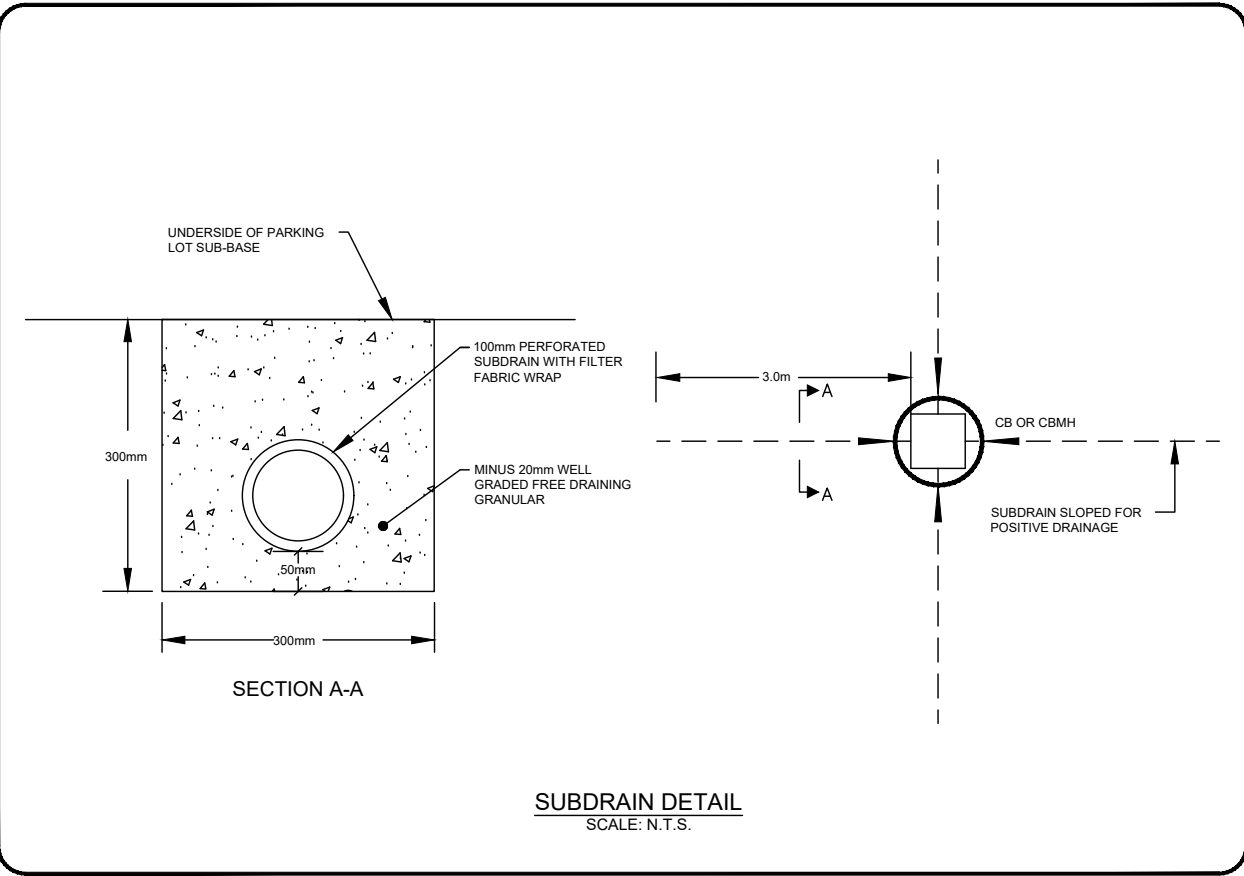
Drawn	Checked	Designed	Checked	Date	Drawing No.
GP	PM	JS	PM	21/09/23	

Project No. 300053710
Contract No.
Revision No.

Scale 1:400

G1





LEGEND:

SITE PLAN
PREPARED BY: BJC ARCHITECTS INC.
DATE: FEBRUARY 8, 2023
TOPOGRAPHIC & LEGAL
PREPARED BY: SCAFFER DZALDOV BENNETT LTD.
DATE: SEPTEMBER 1, 2021
BENCHMARK NOTES
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Client
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307 SHEPPARD AVENUE EAST UNIT 110
TORONTO, ON
M2N 3B3

Drawing Title
COMMERCIAL DEVELOPMENT
315, 323 MAPLEVIEW DRIVE WEST
BARRIE, ON L4N 9E8

DETAILS PLAN

Drawn	Checked	Designed	Checked	Date	Drawing No.
GP	PM	JS	PM	21/09/23	
Project No.	Contract No.	Revision No.			
300053710					
Scale					
N.T.S.					

D1

