Renaissance Residences - Barrie

505-533 Yonge St, Barrie, ON, L4N 4E1

ISSUED FOR ZONING BY-LAW AMMENDMENT - September 2023

ARCHITECTURAL DRAWING LIST

A101	SITE PLAN
A201	GROUND FLOOR PLAN
A202	PARKING PLANS
A401	SHADOW STUDY
A402	BLOCK PLAN
A403	BLOCK PLAN ELEVATION
A404	ANGULAR PLANE ANALYSIS
A405	BLOCK PLAN CONTEXT

No.	Revision	Date
2	Zoning By-Law Ammendment Resubmission	September 2023
1	Issued for Zoning By-Law Ammendment	2021.12.17

Orientation

Seal

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151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
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Project Information
Renaissance Residences - Barrie
505 to 533 Yonge St., Barrie, ON

For
Core Advisory Group

Drawing Title
Title Sheet

Date	Project No	Drawing No
September 2023	20033	A100
Drawn by KT		
Scale		

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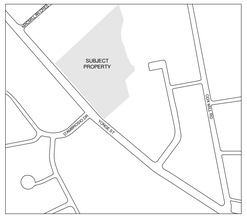
1 / A101 Site Plan
1 : 400



KEY PLAN

SITE PLAN LEGEND:

- PROPERTY LINE
- PART LOT / EASEMENT LINE
- STABLE TOP OF SLOPE AS STAKED
- CENTRELINE OF LOVERS CREEK
- LANDSCAPE BUFFER
- COMMERCIAL (1 STOREY @ GRADE)
- SNOW STORAGE
- CONCRETE PAVING / SIDEWALK
- ASPHALT PAVEMENT
- GRASS / DEVELOPABLE LIMIT

APARTMENT DWELLING SECOND DENSITY - 2 (RA2-2) ZONE

PROVISIONS	REQUIRED	PROVIDED
LOT AREA	1300m²	26,815.2m²
DEVELOPABLE AREA	--	16,457.7m²
LOT FRONTAGE (min.)	30m²	167.6m
FRONT YARD SETBACK (min.)	7m	3m *
SIDE YARD SETBACK (min.)	5m	5.5m
REAR YARD SETBACK (min.)	7.0m	65m
LANDSCAPED OPEN SPACE (min.)	35%	58%
DWELLING UNIT FLOOR AREA (min.)	35.0m² / dwelling unit + 10.0m² / bedroom	55.0m² / dwelling unit + 12.0m² / bedroom
LOT COVERAGE (max.)	35%	17% - Lot Area 28% Developable Area
GROSS FLOOR AREA (max. % of lot area)	200%	181% Lot Area * 295% Developable Area
HEIGHT OF MAIN BUILDING (max.)	45m	40.8m
COMMERCIAL USES WITHIN APARTMENT DWELLINGS	Max. 25% of the ground floor area	23% - all buildings 47% - Building 1
PARKING: RESIDENTIAL BUILDINGS CONTAINING MORE THAN 3 DWELLING UNITS	1.5 spaces per dwelling unit (384 units x 1.5 = 576 spaces) B.F. Spaces 19 Type 'A' and 'B'	419 spaces * incl. 14 B.F. spaces (8 Type 'A' & 6 Type 'B')
PARKING: COMMERCIAL (PERSONAL SERVICE STORE (5.2.6))	1 space per 30m² of gross floor area (1061m²/30 = 36 spaces) B.F. spaces 1 Type 'A' Space & 1 Type 'B' Space	36 spaces incl. 2 B.F. spaces (1 Type 'A' & 1 Type 'B')
PARKING FOR UNDERGROUND STRUCTURE	The minimum setback from the street line to the nearest part of a parking structure underground shall be 1.8m, except where the minimum yard setback for the applicable zone is less than 1.8m	3m
PARKING FOR APARTMENT DWELLINGS - MAX. LOT COVERAGE (5.4.4.1)	35%	25%
LANDSCAPED BUFFER AREAS (PARKING AREAS)	A parking area which provides for more than 4 parking spaces adjoining a residentially zoned lot requires a continuous landscaped buffer area with a minimum width of 3m shall be provided along the abutting lot line and a continuous tight board fence with a minimum height of 2m is to be constructed along the lot line. The landscaped buffer area shall be planted with appropriate vegetation to effectively screen the parking area.	Complies
LANDSCAPED BUFFER AREAS (APARTMENT DWELLINGS)	A continuous landscaped buffer area shall be provided along the side and rear lot lines of any lot which is occupied by an Apartment Dwelling. The landscaped buffer area shall be 3m in width along the side and rear lot lines.	6.89m

* Indicates currently non-compliant

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Orientation

PROJECT NORTH

Seal

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Project Information

Renaissance Residences - Barrie

505 to 533 Yonge St., Barrie, ON

For

Core Advisory Group

Drawing Title

Site Plan

Date	Project No	Drawing No
September 2023	20033	A101
Drawn by KT		
Scale As indicated		

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1
A201

Level 1 Floor Plan(1)

1 : 400

No.	Revision	Date
2	Zoning By-Law Ammendment Resubmission	September 2023
1	Issued for Zoning By-Law Ammendment	2021.12.17

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Project Information

Renaissance Residences - Barrie

505 to 533 Yonge St., Barrie, ON

For

Core Advisory Group

Drawing Title

Ground Floor Plan

Date	Project No	Drawing No
September 2023	20033	A201
Drawn by KT		
Scale 1 : 400		

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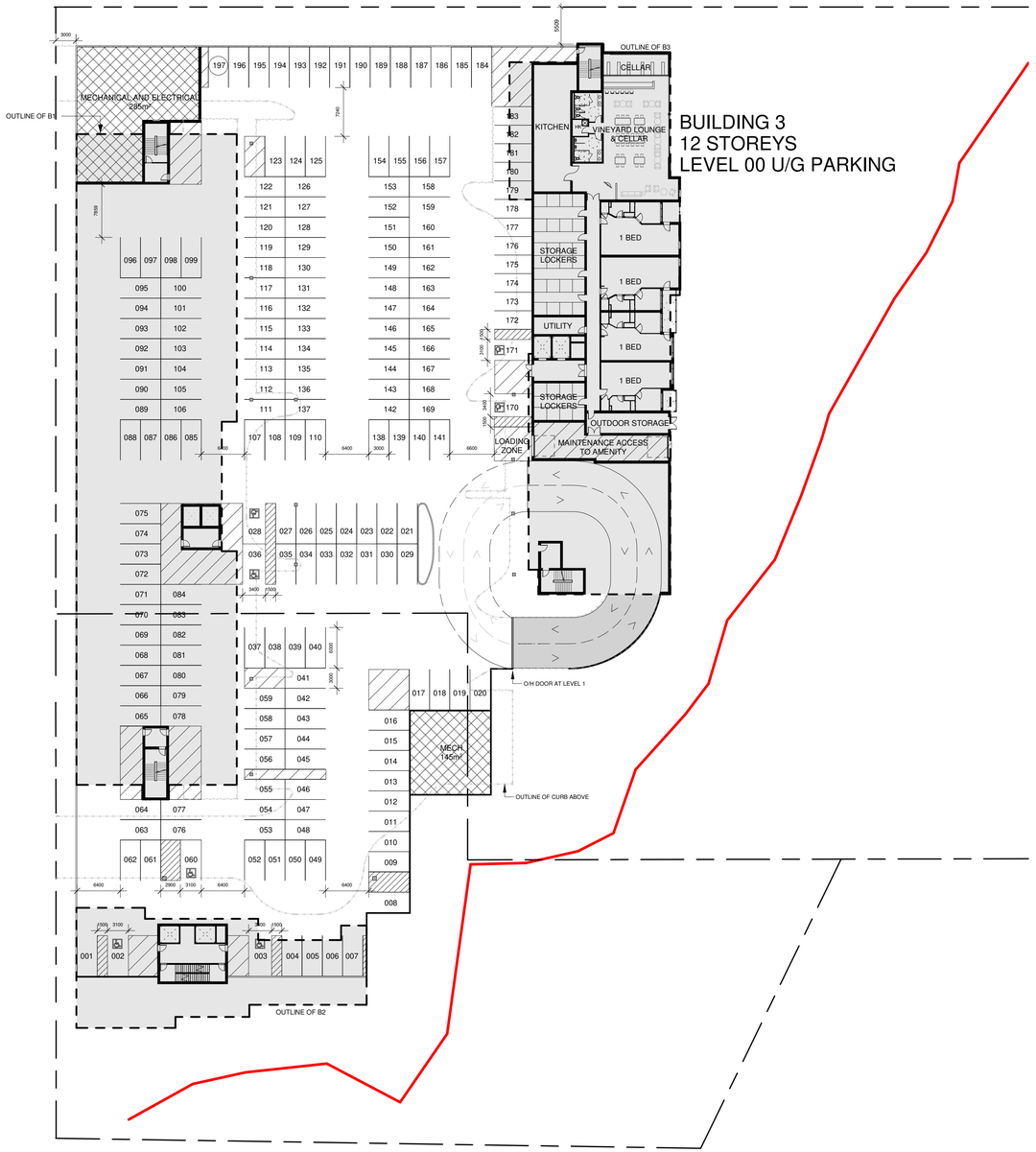

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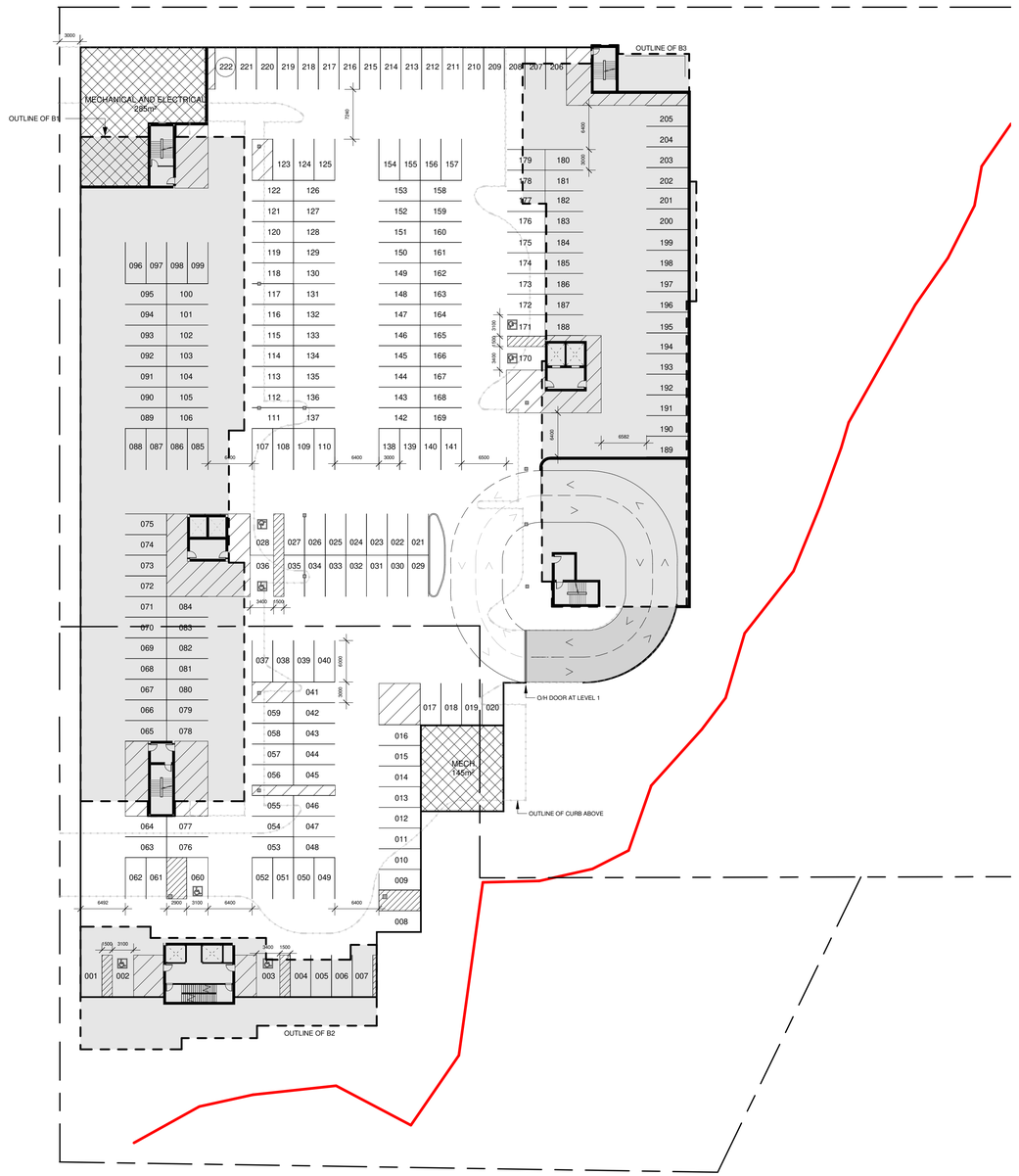
A202

Level 00 U/G Parking 1

1 : 400



2
A202

U/G Parking 2

1 : 400

No.	Revision	Date
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Project Information

Renaissance Residences - Barrie

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For

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Drawing Title

Parking Plans

Date	Project No	Drawing No
September 2023	20033	A202
Drawn by KT		
Scale 1 : 400		

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APRIL

SUNRISE | 6:25am — SUNSET | 8:11pm

8:00am	9:30am	11:00am	12:30pm	2:00pm	3:30pm	5:00pm	6:30pm

JUNE

SUNRISE | 5:34am — SUNSET | 9:07pm

7:00am	8:30am	10:00am	11:30am	1:00pm	2:30pm	4:00pm	5:30pm	7:00pm	8:30pm

SEPTEMBER

SUNRISE | 7:05am — SUNSET | 7:18pm

8:30am	10:00am	11:30am	1:00pm	2:30pm	4:00pm	5:30pm	7:00pm

DECEMBER

SUNRISE | 7:52am — SUNSET | 4:42pm

9:30am	11:00am	12:30pm	2:00pm	3:30pm

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Renaissance Residences - Barrie

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For

Core Advisory Group

Drawing Title

Shadow Study

Date	Project No	Drawing No
September 2023	20033	A401
Drawn by KT		
Scale		

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1 A402 BLOCK PLAN
N.T.S.

LEGEND

- SUBJECT SITE (505-533 YONGE ST)
- APPROVED DEVELOPMENT (481 YONGE ST)
- POSSIBLE FUTURE DEVELOPMENT (SOFT SITES)
- OPEN SPACE
- ENVIRONMENTAL PROTECTION AREA
- LOVERS CREEK
- ADJACENT PROPERTIES
- RESIDENTIAL / NEIGHBOURHOOD AREA
- ARTERIAL ROAD / INTENSIFICATION CORRIDOR
- SECONDARY LOCAL ROAD
- POTENTIAL FUTURE TRAIL CONNECTION
- BARRIE TMP BICYCLE TRACK
- VEHICULAR ACCESS
- # BUILDING HEIGHT IN STOREYS
- EXISTING TRANSIT STOPS

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Renaissance Residences - Barrie

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For

Core Advisory Group

Drawing Title

Block Plan

Date	Project No	Drawing No
September 2023	20033	A402
Drawn by KT		
Scale N.T.S		

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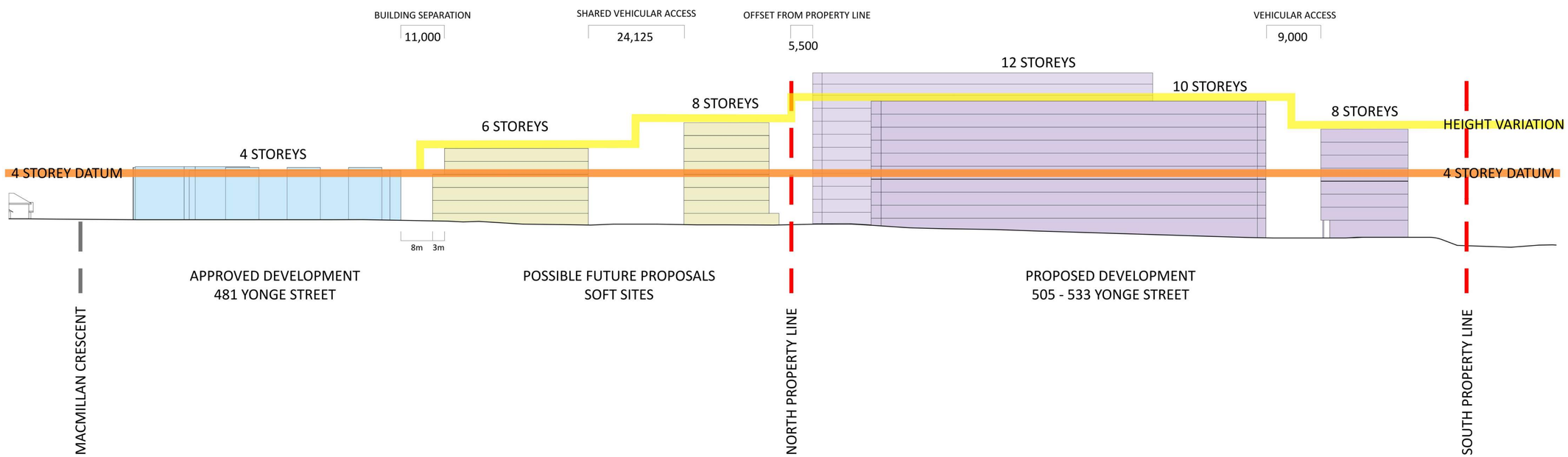

1
A403
WEST ELEVATION
N.T.S.

No.	Revision	Date
2	Zoning By-Law Ammendment Resubmission	September 2023
1	Issued for Zoning By-Law Ammendment	2021.12.17

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Drawing Title

Block Plan Elevation

Date	Project No	Drawing No
September 2023	20033	A403

Drawn by KT

Scale

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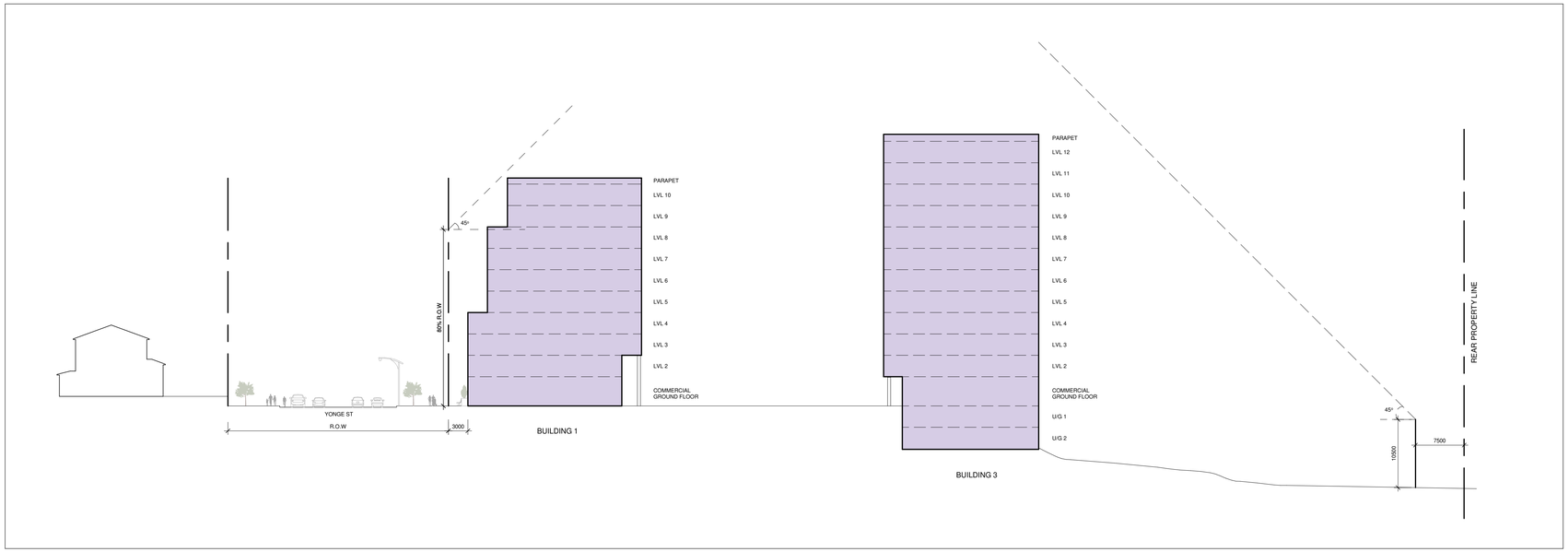
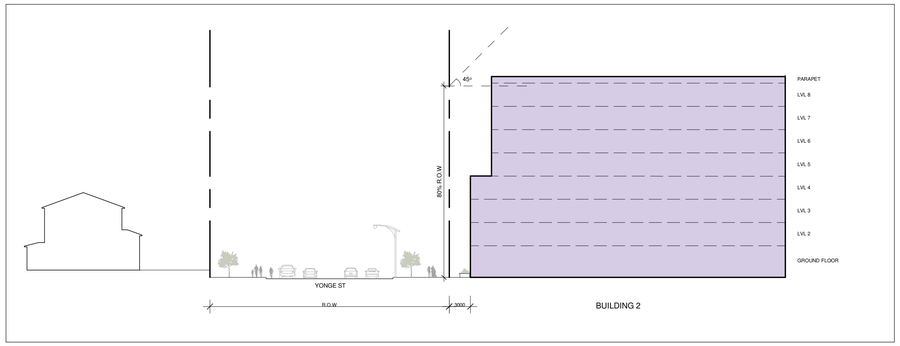


BUILDINGS ONE & THREE



BUILDING TWO

1 A404 ANGULAR PLANE ANALYSIS

N.T.S.

No.	Revision	Date
2	Zoning By-Law Ammendment Resubmission	September 2023
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Drawing Title

Angular Plane Analysis

Date	Project No	Drawing No
September 2023	20033	A404
Drawn by KT		
Scale N.T.S.		

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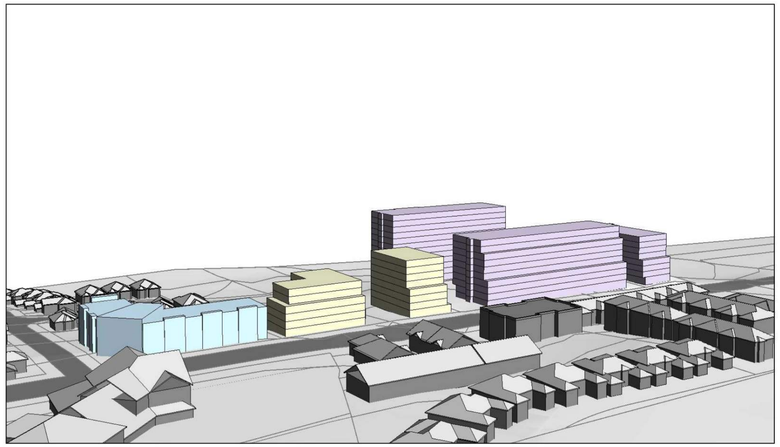

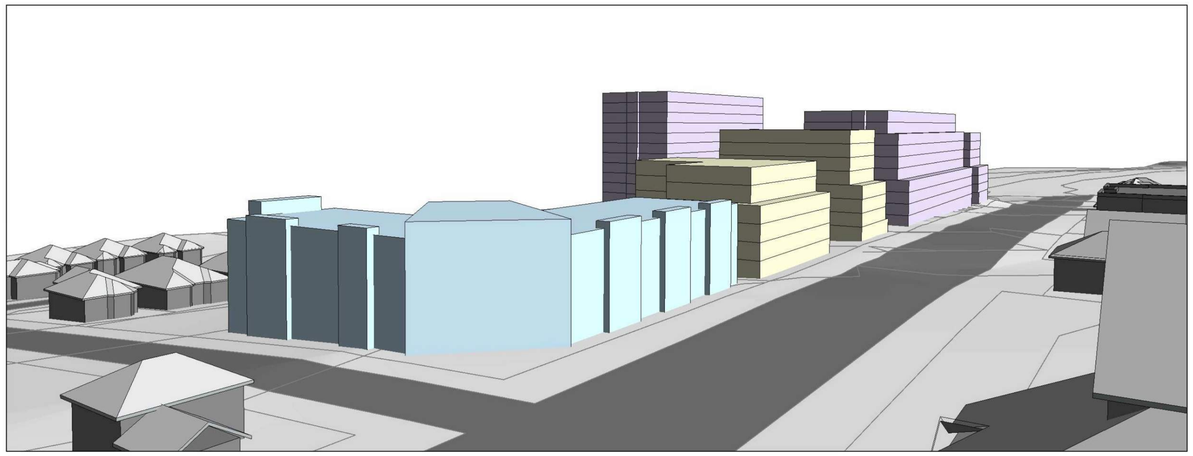

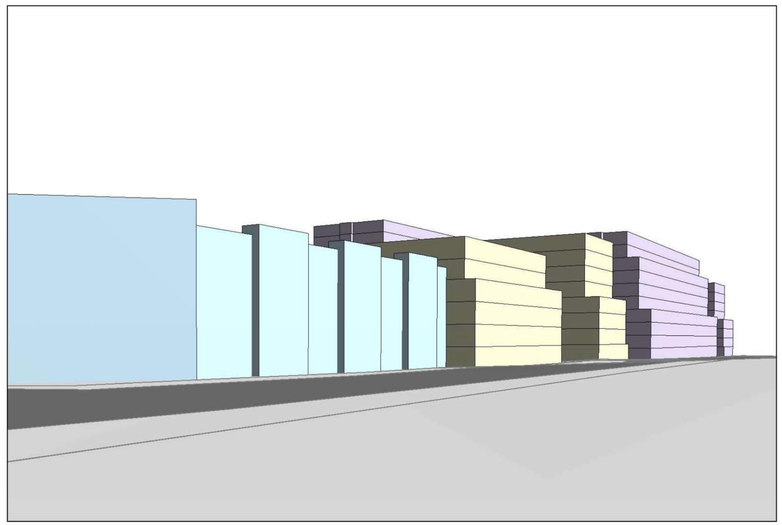

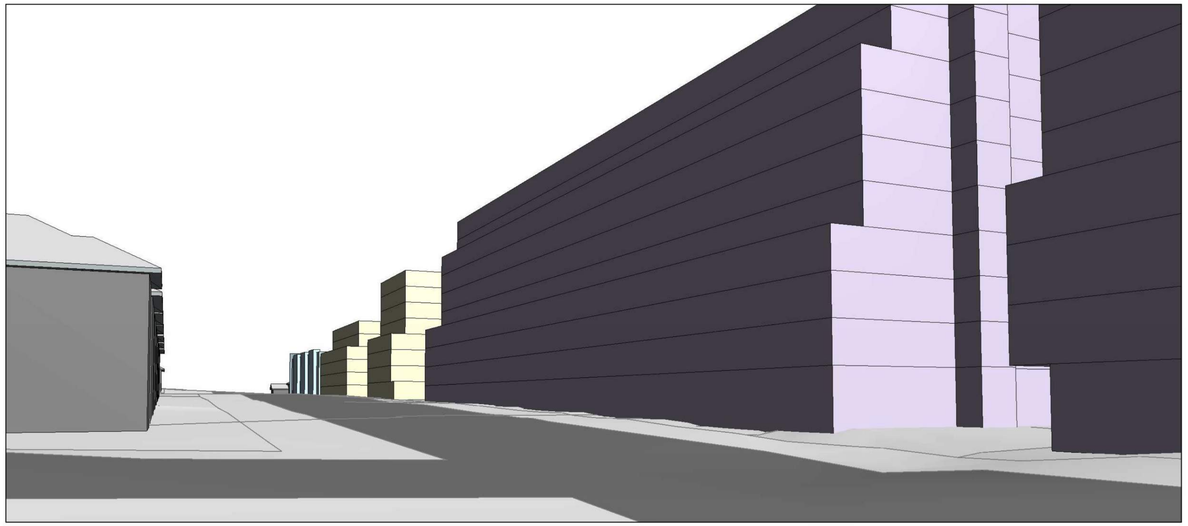

1 A405 BLOCK PLAN CONTEXT
N.T.S.

No.	Revision	Date
2	Zoning By-Law Ammendmant Resubmission	September 2023
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For

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Drawing Title

Block Plan Context

Date	Project No	Drawing No
September 2023	20033	A405
Drawn by KT		
Scale		

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