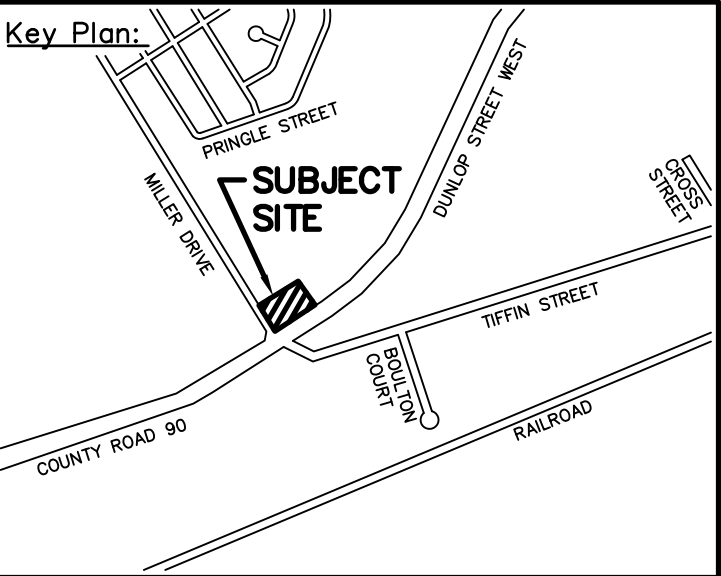
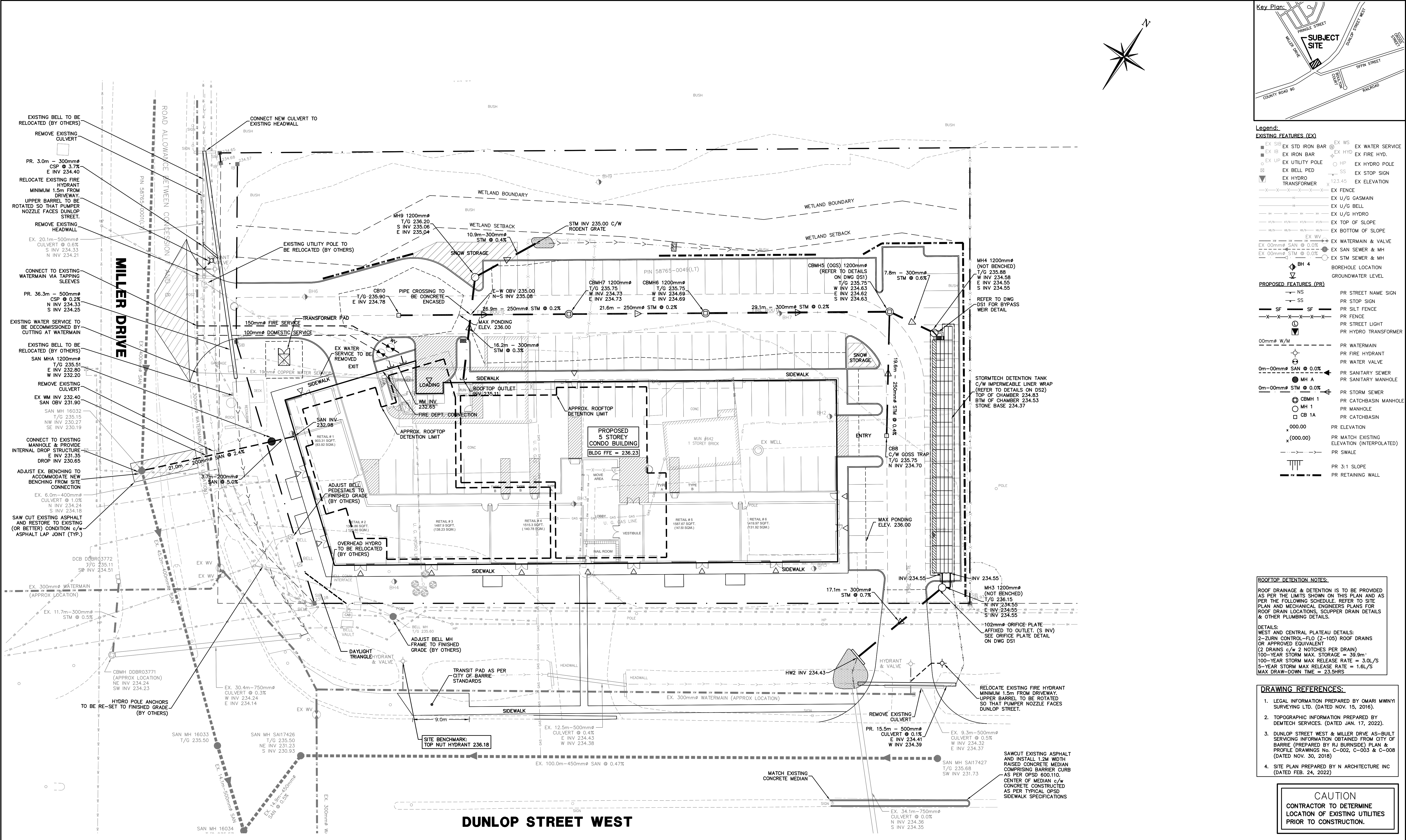




- Legend:**
- EXISTING FEATURES (EX)**
- EX SIB EX STD IRON BAR EX WS EX WATER SERVICE
 - EX IB EX IRON BAR EX HYD EX FIRE HYD.
 - EX UP EX UTILITY POLE EX HP EX HYDRO POLE
 - EX BELL PED EX SS EX STOP SIGN
 - EX HYDRO TRANSFORMER EX 123.45 EX ELEVATION
 - EX FENCE EX U/G GASMAIN EX U/G BELL EX U/G HYDRO EX TOP OF SLOPE EX BOTTOM OF SLOPE EX WV EX WATERMAIN & VALVE EX 0.00mm SAN @ 0.0% EX SAN SEWER & MH EX 0.00mm STM @ 0.0% EX STM SEWER & MH BOREHOLE LOCATION GROUNDWATER LEVEL
 - BH 4
- PROPOSED FEATURES (PR)**
- NS PR STREET NAME SIGN
 - SS PR STOP SIGN
 - SF PR SILT FENCE
 - SF PR FENCE
 - SF PR STREET LIGHT
 - SF PR HYDRO TRANSFORMER
 - 0.00mm W/M PR WATERMAIN
 - 0.00mm SAN @ 0.0% PR FIRE HYDRANT
 - 0.00mm STM @ 0.0% PR WATER VALVE
 - MH A PR SANITARY SEWER
 - MH 1 PR SANITARY MANHOLE
 - CB 1A PR CATCHBASIN MANHOLE
 - CB 1A PR CATCHBASIN
 - 0.00.00 PR ELEVATION
 - x (000.00) PR MATCH EXISTING ELEVATION (INTERPOLATED)
 - PR SWALE
 - PR 3:1 SLOPE
 - PR RETAINING WALL

ROOFTOP DETENTION NOTES:

ROOF DRAINAGE & DETENTION IS TO BE PROVIDED AS PER THE LIMITS SHOWN ON THIS PLAN AND AS PER THE FOLLOWING SCHEDULE. REFER TO SITE PLAN AND MECHANICAL ENGINEERS PLANS FOR ROOF DRAIN LOCATIONS, SCUPPER DRAIN DETAILS & OTHER PLUMBING DETAILS.

DETAILS:

WEST AND CENTRAL PLATEAU DETAILS:

2-ZURN CONTROL-FLO (Z-105) ROOF DRAINS OR APPROVED EQUIVALENT

(2 DRAINS c/w 2 NOTCHES PER DRAIN)

100-YEAR STORM MAX. STORAGE = 39.9m³

100-YEAR STORM MAX RELEASE RATE = 3.0L/S

5-YEAR STORM MAX RELEASE RATE = 1.6L/S

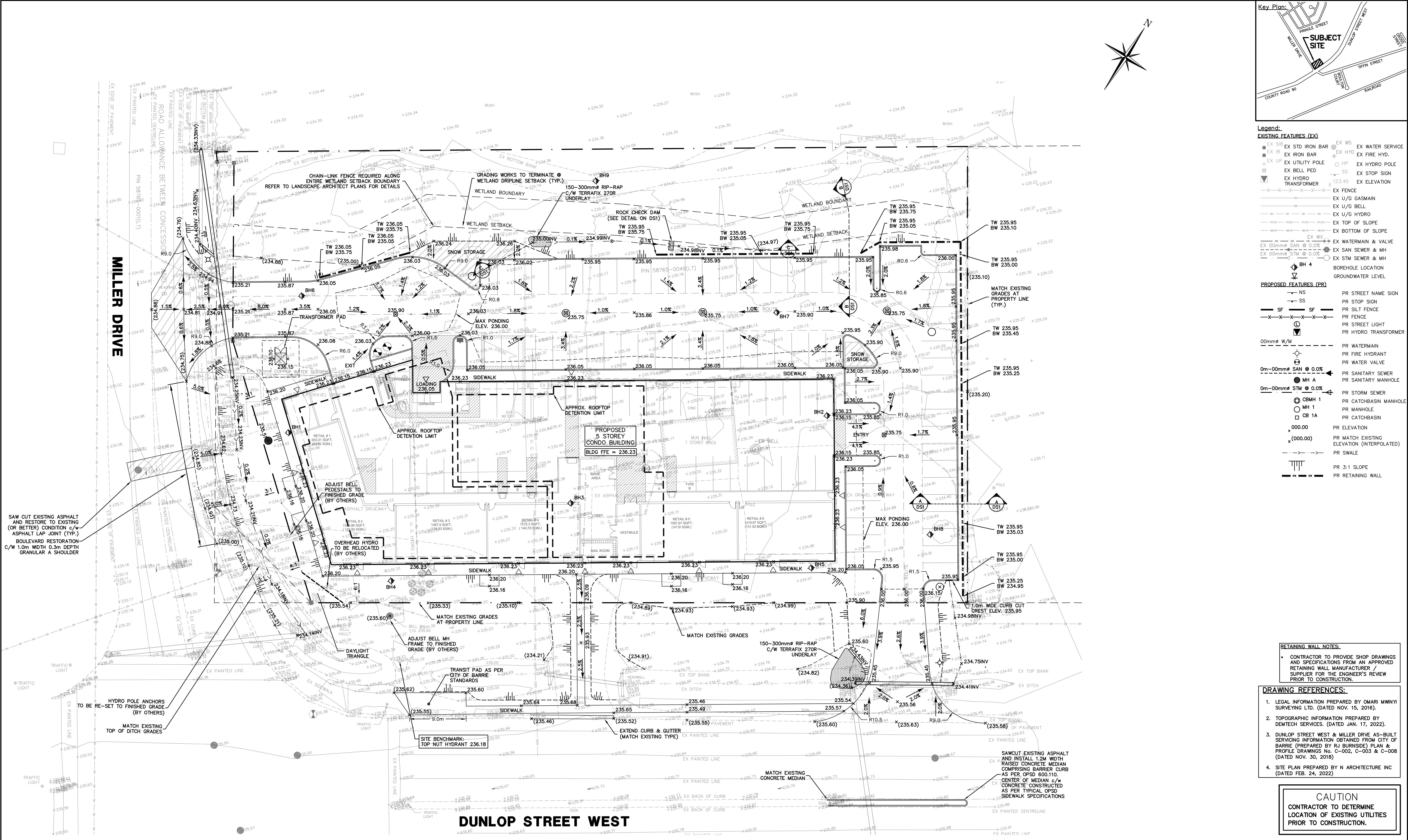
MAX DRAW-DOWN TIME = 23.5HRS

- DRAWING REFERENCES:**
- LEGAL INFORMATION PREPARED BY OMARI MWNYI SURVEYING LTD. (DATED NOV. 15, 2016).
 - TOPOGRAPHIC INFORMATION PREPARED BY DEMTECH SERVICES. (DATED JAN. 17, 2022).
 - DUNLOP STREET WEST & MILLER DRIVE AS-BUILT SERVICING INFORMATION OBTAINED FROM CITY OF BARRIE (PREPARED BY RJ BURNSIDE) PLAN & PROFILE DRAWINGS No. C-002, C-003 & C-008 (DATED NOV. 30, 2018)
 - SITE PLAN PREPARED BY N ARCHITECTURE INC (DATED FEB. 24, 2022)

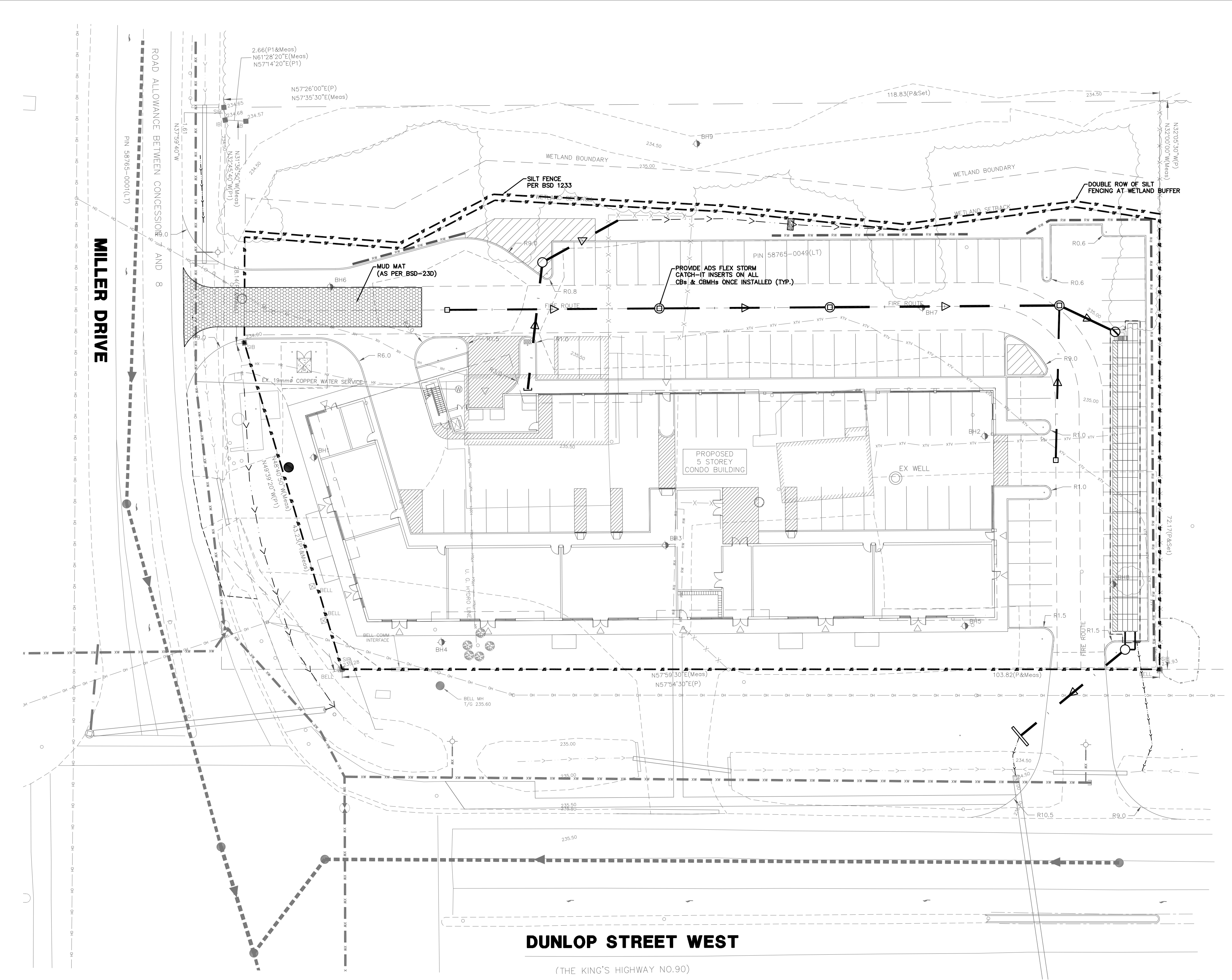
CAUTION

CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

Notes: 1. Unless noted otherwise, the measurements and distances shown on this drawing are shown in meters. 2. Do not scale drawings. 3. It is the contractor's responsibility to verify all dimensions, levels and datums on site and report any discrepancies or omissions to WMI & Associates Ltd. prior to construction. 4. This drawing is to be read and understood in conjunction with all other relevant documents applicable to this project. 5. This drawing is the exclusive property of WMI & Associates Ltd. and the reproduction of any part of this document without prior written consent is strictly prohibited.	Benchmark: 236.18m TOP NUT OF THE FIRE HYDRANT LOCATED IN THE BOULEVARD AT THE SOUTH WEST CORNER #642 DUNLOP STREET PROPERTY (NORTH EAST CORNER OF DUNLOP STREET & MILLER ROAD INTERSECTION).		<table><tr><th>No.</th><th>Issue / Revision</th><th>Date</th></tr><tr><td>1</td><td>1ST SUBMISSION</td><td>APR 7, 2022</td></tr><tr><td>2</td><td>2ND SUBMISSION</td><td>MAR 22, 2023</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	No.	Issue / Revision	Date	1	1ST SUBMISSION	APR 7, 2022	2	2ND SUBMISSION	MAR 22, 2023																			642 DUNLOP STREET WEST SITE SERVICING PLAN	Client: 2507517 Ontario Inc. c/o Innovative Planning Solutions 647 Welham Road, Unit 9 Barrie, Ontario L4N 9A1	 WMI & Associates Limited 119 Collier Street Barrie, Ontario L4M 1H5 Ph 705-797-2027 www.wmiengineering.ca <table><tr><td>Drawn By</td><td>AB</td><td>Checked By</td><td>JR</td><td>Drawing No.</td></tr><tr><td>Scale</td><td>1:250</td><td>Project No.</td><td>21-710</td><td>SS</td></tr></table>	Drawn By	AB	Checked By	JR	Drawing No.	Scale	1:250	Project No.	21-710	SS
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NON-WOVEN U.V. STABILIZED GEOTEXTILE TO BE STRETCHED TIGHT AND FOLDED OVERTOP OF FENCE A MINIMUM OF 300mm AND WIRE FASTENED

2400

150mm (0'-6") PAGE WIRE FENCING

50 x 50 x 1800 STEEL "T" BAR POSTS SPACED 2400 ON CENTRE. TOP 200mm TO BE PAINTED WITH FLOUORESCENT YELLOW OR ORANGE PAINT

1200

DIRECTION OF FLOW

STEEL "T" BAR POST

PAGE WIRE FENCE

FILTER FABRIC

3000 MIN

600

300

DIRECTION OF FLOW

PROPERTY LIMIT OR TOP OF BANK

COMPACTED NATIVE SOIL OR CLEAR STONE

- THIS STANDARD IS TO BE USED IN ACCORDANCE WITH THE SITE ALTERATION BY-LAW FOR THE DESIGN AND MAINTENANCE OF EROSION CONTROL MEASURES AND IS TO BE ADMINISTERED ACCORDINGLY
- SILT / SEDIMENT CONTROL FENCE SHOULD BE ALIGNED WITH CONTOURS FOR SHEET OVERLAND FLOW
- SILTATION CONTROL FENCE IS TO BE LOCATED IN AREAS OF LOW SEDIMENT YIELD ON SLOPES THAT CONFIRM TO M.T.O. DRAINAGE MANUAL VOLUME 2 "CHART F4-3C" TOPOGRAPHIC FACTOR L.S BASED ON SLOPE LENGTH AND GRADIENT
- SILTATION CONTROL FENCE SHALL BE INSTALLED WITH FILTER MEDIA FABRIC TOED INTO THE SOIL. 300mm BE EITHER STATIC SLICING OR TRENCHING METHODS WITH COMPACTION OF TRENCH MATERIAL MEETING 95% S.P.D.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN
- SILT / SEDIMENT CONTROL FENCE MAY BE UTILIZED FOR TREE PRESERVATION AND IS TO BE USED IN CONJUNCTION WITH BSD-1231, BSD-1232 AND BSD-1235

Barrie
STANDARD DETAIL

SILTATION CONTROL FENCING

REV No. 2
DATE: OCT 2017
SCALE: N.T.S.
BSD-1233
FORMERLY BSD-23A

APPROVED
Oct 10/17
Original Signed By
DIRECTOR OF ENGINEERING

Existing Roadway

Install culvert as needed in existing ditches

Maintain or establish vegetative buffer beyond silt fence

30m minimum

Silt Fence along edge of access road and property line

Area Without Vegetation

Dual Silt Fence along edge of access road and property line

Install Silt Fence to property line

0.1m to 0.2m quarry stone with appropriate geotextile base

0.3m

PROPERTY LINE

NOTES:

- THIS STANDARD IS TO BE IN ACCORDANCE WITH SCHEDULE "B" OF THE SITE ALTERATION BY-LAW, "CODE FOR THE DESIGN AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES" AND IS TO BE ADMINISTERED ACCORDINGLY.
- Purpose of Construction Mat is to minimize transportation of sediment onto roadways.
- Construction mat is to be installed as the first step in the site alteration process.
- Construction mats are required where paved roads are within 300m of the site.

CITY OF BARRIE STANDARD	1. Standardized Dimension Text	J.S.	05.10.28	APR'D: R.G.N.	DATE: 04.03.16
CONSTRUCTION ENTRANCE MAT				DRAWN: A.S.C	SCALE: N.T.S
NO.	REVISION	APR'D	DATE	BSD-23D	

GENERAL NOTES:

- EROSION CONTROL WORKS TO BE INSPECTED REGULARLY AFTER EVERY RAINFALL AND REPAIRED/REPLACED AS REQUIRED BY THE ENGINEER. ADDITIONAL MATERIALS (SUCH AS CLEAR STONE, FILTER FABRIC, PUMPS, HOSES, ETC.) TO BE KEPT ONSITE AT ALL TIMES FOR CONDUCTING REPAIRS TO SEDIMENT CONTROL MEASURES.
- ALL DISTURBED AREAS TO BE RESTORED USING TOPSOIL AND SEED IMMEDIATELY UPON ESTABLISHING FINAL ELEVATIONS.
- ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 30 DAYS SHALL BE STABILIZED. SEED MIX AS PER LSRCA REQUIREMENTS.
- EROSION CONTROL WORKS TO BE MAINTAINED UNTIL THE SITE HAS STABILIZED AND REMOVAL IS DIRECTED BY THE ENGINEER.
- SILT FENCE TO BE MAINTAINED ON THE DOWNSTREAM SIDE OF ALL STOCK PILES.
- ALL SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED/INSTALLED AT THE START OF CONSTRUCTION. SILT FENCING TO BE INSTALLED AROUND THE PERIMETER OF THE SITE UNLESS OTHERWISE STATED.
- THE DEVELOPER AND DEVELOPER'S ENGINEER ARE RESPONSIBLE FOR COMPLETING ROUTINE INSPECTIONS OF THE SEDIMENT AND EROSION CONTROL STRUCTURES DURING THE CONSTRUCTION PHASE.
- THE CONTRACTOR SHALL PROVIDE A MUD MAT AS PER THE DETAIL ON THIS DRAWING FOR EACH CONSTRUCTION ENTRANCE AND EXIT.
- ALL MUD MATS SHALL BE MAINTAINED DURING THE CONSTRUCTION PERIOD AND REPLACED AS DIRECTED BY THE ENGINEER.
- INSTALL CATCHBASIN INLET PROTECTION AS PER DETAIL ON THIS DRAWING.
- ALL EXISTING TOPSOIL AND NON-REUSABLE SOIL IS TO BE REMOVED FROM SITE (NOT STOCKPILED)
- ENGINEERED CHANGES TO THE EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE CONDITIONS CHANGE.
- THE SITE TRAILER LOCATION, EQUIPMENT STORAGE, REFUELING AREA AND HYDROCARBON STORAGE ARE TO BE LOCATED OUTSIDE OF THE REGULATED AREA LIMITS
- MINISTRY OF ENVIRONMENT, CONSERVATION AND PARKS (MECP) SPILLS ACTION CENTRE CAN BE REACHED AT 1-800-268-6060
- THE CONTRACTOR IS RESPONSIBLE FOR THE CLEAN-UP AND RESTORATION, INCLUDING ALL COSTS, DUE TO THE RELEASE OF SEDIMENT FROM THE SITE.

Key Plan:

Legend:

EXISTING FEATURES (EX)

- EX SIB EX STD IRON BAR
- EX IB EX IRON BAR
- EX UP EX UTILITY POLE
- EX BELL PED
- EX HYDRO TRANSFORMER
- EX WS EX HYD
- EX FIRE HYD.
- EX HP EX HYDRO POLE
- EX STOP SIGN
- EX ELEVATION
- EX FENCE
- EX U/G GASMAIN
- EX U/G BELL
- EX U/G HYDRO
- EX TOP OF SLOPE
- EX BOTTOM OF SLOPE
- EX WV EX WATERMAIN & VALVE
- EX SAN SEWER & MH
- EX STM SEWER & MH
- BOREHOLE LOCATION
- GROUNDWATER LEVEL
- PR STREET NAME SIGN
- PR STOP SIGN
- PR SILT FENCE
- PR FENCE
- PR STREET LIGHT
- PR HYDRO TRANSFORMER
- PR WATERMAIN
- PR FIRE HYDRANT
- PR WATER VALVE
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- PR STORM SEWER
- PR CATCHBASIN MANHOLE
- PR MANHOLE
- PR CATCHBASIN
- PR ELEVATION
- PR MATCH EXISTING ELEVATION (INTERPOLATED)
- PR SWALE
- PR 3:1 SLOPE
- PR RETAINING WALL

PROPOSED FEATURES (PR)

- NS
- SS
- SF
- SF
- 00mmø W/M
- 0m-00mmø SAN @ 0.0%
- MH A
- 0m-00mmø STM @ 0.0%
- CBMH 1
- MH 1
- CB 1A
- 000.00
- x (000.00)
- 0.00
- 0.1m to 0.2m quarry stone with appropriate geotextile base

Notes:

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Benchmark: 236.18m

TOP NUT OF THE FIRE HYDRANT LOCATED IN THE BOULEVARD AT THE SOUTH WEST CORNER #642 DUNLOP STREET PROPERTY (NORTH EAST CORNER OF DUNLOP STREET & MILLER ROAD INTERSECTION).

No.	Issue / Revision	Date
1	1ST SUBMISSION	APR 7, 2022
2	2ND SUBMISSION	MAR 22, 2023

642 DUNLOP STREET WEST

EROSION & SEDIMENT CONTROL PLAN

Client:

2507517 Ontario Inc. c/o Innovative Planning Solutions

647 Welham Road, Unit 9
Barrie, Ontario
L4N 9A1

DRAWING REFERENCES:

- LEGAL INFORMATION PREPARED BY OMARI MWINYI SURVEYING LTD. (DATED NOV. 15, 2016).
- TOPOGRAPHIC INFORMATION PREPARED BY DEMTECH SERVICES. (DATED JAN. 17, 2022).
- DUNLOP STREET WEST & MILLER DRIVE AS-BUILT SERVICING INFORMATION OBTAINED FROM CITY OF BARRIE (PREPARED BY RJ BURNSIDE) PLAN & PROFILE DRAWINGS No. C-002, C-003 & C-008 (DATED NOV. 30, 2016)
- SITE PLAN PREPARED BY N ARCHITECTURE INC (DATED FEB. 24, 2022)

CAUTION

CONTRACTOR TO DETERMINE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

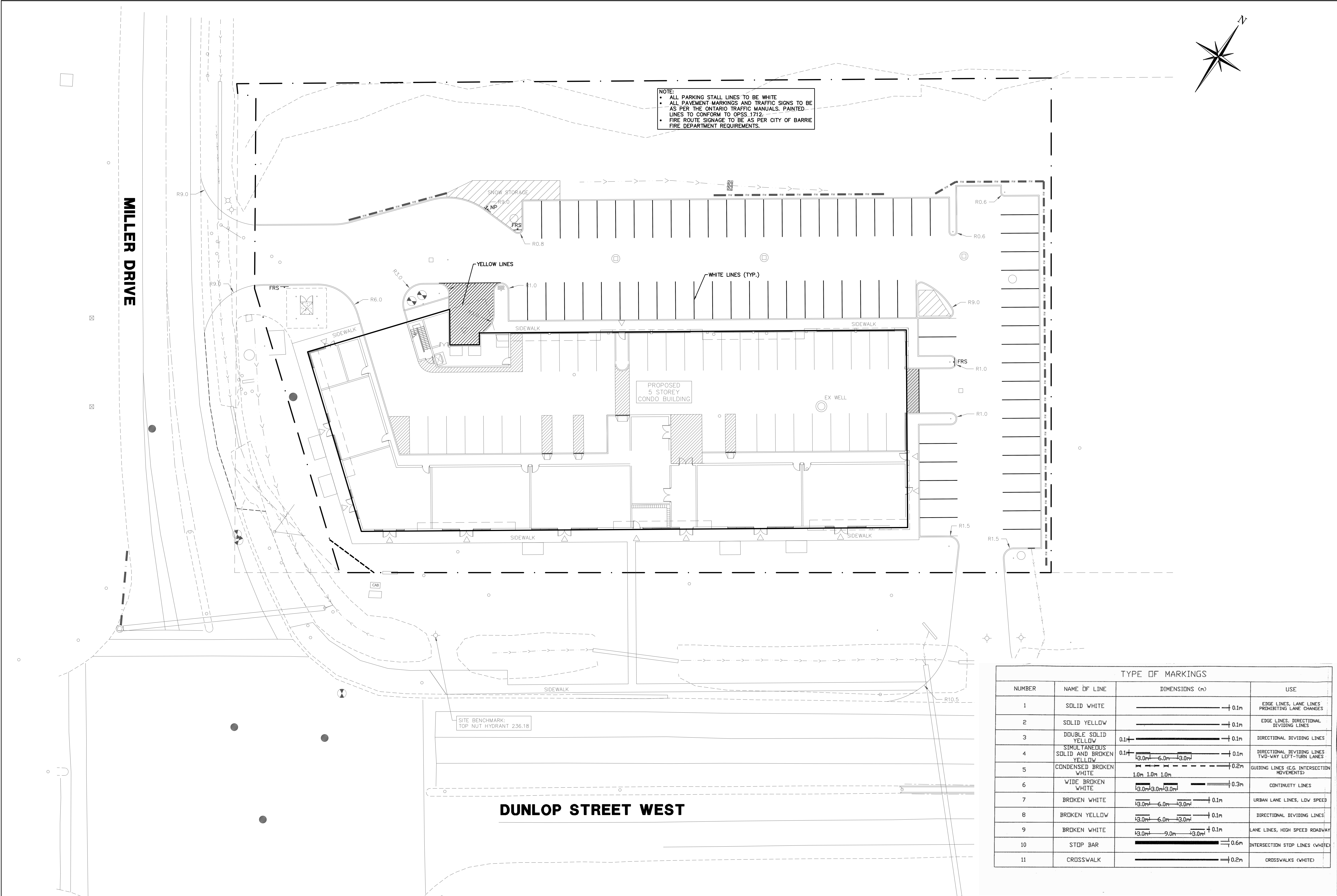
WMI & Associates Limited
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By AB
Scale 1:300

Checked By JR
Project No. 21-710

Drawing No. ESC

Z:\Projects\2021\21-710\CAD\WMI\Issue_No2\21-710_ESC.dwg, ESC, 1:1



Notes:

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Benchmark:

236.18m
TOP NUT OF THE FIRE HYDRANT LOCATED IN THE BOULEVARD AT THE SOUTH WEST CORNER #642 DUNLOP STREET PROPERTY (NORTH EAST CORNER OF DUNLOP STREET & MILLER ROAD INTERSECTION).



No. Issue / Revision

1	1ST SUBMISSION	APR 7, 2022
2	2ND SUBMISSION	MAR 22, 2023

Date

642 DUNLOP STREET WEST
PAVEMENT MARKING &
SIGNAGE PLAN

Client:

2507517 Ontario Inc. c/o
Innovative Planning
Solutions
647 Welham Road, Unit 9
Barrie, Ontario
L4N 9A1



WMI & Associates Ltd.
119 Collier Street
Barrie, Ontario
L4M 1H5
Ph 705-797-2027
www.wmiengineering.ca

Drawn By	AB	Checked By	JR	Drawing No.
Scale	1:250	Project No.	21-710	PMS

GENERAL:

1. CONTRACTOR TO OBTAIN MINISTRY OF LABOUR NOTICE OF PROJECT AND POST ON-SITE PRIOR TO COMMENCING WORK.
2. ALL MEASUREMENTS ARE IN METRES, PIPE SIZES IN MILLIMETRES, UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MUNICIPAL STANDARDS AND THE MOST CURRENT ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS (IN THAT ORDER UNLESS NOTED OTHERWISE). IF A DISCREPANCY ARISES THE MUNICIPAL STANDARDS ARE TO GOVERN.
4. LOCATIONS OF EXISTING SERVICES ARE NOT GUARANTEED. CONTRACTOR TO CONFIRM EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
5. A ROAD OCCUPANCY PERMIT IS REQUIRED FROM THE MUNICIPALITY PRIOR TO THE COMMENCEMENT OF WORK WITHIN ANY MUNICIPAL RIGHT-OF-WAY.
6. UTILITY CROSSINGS SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH OPS & UTILITY REQUIREMENTS.
7. THE CONTRACTOR IS REQUIRED TO NOTIFY THE MUNICIPALITY AND PROJECT ENGINEER A MINIMUM OF 48 HOURS TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSPECTION FOR ALL CIVIL WORKS WITH THE ENGINEER IN ORDER TO PROVIDE SUFFICIENT CERTIFICATION AS REQUIRED BY THE MUNICIPALITY.
8. THE PROJECT ENGINEER IS TO BE NOTIFIED IN WRITING BY THE CONTRACTOR, PRIOR TO THE INSTALLATION OR COMPLETION OF ANY CHANGE OR EXTRA WORK REQUIRED THAT IS NOT INDICATED ON THE CONSTRUCTION DRAWINGS.
9. ALL DIMENSIONS AND ELEVATIONS ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER.
10. TRAFFIC CONTROLS TO CONFORM TO THE LATEST REVISION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND ONTARIO TRAFFIC MANUAL TEMPORARY CONDITIONS (BOOK 7).
11. FILTER FABRIC – TERRAFIX 270R OR APPROVED EQUAL.
12. DEWATERING TO BE CARRIED OUT IN ACCORDANCE WITH OPSS-517 AND 518 TO MAINTAIN ALL TRENCHES IN A DRY CONDITION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEWATERING.
13. ALL DISTURBED AREAS WITHIN EXISTING RIGHT-OF-WAYS ARE TO BE REINSTATED TO THEIR ORIGINAL CONDITION OR BETTER AS DETERMINED BY THE MUNICIPALITY (MIN 200mm TOPSOIL AND No. 1 NURSERY SOD).
14. ALL SEWER SYSTEMS INCLUDING SERVICE CONNECTIONS TO THE SEWER MAINS AS WELL AS CATCHBASINS AND MANHOLES SHALL BE THOROUGHLY FLUSHED AND/OR CLEANED OF DEBRIS AND ALL PIPES SHALL BE TESTED IN ACCORDANCE WITH OPS AND SHALL BE INSPECTED BY AN APPROVED VIDEO CAMERA TESTING COMPANY AND THE ENGINEER SHALL BE PROVIDED A COPY OF APPROPRIATE DATA UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL. ANY SECTIONS OF SEWER OR SERVICE CONNECTIONS THAT FAIL TO MEET THE REQUIREMENTS SHALL BE REPAIRED OR REPLACED AT THE DIRECTION OF THE ENGINEER. ONLY CHEMICAL PRESSURE GROUTING REPAIR TECHNIQUES WILL BE CONSIDERED ACCEPTABLE.
15. ALL EXISTING WELLS ARE TO BE DECOMMISSIONED IN ACCORDANCE WITH MECOP REQUIREMENTS.

ABOVE GROUND WORKS:

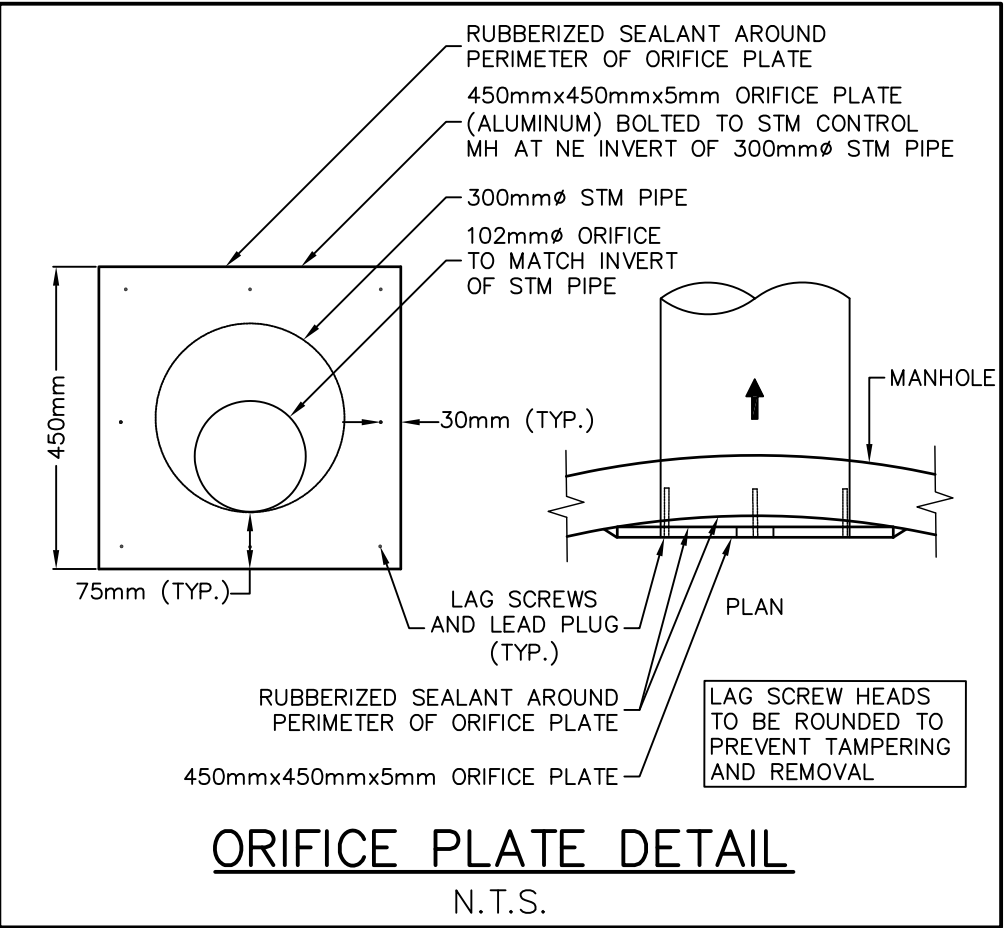
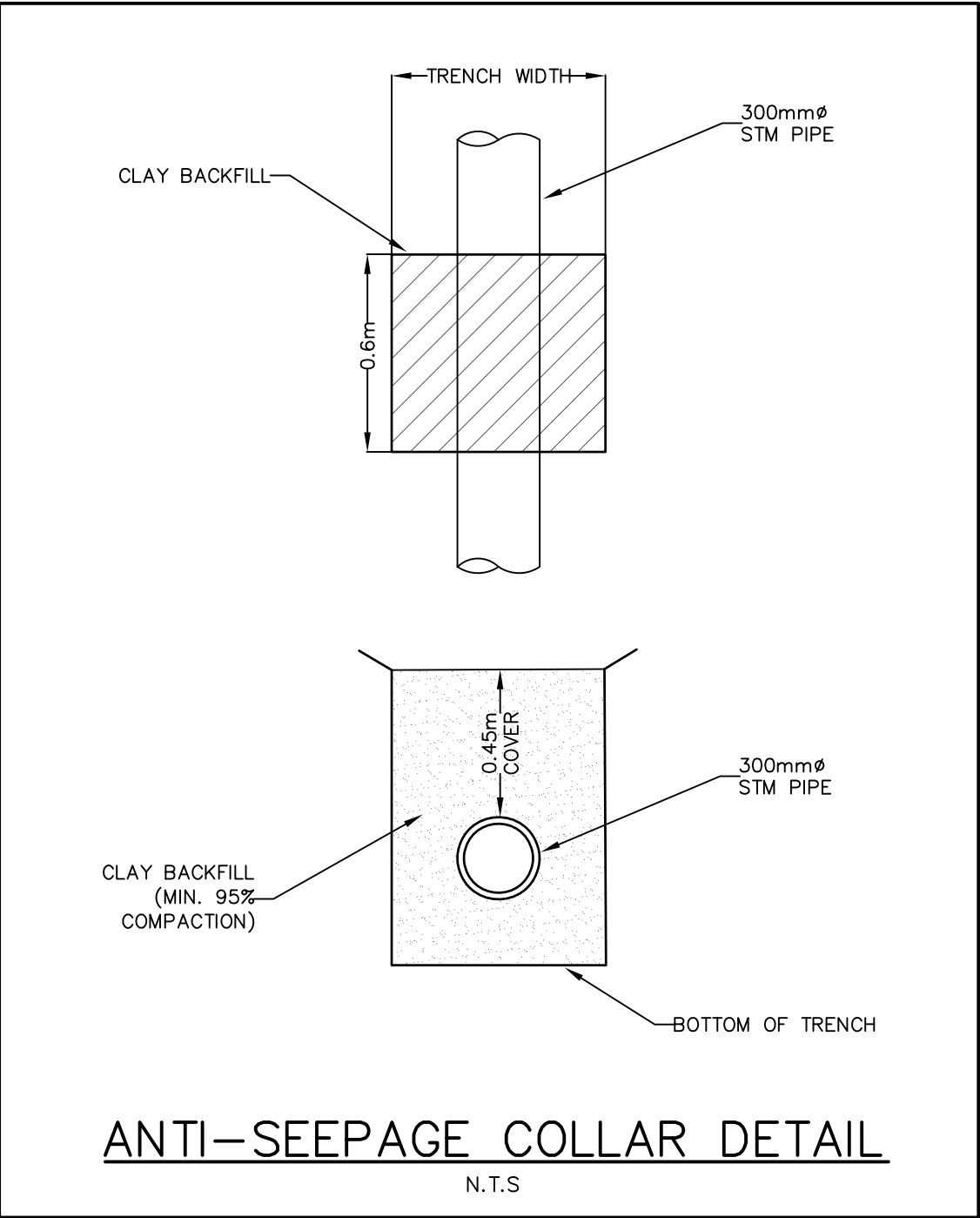
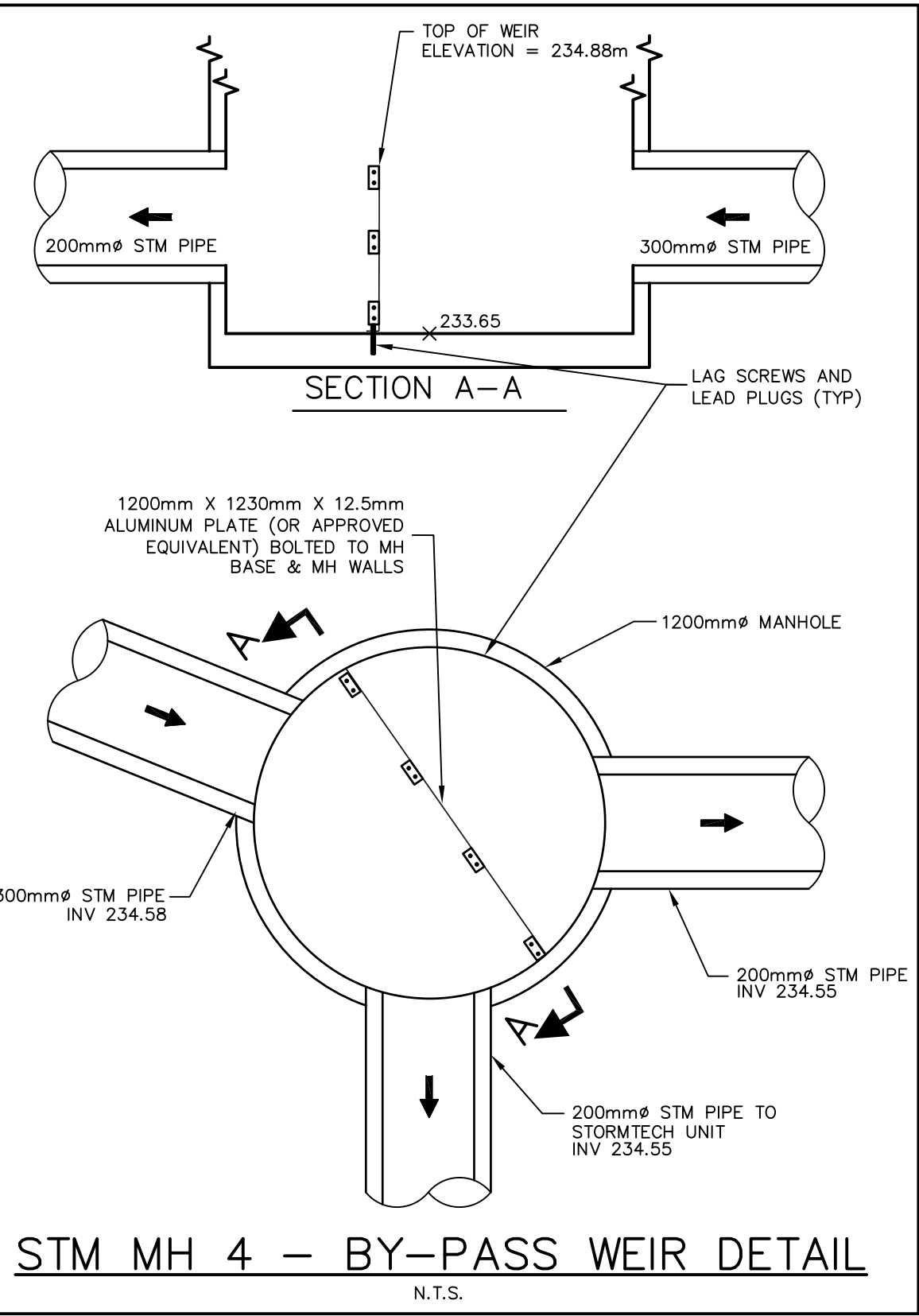
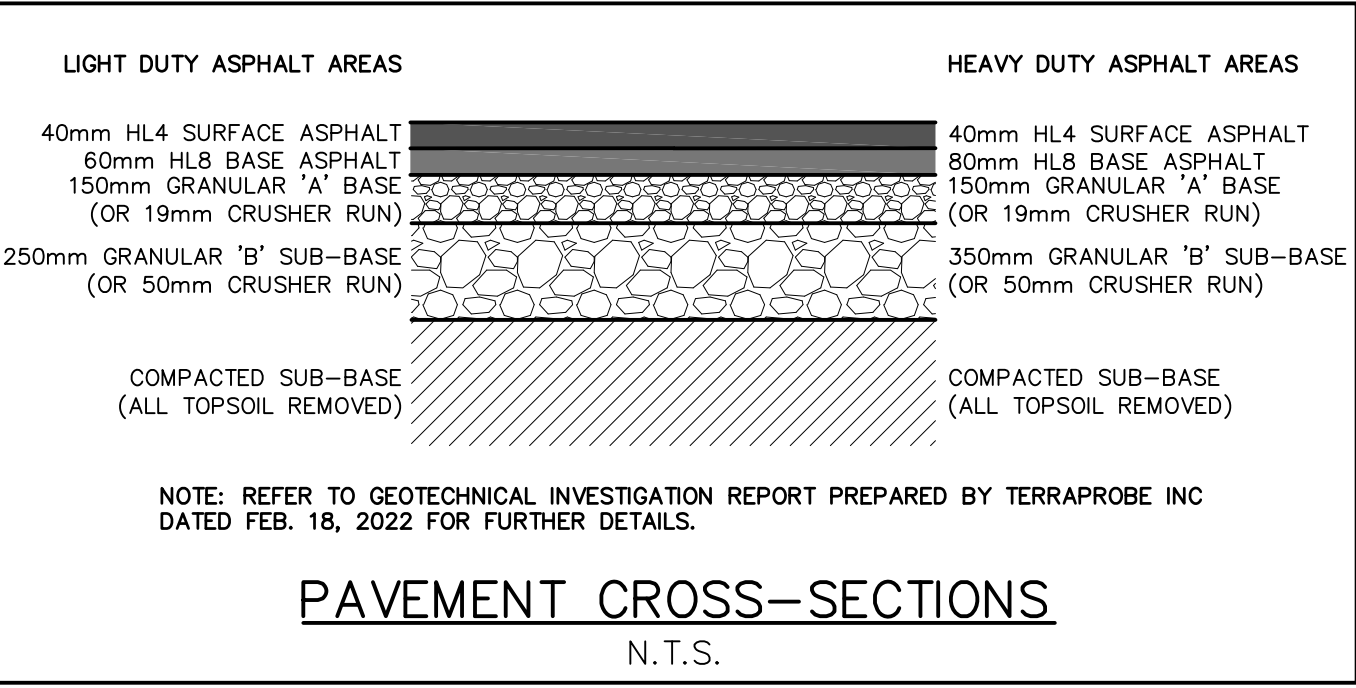
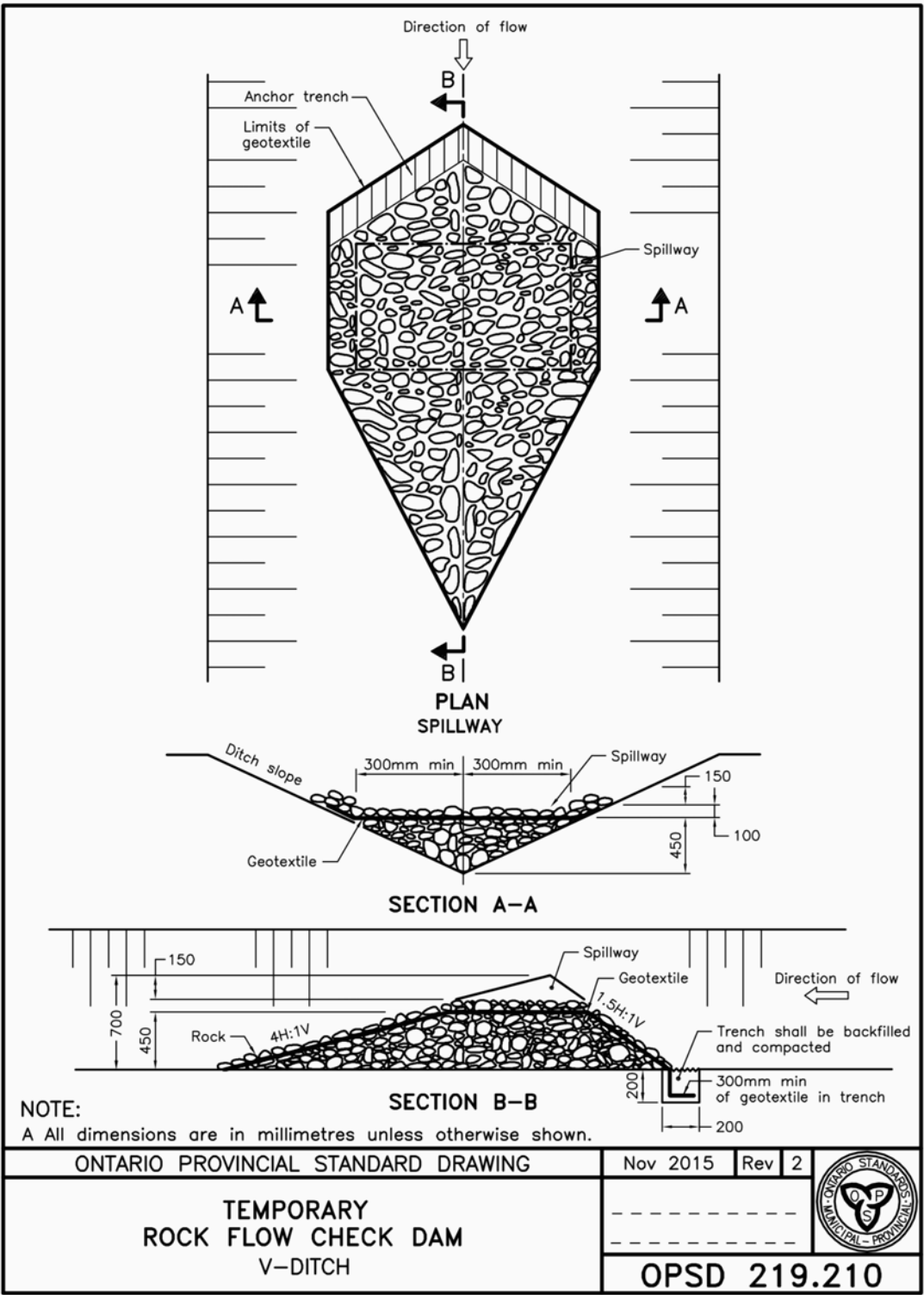
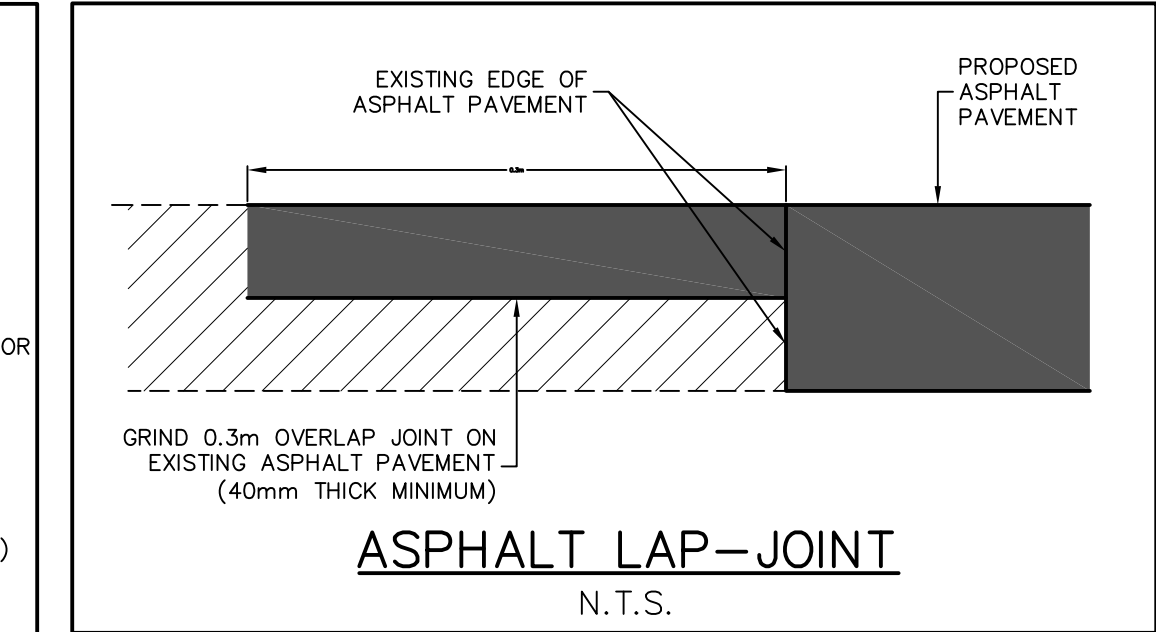
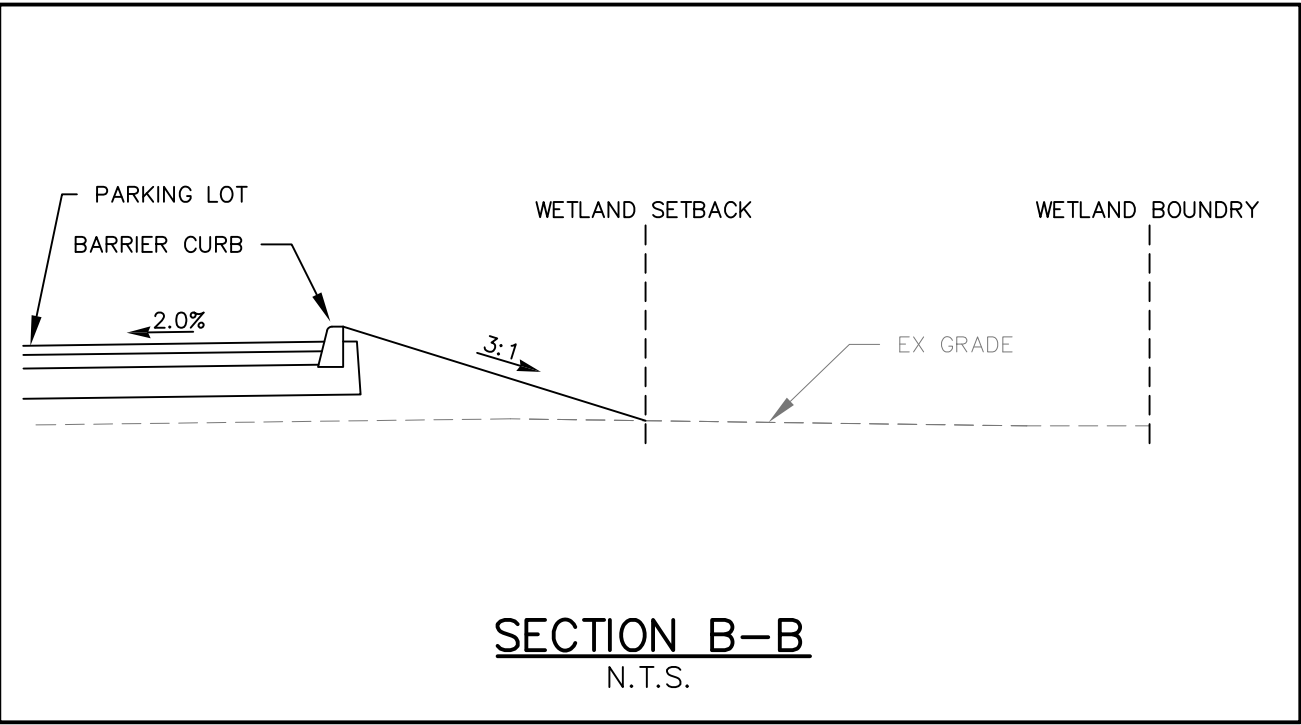
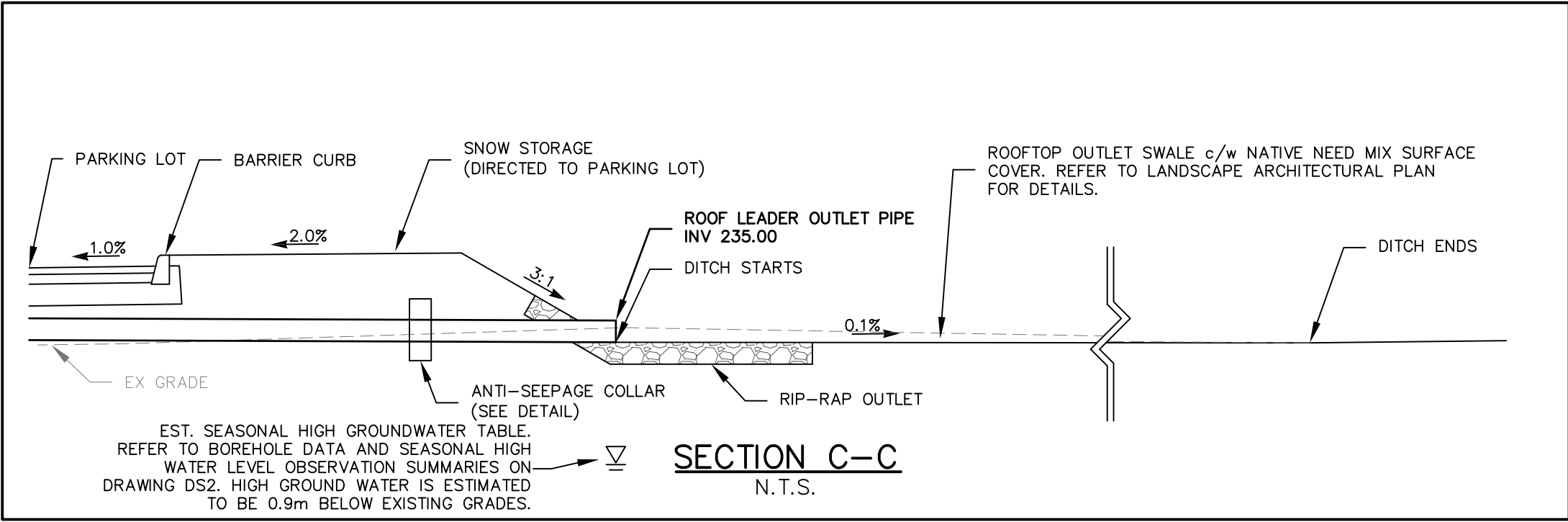
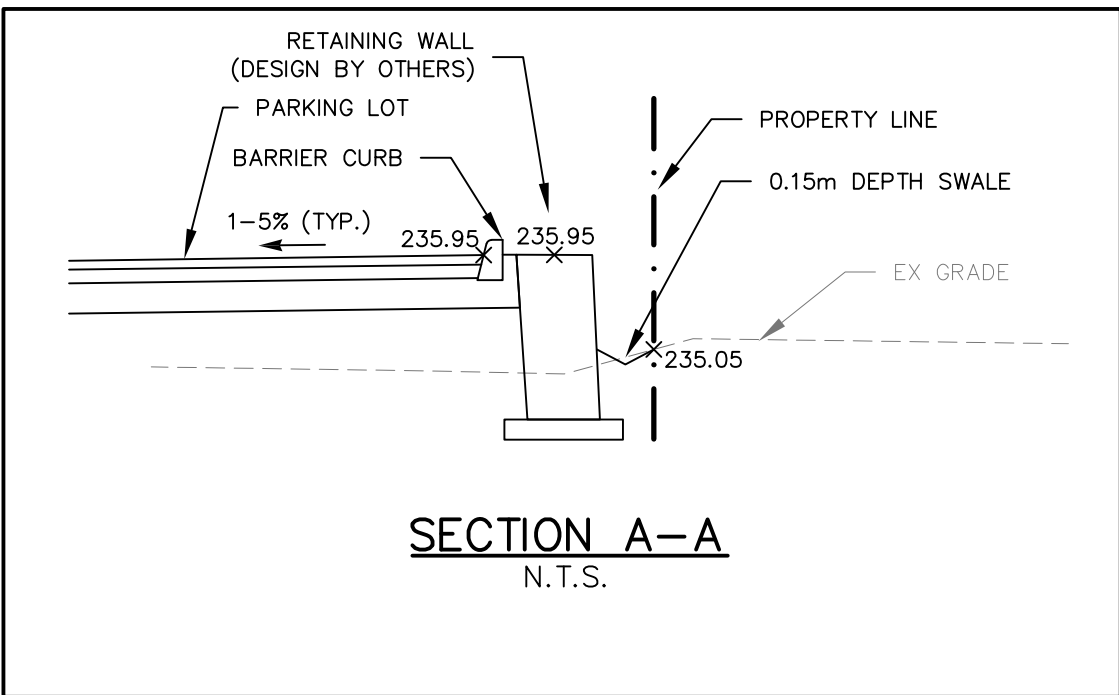
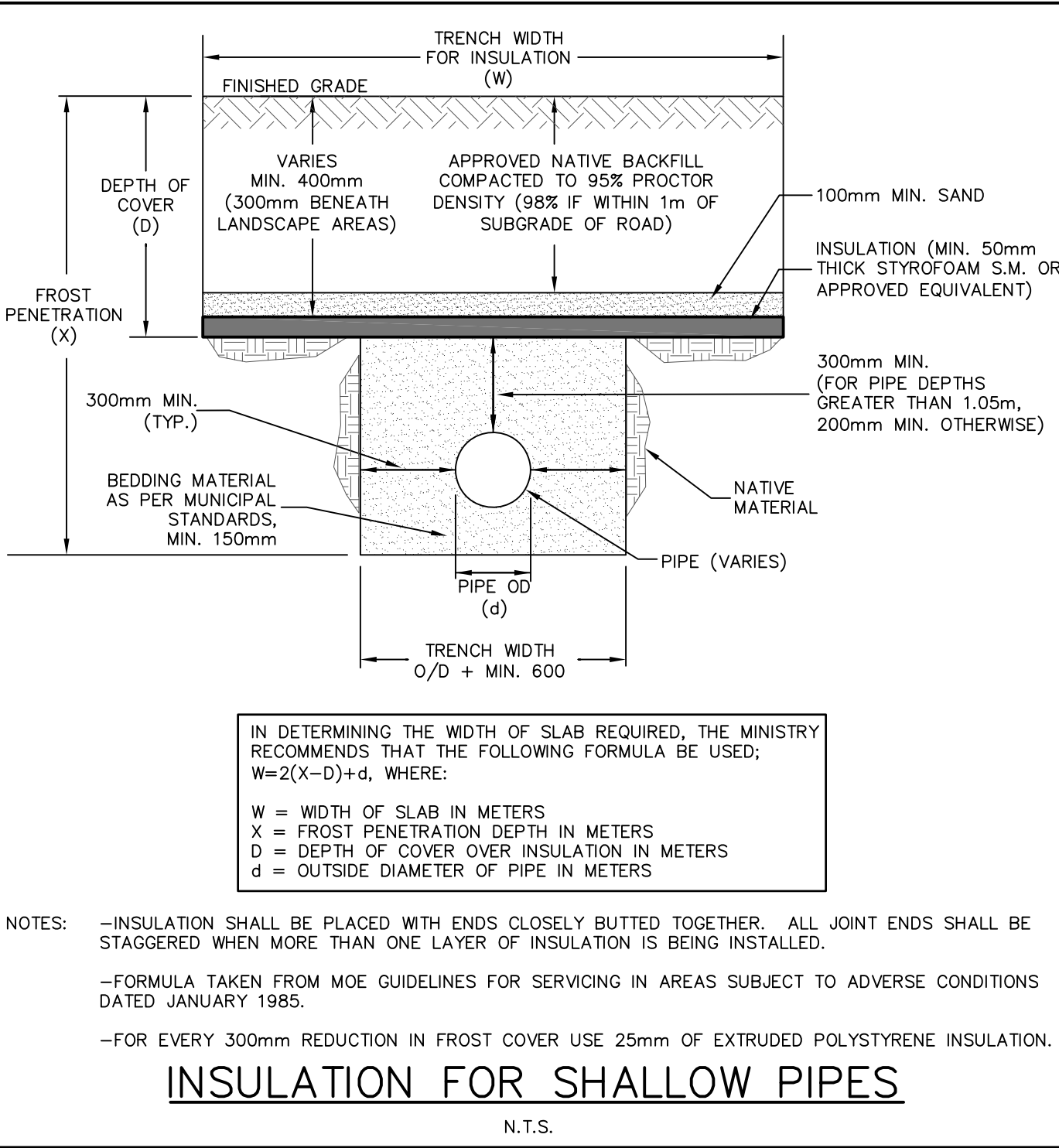
1. SUB-GRADE PREPARATION TO BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATIONS, AND SHALL BE PROOF ROLLED.
 2. ASPHALT SURFACES TO BE CONSTRUCTED AS SHOWN ON THE PAVEMENT CROSS-SECTION DETAIL.
 3. CONCRETE CURBS ON THE PROPERTY TO BE AS PER OPSD 600.110 BARRIER CURB. CURB RECONSTRUCTED IN THE MUNICIPAL RIGHT-OF-WAY ARE TO MATCH THE EXISTING CURB TYPE. CURB TERMINATION AS PER OPSD 608.010.
 4. SIDEWALKS TO BE CONSTRUCTED AS PER OPSD 310.010, 310.020 & 310.030.
 5. A SITE ALTERATION PERMIT IS REQUIRED FROM THE MUNICIPALITY PRIOR TO THE COMMENCEMENT OF EARTHWORKS.
 6. INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBOURING PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.
- STORM SEWER:
1. PIPE MATERIAL TO BE CONCRETE (CONFORMING TO C.S.A. A257.2 AND A257.1) OR PVC CERTIFIED TO C.S.A. STANDARDS 182.2 AND 182.4 UNLESS OTHERWISE NOTED.
 2. CATCHBASIN LEADS – 250mmØ. DOUBLE CATCHBASIN LEADS – 300mmØ UNLESS OTHERWISE NOTED. LEADS SHALL BE INSTALLED WITHOUT BENDS UNLESS APPROVED BY THE ENGINEER.
 3. MODULAR ADJUSTMENT UNITS FOR MANHOLES TO BE PROVIDED IN ACCORDANCE WITH OPSD 704.010. MAXIMUM THICKNESS OF ADJUSTMENTS UNITS IS 300mm.
 4. STORM SEWER BEDDING AS PER OPSD 802.010 (FLEXIBLE PIPE) OR 802.030 (RIGID PIPE).
 5. MANHOLES ARE TO BE IN ACCORDANCE WITH OPSD STANDARDS. MANHOLES TO BE BENCHED UNLESS OTHERWISE STATED
 6. CATCHBASINS & CATCHBASIN MANHOLES TO HAVE 0.9m DEPTH SUMPS.
 7. OIL/GRIT SEPARATOR TO BE FIRST DEFENSE FD-4HC OR APPROVED EQUIVALENT.
 8. MAINTENANCE HOLE FRAMES AS PER OPSD 401.010.
 9. STORM SEWER COVER LESS THAN 1.5m TO PIPE OBVERT WILL REQUIRE SHALLOW PIPE INSULATION FOR FROST PROTECTION (SEE DETAIL).
 10. ALL STORM MANHOLES SHALL BE COMPLETED WITH FROST STRAPS AS PER OPSD 701.100.
 11. ALL ROOF DRAINAGE IS TO BE DIRECTED TO THE DESIGNATED ROOF LEADER OUTLET.
 12. PROVIDE SUBGRADE LEVEL SUBDRAINS INTO OGS AS PER THE SUBGRADE CONNECTION DETAIL ON THIS SHEET.

SANITARY SEWER:

1. ALL SANITARY MANHOLES TO BE 1200mme AS PER OPSD 701.010 WITH BENCHING ACCORDING TO OPSD 701.021.
2. ALL SANITARY SEWERS TO BE PVC SDR-35 (OR APPROVED EQUIVALENT). ALL SANITARY SERVICES TO BE PVC SDR-28. BEDDING TO BE IN ACCORDANCE WITH OPSD 1006.020 AND 802.010.
3. PROVIDE SANITARY SEWER CLEANOUTS AS REQUIRED BY THE ONTARIO BUILDING CODE.
4. ALL SANITARY MANHOLES SHALL BE COMPLETED WITH FROST STRAPS PER OPSD 701.100.
5. MODULAR ADJUSTMENT UNITS FOR MANHOLES TO BE PROVIDED IN ACCORDANCE WITH OPSD 704.010. MAXIMUM THICKNESS OF ADJUSTMENTS UNITS IS 300mm.
6. SERVICE STUBS FOR BUILDINGS ARE TO BE 1.5m OFFSET FROM THE OUTSIDE BUILDING WALL AND CAPPED WITH APPROVED MANUFACTURED FITTING UNLESS OTHERWISE NOTED.
7. WATER TIGHT COVERS TO BE PROVIDED FOR SANITARY MANHOLES LOCATED IN PONDING AREAS.
8. DROP STRUCTURE AS PER OPSD 1003.030

WATERMAINS:

1. WATERMAIN PIPES, FITTINGS, HYDRANTS, SERVICE PIPE TYPES & MANUFACTURERS ARE TO BE IN ACCORDANCE WITH MUNICPAL STANDARDS.
2. TRACER WIRE (#12 STRANDED COPPER WIRE WITH OUTER PLASTIC COATING) SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF PVC WATERMAIN, SECURED TO FITTINGS AT INTERVALS NOT EXCEEDING 3m, AND BROUGHT UP AND LOOPED AT EACH VALVE BOX, CHAMBER AND HYDRANT SUCH THAT CONTINUITY IS MAINTAINED.
3. WATERMAIN BEDDING AS PER OPSD 802.010 (FLEXIBLE PIPE) OR 802.030 (RIGID PIPE).
4. SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH OPSD 1104.010 AND 1104.020.
5. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE WATERMAIN / WATER SERVICES AND THE SANITARY / STORM SEWER IS TO BE 2.5m.
6. A MINIMUM OF 0.5m VERTICAL CLEARANCE BETWEEN THE WATERMAIN / WATER SERVICES AND ALL UTILITIES SHALL BE MAINTAINED, WHILE MAINTAINING A MINIMUM DEPTH OF COVER AT ALL TIMES. WATERMAIN & WATER SERVICE TO BE INSULATED WITH HI-40 INSULATION AND/OR CONCRETE ENCASED AT THE ENGINEER'S DISCRETION WHERE 0.5m SEPARATION CANNOT BE MAINTAINED.
7. WATERMAIN / WATER SERVICE COVER LESS THAN 1.7m TO PIPE OBVERT WILL REQUIRE FROST PROTECTION INSULATION (SEE DETAIL).
8. VALVES SHALL BE INSTALLED IN ACCORDANCE WITH OPSD STANDARDS.
9. CONTRACTOR IS RESPONSIBLE FOR ALL TIE-INS INCLUDING MATERIALS, EXCAVATION AND BACKFILL AS REQUIRED TO FACILITATE THE SWABBING AND TESTING OF THE NEW WATERMAINS UNDER THE SUPERVISION OF THE ENGINEER.
10. FIRE HYDRANTS AND VALVES SHALL ONLY BE OPERATED BY MUNICIPAL WATER DEPARTMENT STAFF.
11. THE CONTRACTOR SHALL PRESSURE TEST, CHLORINATE AND FLUSH THE NEW WATERMAINS. ANY PRESSURE TESTING, CHLORINATING AND FLUSHING BEYOND THE INITIAL PROCEDURE WILL BE THE CONTRACTORS' RESPONSIBILITY. TESTING PROCEDURES TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS OR AS DIRECTED BY MUNICIPAL WATER DEPARTMENT STAFF.



DRAWING REFERENCES:

1. LEGAL INFORMATION PREPARED BY OMARI MWINYI SURVEYING LTD. (DATED NOV. 15, 2016).
2. TOPOGRAPHIC INFORMATION PREPARED BY DEMTECH SERVICES. (DATED JAN. 17, 2022).
3. DUNLOP STREET WEST & MILLER DRIVE AS-BUILT SERVING INFORMATION OBTAINED FROM CITY OF BARRIE (PREPARED BY RJ BURNSIDE) PLAN & PROFILE DRAWINGS No. C-002, C-003 & C-008 (DATED NOV. 30, 2018).
4. SITE PLAN PREPARED BY N ARCHITECTURE INC (DATED FEB. 24, 2022)

CAUTION
CONTRACTOR TO DETERMINE
LOCATION OF EXISTING UTILITIES
PRIOR TO CONSTRUCTION.



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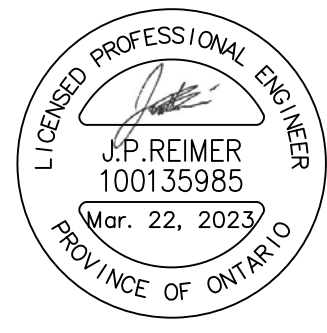
Drawn By	AB	Checked By	JR	Drawing No.
Scale	NTS	Project No.	21-710	DS1

Notes:

1. Unless noted otherwise, the measurements and distances shown on this drawing are shown in meters.
2. Do not scale drawings.
3. It is the contractor's responsibility to verify all dimensions, levels and datums on site and report any discrepancies or omissions to WMI & Associates Ltd. prior to construction.
4. This drawing is to be read and understood in conjunction with all other relevant documents applicable to this project.
5. This drawing is the exclusive property of WMI & Associates Ltd. and the reproduction of any part of this document without prior written consent is strictly prohibited.

Benchmark:

236.18m
TOP NUT OF THE FIRE HYDRANT LOCATED IN THE BOULEVARD AT THE SOUTH WEST CORNER #642 DUNLOP STREET PROPERTY (NORTH EAST CORNER OF DUNLOP STREET & MILLER ROAD INTERSECTION).



No.	Issue / Revision	Date
1	1ST SUBMISSION	APR 7, 2022
2	2ND SUBMISSION	MAR 22, 2023

642 DUNLOP STREET WEST

DETAILS SHEET 1

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