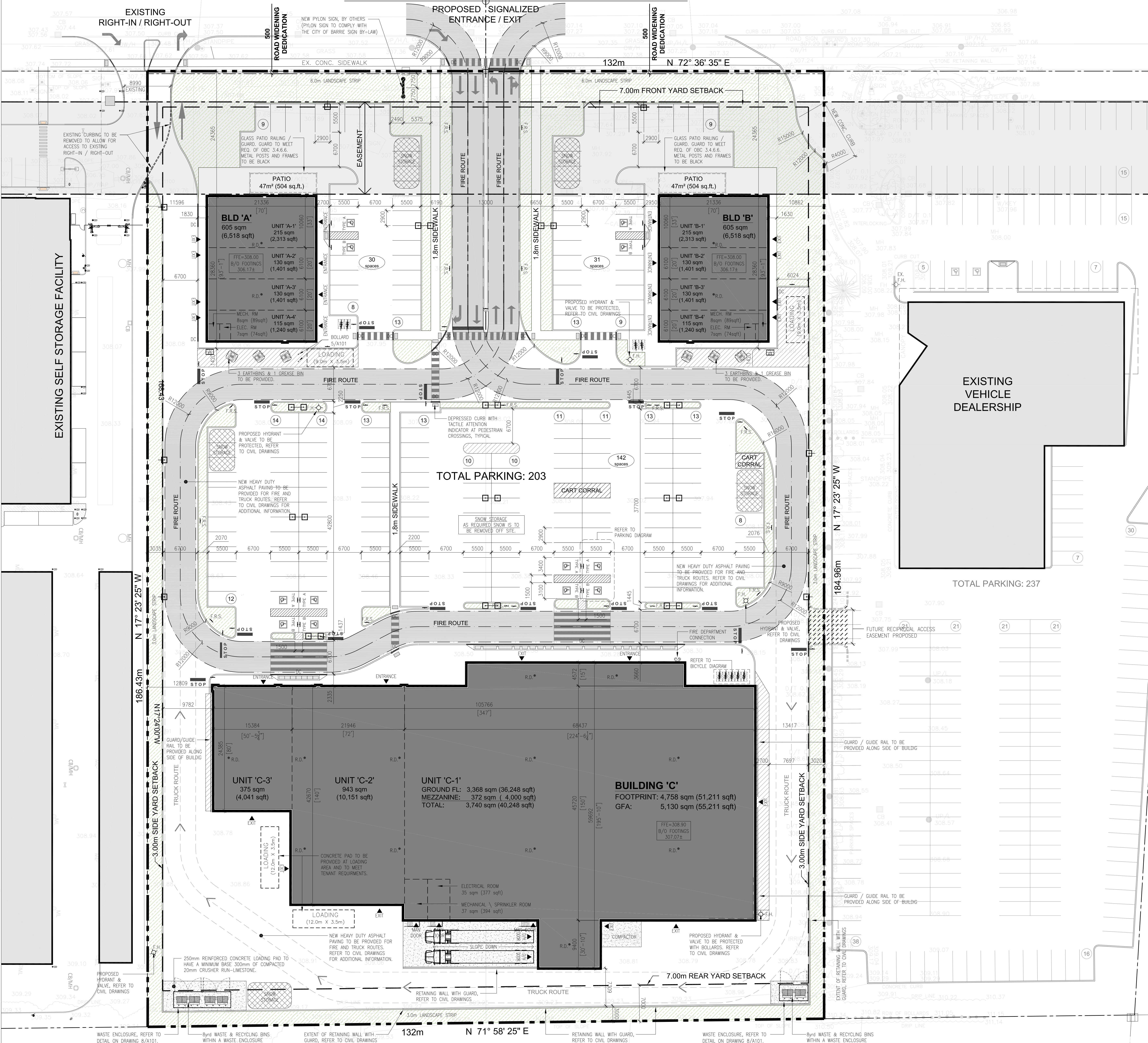


SITE PLAN INFORMATION IS TAKEN FROM PLAN OF SURVEY
PREPARED BY SCHAEFER DZALOV BENNETT LTD.
DATED SEPTEMBER 14, 2021
PART OF BLOCK 41
REGISTERED PLAN S1M-882
CITY OF BARRIE
COUNTY OF SIMCOE

MAPLEVIEW DRIVE WEST

252m ± TO ESSA RD SIGNALS 217m ± TO HOLLYHOLME FARM RD SIGNALS



LI ZONING REQUIREMENTS

ZONING CATEGORY: LI (LIGHT INDUSTRIAL)

REGULATIONS	REQUIRED	PROVIDED
MINIMUM LOT AREA	700 m ²	24,505 m ²
MAXIMUM BUILDING FOOTPRINT	-	5,968 m ²
MINIMUM LOT FRONTAGE	15.00 m	132.0 m
MINIMUM FRONT YARD	7.00 m	24.40 m
MINIMUM SIDE YARD (15m to adjacent Residential Zone) (5.0m to adjacent street) (5.0m interior side yard)	3.00 m	6.73 m
MINIMUM REAR YARD (15m to adjacent Residential Zone) (5.0m to adjacent street)	7.00 m	7.00 m
MAXIMUM LOT COVERAGE	60%	24.35%
MAXIMUM BUILDING HEIGHT	14.0 m	14.0 m
MINIMUM UNOCCUPIED OPEN SPACE	-	14.01% (3,432 m ²)
GARBAGE, REFUSE STORAGE AND COMPOSTERS	-	EXTERNALLY HANDLED

GROSS FLOOR AREA	PROVIDED
RETAIL (BLDG "A") (INCLUDING MECHANICAL & ELECTRICAL ROOMS)	605 sqm (6,518 sqft)
RETAIL (BLDG "B") (INCLUDING MECHANICAL & ELECTRICAL ROOMS)	605 sqm (6,518 sqft)
RETAIL (BLDG "C") - GROUND FLOOR AREA - MEZZANINE AREA TOTAL GFA (INCLUDING MECHANICAL & ELECTRICAL ROOMS)	4,758 sqm (51,211 sqft) 372 sqm (4,000 sqft) 5,130 sqm (55,211 sqft)
TOTAL GROSS FLOOR AREA	6,340 sqm (68,247 sqft)

OFF STREET PARKING	REQUIRED	PROVIDED
REGULATIONS		
RETAIL (BLDG "A") (1 SPACE PER 300 GFA)	590 sqm / 30 spaces = 20 SPACES REQ.	21 SPACES PROVIDED
RETAIL (BLDG "B") (1 SPACE PER 300 GFA)	590 sqm / 30 spaces = 20 SPACES REQ.	21 SPACES PROVIDED
RETAIL (BLDG "C") (1 SPACE PER 300 GFA)	4,886 sqm / 30 spaces = 156 SPACES REQ.	161 SPACES PROVIDED
TOTAL PARKING SPACES	196 SPACES REQ.	203 SPACES PROVIDED (15.8% OVER REQ.)

NOTE: MEZZANINES, MECHANICAL / SPRINKLER & ELECTRICAL ROOMS EXCLUDED FROM PARKING CALCULATIONS / STATISTICS		
PARKING SPACE SIZE	2.70m X 5.50m	2.90m X 5.50m
MINIMUM AISLE WIDTH	6.40 m	6.7m
ACCESSIBLE PARKING (TYPE A)	3.40m X 5.50m (Plus access aisle)	3.40m X 5.50m (Plus access aisle)
ACCESSIBLE PARKING (TYPE B)	3.10m X 5.50m (Plus access aisle)	3.10m X 5.50m (Plus access aisle)
ACCESSIBLE PARKING REQUIRED (See 108 spaces - 1 space per 300 of required parking spaces)	1 PLUS 3% OF 196 = 7 SPACES (Based on spaces provided)	12 SPACES
NO. OF BICYCLE PARKING SPACES	10 SPACES (VEHICLE PARKING)	18 SPACES
LOADING SPACES	3,000-7,000m ² GFA = 2 SPACES	6 SPACES

SIGN LEGEND



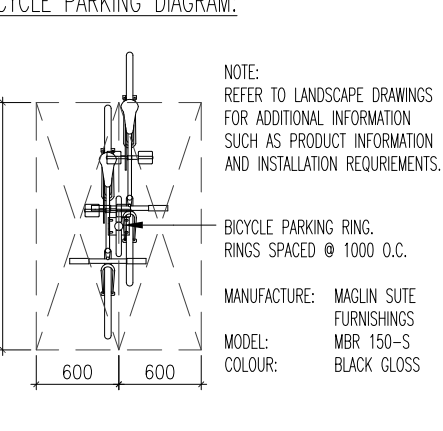
FIRE ROUTE SIGN NOTES

FIRE ROUTE TO BE SIGNED IN ACCORDANCE WITH FIRE ROUTE BY-LAW 89-89
SIGN SHALL BE OF A SIZE NOT LESS THAN 30cm IN WIDTH AND 45cm IN LENGTH
SIGN MUST BE PLACED:
AT INTERVALS NOT GREATER THAN 30m ALONG THE DESIGNATED ROUTE
SHALL BE INSTALLED NOT LESS THAN 2.0m AND NOT MORE THAN 3.0m ABOVE THE LEVEL INDICATOR

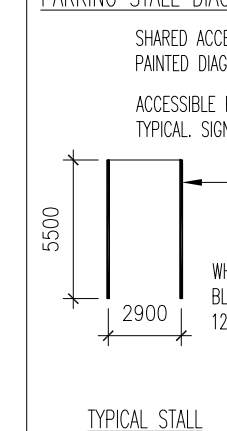
HEAVY DUTY PAVING

FIRE / TRUCK ROUTES & DRIVEWAYS
50mm H-3 SURFACE ASPHALT
75mm H-3 BASE ASPHALT
150mm CRUSHER RUN 20mm GRANULAR
300mm CRUSHER RUN 50mm GRANULAR SUB-GRADE

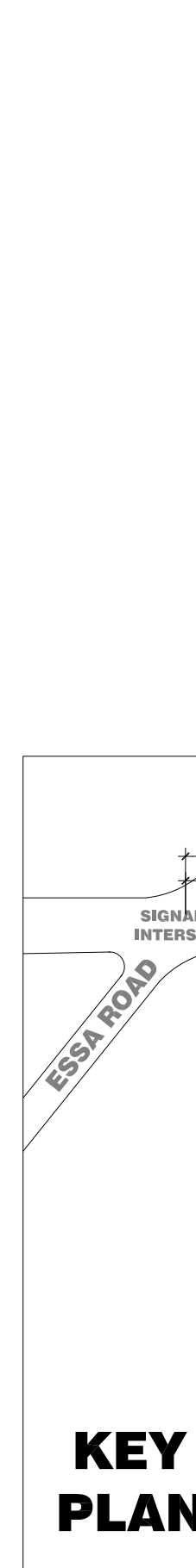
BIKE PARKING DIAGRAM



PARKING STALL DIAGRAM



KEY PLAN



LEGEND

- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- PROPERTY LINE
- SETBACK LINE
- DEMOLITION CURBS / PARKING
- NEW CURBS
- DEPRESSED CURBS (DC)
- LANDSCAPED AREA
- FUTURE RECIPROCAL ACCESS EASEMENT PROPOSED
- EASEMENT
- FIRE ROUTE
- TRUCK ROUTE
- PAINTED LINES
- SNOW STORAGE
- RETAINING WALL W/ GUARD. REFER TO CIVIL DRAWINGS
- HYDRANT & VALVE, REFER TO CIVIL DRAWINGS
- R.D. ROOF DRAIN
- FIRE ROUTE SIGN
- STOP SIGN
- LAMP POLE, REFER TO LANDSCAPE DRAWINGS
- LAMP POLE, REFER TO LANDSCAPE DRAWINGS

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE: 2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

REVISIONS

8 REVISIONS TO PARKING & WALKWAY AT BLD C 2024-03-05

7 REVISIONS TO PARKING & PEDESTRIAN PATH 2024-03-01

6 REVISIONS TO PARKING & ISLANDS 2024-02-15

5 REVISIONS TO PARKING & ISLANDS 2024-02-09

4 REVISIONS TO RIGHT-IN / RIGHT-OUT 2023-11-10

3 REVISIONS TO SITE PLAN LAYOUT 2023-09-21

2 REVISIONS TO SITE PLAN LAYOUT 2023-09-18

1 REVISIONS TO MAIN DRIVE ENTRANCE 2023-05-12

No. DESCRIPTION DATE

REVISIONS

12 RE-ISSUED FOR SPA 2024-03-07

11 RE-ISSUED FOR SPA 2023-11-30

10 ISSUED FOR REVIEW AND COORDINATION 2023-10-17

9 ISSUED FOR SPA 2023-03-06

8 ISSUED FOR CLIENT REVIEW 2023-02-17

7 ISSUED FOR REVIEW AND COORDINATION 2023-02-07

6 ISSUED FOR PRELIMINARY REVIEW 2022-12-21

5 ISSUED FOR PRELIMINARY REVIEW 2022-11-15

4 ISSUED FOR PRELIMINARY REVIEW 2022-11-14

3 ISSUED FOR PRELIMINARY REVIEW 2022-11-10

2 ISSUED FOR PRELIMINARY REVIEW 2022-10-26

1 ISSUED FOR PRELIMINARY REVIEW 2022-09-08

No. DESCRIPTION DATE

ISSUED FOR

CU

CUSIMANO ARCHITECT

185 BRIDGLAND AVENUE, SUITE 107, TORONTO, ONTARIO M6A 1Y7

T: (416) 783-5193 F: (416) 783-5100

CLIENT:

plaza REIT

110 SHEPPARD AVENUE EAST, SUITE 640, TORONTO, ONTARIO M2N 6Y8

T: (416) 361-0882

PROJECT:

PLAZA REDEVELOPMENT

MAIN STREET BARRIE

315 & 323 MAPLEVIEW DRIVE WEST

BARRIE, ONTARIO

DATE: DEPT 2022

DRAWN BY: MR

CHECKED BY: DLG

PROPOSED SITE PLAN

DEMOLITION SITE PLAN

SITE STATISTICS

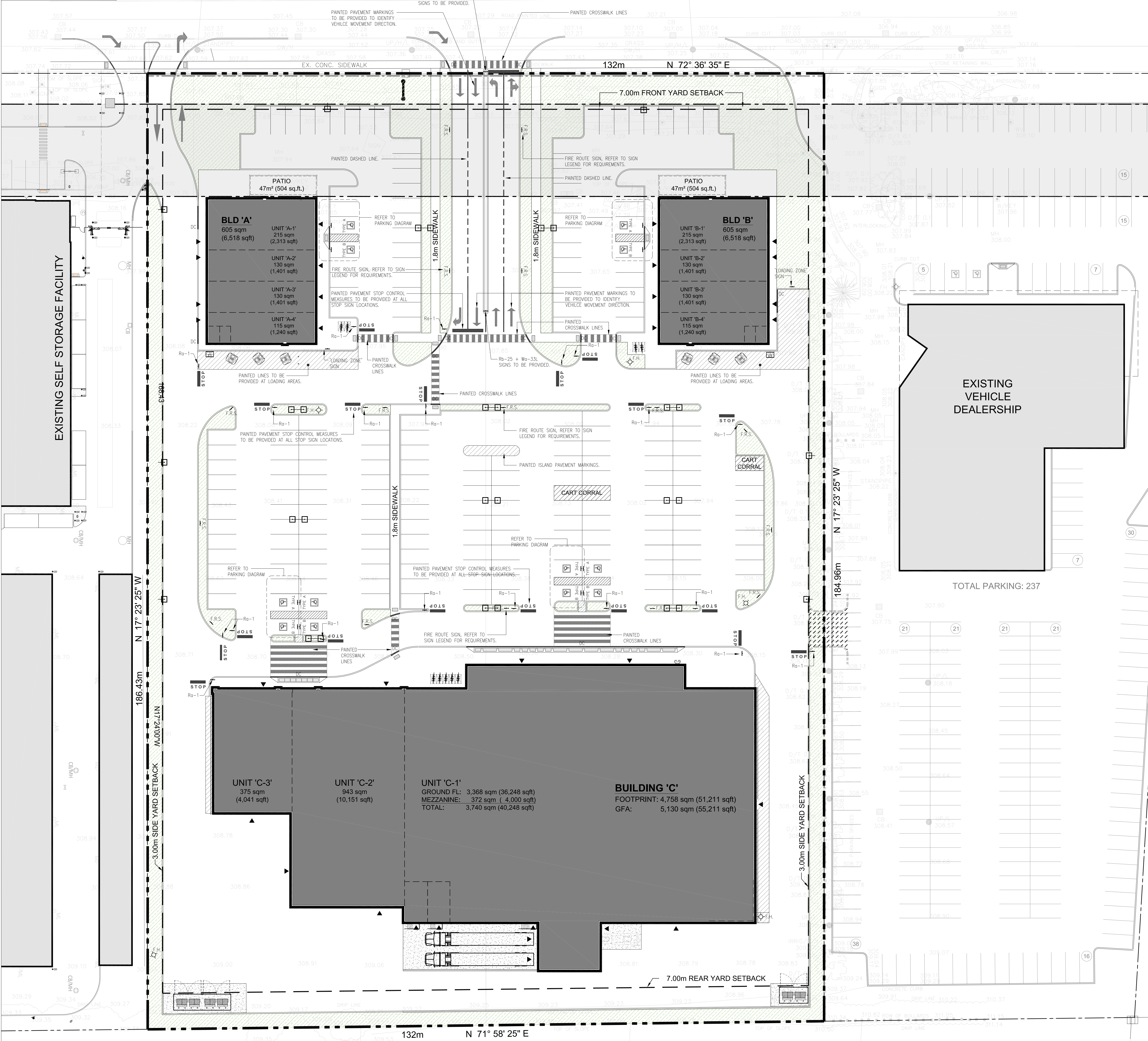
SCALE: AS NOTED

DRAWING No. A100

PROJ. NO. 2022-42

SITE PLAN INFORMATION IS TAKEN FROM PLAN OF SURVEY
PREPARED BY SCHAEFER OZALSON BENNETT LTD.
DATED SEPTEMBER 14, 2021
PART OF BLOCK 41
REGISTERED PLAN S1M-882
CITY OF BARRE
COUNTY OF SIMCOE

MAPLEVIEW DRIVE WEST



NOTES

EXISTING SIGN LOCATIONS TO BE CONFIRMED IN FIELD. ONLY FIGURED DIMENSIONS ARE TO BE REFERENCED. ALL DIMENSIONS TO BE CONFIRMED IN FIELD.

ALL SIGN ARE SHOWN IN APPROXIMATE LOCATIONS AND TO BE DETERMINED ON SITE. SIGNS MUST BE VISIBLE TO DRIVER NOT OBSTRUCTED BY LANDSCAPE.

ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS MUST COMPLY WITH OTM.

SIGNAGE POSITION NOTES

SIGNAGE SHOULD CONFORM TO ONTARIO TRAFFIC MANUAL STANDARDS WHERE POSSIBLE.

HORIZONTAL MOUNTING OFFSET

THE BASIC GUIDELINES FOR HORIZONTAL MOUNTING OFFSETS ARE AS FOLLOWS:

URBAN OR RESIDENTIAL AREAS WITH RAISED CURBS:
300mm TO 2000mm FROM THE CURB LINE.

VERTICAL MOUNTING OFFSET

THE BASIC GUIDELINES FOR VERTICAL MOUNTING OFFSETS OF GROUND-MOUNTED SIGNS INCLUDE THE FOLLOWING:

AREAS WITH NO PEDESTRIANS AND WITHOUT RAISED CURBS:
1500mm TO 2500mm FROM CURB LINE TO BOTTOM OF PRINCIPAL SIGN, REGARDLESS OF WHETHER THERE IS A TAB SIGN MOUNTED BENEATH PRINCIPAL SIGN.

AREAS WITH NO PEDESTRIANS AND WITH RAISED CURBS:
1500mm TO 2500mm FROM CURB LINE TO BOTTOM OF PRINCIPAL SIGN, REGARDLESS OF WHETHER THERE IS A TAB SIGN MOUNTED BENEATH PRINCIPAL SIGN.

AREAS WITH PEDESTRIANS:
2000mm TO 3000mm FROM GROUND ELEVATION AT THE BASE OF THE SIGN POST TO THE BOTTOM OF THE OVERALL SIGN, INCLUDING TAB IF PRESENT.

HORIZONTAL & VERTICAL ANGLING OF SIGN FACE

GENERALLY, SIGNS MUST BE MOUNTED AT APPROXIMATELY RIGHT ANGLES TO THE DIRECTION OF TRAFFIC, FACING THE TRAFFIC THAT THEY ARE INTENDED TO ADDRESS. EXCEPTIONS TO THIS RULE INCLUDE REGULATORY PARKING CONTROL SIGNS. THESE SIGNS SHOULD BE PLACED AT AN ANGLE OF 30 TO 45 DEGREES TO THE FLOW OF TRAFFIC, AND SHOULD ALWAYS BE VISIBLE TO APPROACHING TRAFFIC.

SIGN MOUNTING

MOUNTING TO BE DETERMINED IN FIELD.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING SERVICES AND UTILITIES IN WORKING AREA PRIOR TO CONSTRUCTION AND SHALL PROTECT THESE UTILITIES AND SERVICES TO THE SATISFACTION OF THE CONCERNED UTILITY COMPANIES AND OWNER. DAMAGES BY THE CONTRACTOR SHALL BE RESTORED TO THE SATISFACTION OF THE CONCERNED UTILITY COMPANY AT NO EXPENSE TO THE OWNER.

PAVEMENT MARKING NOTES

PROVINCIAL LEGISLATION PROVIDES THAT MARKINGS MAY BE PLACED BY THE ROAD AUTHORITY HAVING JURISDICTION FOR THE PURPOSE OF REGULATING, WARNING OR GUIDING TRAFFIC (SECTION 182 OF THE HIGHWAY TRAFFIC ACT (R.S.O. 1990)).

PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE PAINTED WHITE AND CONFORM TO OPS5 1712.

ALL STOP BARS TO BE 600mm WIDE SOLID WHITE.

ALL CROSSWALK BARS TO BE 600mm WIDE SOLID YELLOW TRAFFIC

PAVEMENT AND CURB MARKINGS, BEING EXCLUSIVELY WITHIN THE BOUNDARIES OF PUBLIC HIGHWAYS, SHOULD ONLY BE PLACED BY THE ROAD AUTHORITY. Delineators and OBJECT MARKERS THAT ARE WITHIN THE HIGHWAY RIGHT-OF-WAY ARE SUBJECT TO THE SAME JURISDICTIONAL REGULATIONS.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE PAINTED WHITE AND CONFORM TO OPS5 1712.

ALL CROSSWALK BARS TO BE 600mm WIDE SOLID YELLOW TRAFFIC

PAVEMENT AND CURB MARKINGS, BEING EXCLUSIVELY WITHIN THE BOUNDARIES OF PUBLIC HIGHWAYS, SHOULD ONLY BE PLACED BY THE ROAD AUTHORITY. Delineators and OBJECT MARKERS THAT ARE WITHIN THE HIGHWAY RIGHT-OF-WAY ARE SUBJECT TO THE SAME JURISDICTIONAL REGULATIONS.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

MARKINGS AND DELINEATION SERVE AN ADVISORY OR WARNING FUNCTION, AND DO NOT HAVE LEGAL FORCE OF THEIR OWN. THEY MAY BE USED TO COMPLEMENT OTHER TRAFFIC CONTROL DEVICES ENFORCEABLE UNDER THE HTA, ITS REGULATIONS, OR A MUNICIPAL BY-LAW, BUT THEIR ENFORCEABILITY DERIVES FROM THE MAIN REGULATORY TRAFFIC CONTROL DEVICE, NOT FROM THE MARKINGS OR DELINEATION. TO AVOID POSSIBLE CONFLICT OR CONFUSION, THE MEANING OF MARKINGS AND DELINEATION SHOULD BE CHECKED AGAINST THE PREVAILING TRAFFIC LAWS AND REGULATIONS BEFORE THEY ARE INSTALLED OR REMOVED.

LEGEND

- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- PROPERTY LINE
- SETBACK LINE
- DEMOLITION CURBS / PARKING
- NEW CURBS
- DEPRESSED CURBS (DC)
- LANDSCAPED AREA
- FUTURE RECIPROCAL ACCESS EASEMENT PROPOSED
- EASEMENT
- FIRE ROUTE
- TRUCK ROUTE
- PAINTED LINES
- SNOW STORAGE
- RETAINING WALL W/ GUARD. REFER TO CIVIL DRAWINGS
- HYDRANT & VALVE, REFER TO CIVIL DRAWINGS
- R.D. ROOF DRAIN
- F.R.S. FIRE ROUTE SIGN
- STOP SIGN
- LAMP POLE, REFER TO LANDSCAPE DRAWINGS
- LAMP POLE, REFER TO LANDSCAPE DRAWINGS

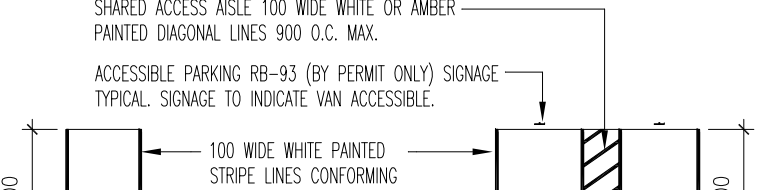
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION & SCOPE OF WORK.

HEAVY DUTY PAVING
FIRE / TRUCK ROUTES & BIKWAYS
50mm H3 SURFACE ASPHALT
75mm H3 BASE ASPHALT
150mm CRUSHER RUN 20mm GRANULAR
300mm CRUSHER RUN 50mm GRANULAR SUB-GRADE

LIGHT DUTY PAVING
PARKING LOT
40mm H3 SURFACE ASPHALT
50mm H3 BASE ASPHALT
150mm CRUSHER RUN 20mm GRANULAR
200mm CRUSHER RUN 50mm GRANULAR SUB-GRADE

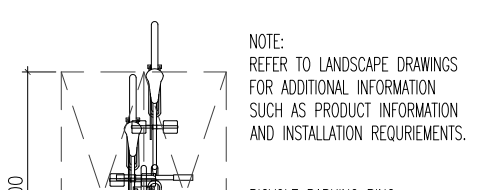
NOTE: REFER TO CIVIL DRAWINGS AND GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION / REQUIREMENTS

PARKING STALL DIAGRAM



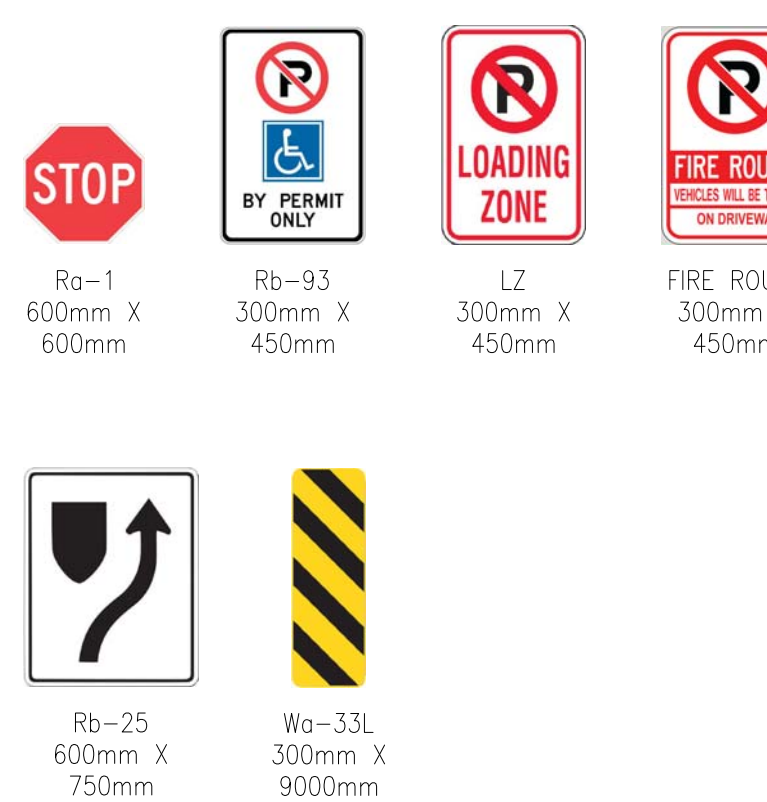
TYPICAL STALL

BICYCLE PARKING DIAGRAM



NOTE: REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION, SIGNAGE, PRODUCT INFORMATION AND INSTALLATION REQUIREMENTS.

SIGN LEGEND



FIRE ROUTE SIGN NOTES

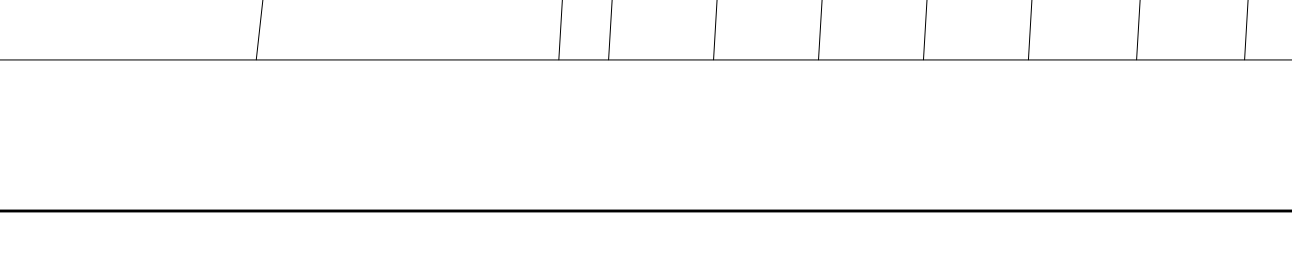
FIRE ROUTE TO BE SIGNED IN ACCORDANCE WITH FIRE ROUTE BY-LAW 89-89

SIGNS SHALL BE OF A SIZE NOTE LESS THAN 30cm IN WIDTH AND 45cm IN LENGTH.

SIGNS MUST BE PLACED:
AT INTERVALS NOT GREATER THAN 30m ALONG THE DESIGNATED ROUTE.

SHALL BE INSTALLED NOT LESS THAN 2.0m AND NOT MORE THAN 3.0m ABOVE THE LEVEL ROADWAY.

KEY PLAN



This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No. 3

8 REVISIONS TO PARKING & WALKWAY AT BLD C 2024-03-05

7 REVISIONS TO PARKING & PEDESTRIAN PATH 2024-03-01

6 REVISIONS TO PARKING & ISLANDS 2024-02-15

5 REVISIONS TO PARKING & ISLANDS 2024-02-09

4 REVISIONS TO RIGHT-IN / RIGHT-OUT 2023-11-10

3 REVISIONS TO SITE PLAN LAYOUT 2023-09-21

2 REVISIONS TO SITE PLAN LAYOUT 2023-09-18

1 REVISIONS TO MAIN DRIVE ENTRANCE 2023-05-12

No. DESCRIPTION DATE

REVISIONS

12 RE-ISSUED FOR SPA 2024-03-07

11 RE-ISSUED FOR SPA 2023-11-30

10 ISSUED FOR REVIEW AND COORDINATION 2023-10-17

9 ISSUED FOR SPA 2023-05-06

8 ISSUED FOR CLIENT REVIEW 2023-02-17

7 ISSUED FOR REVIEW AND COORDINATION 2023-02-07

6 ISSUED FOR PRELIMINARY REVIEW 2022-12-21

5 ISSUED FOR PRELIMINARY REVIEW 2022-11-15

4 ISSUED FOR PRELIMINARY REVIEW 2022-11-14

3 ISSUED FOR PRELIMINARY REVIEW 2022-11-10

2 ISSUED FOR PRELIMINARY REVIEW 2022-10-26

1 ISSUED FOR PRELIMINARY REVIEW 2022-09-08

No. DESCRIPTION DATE

ISSUED FOR

12 RE-ISSUED FOR SPA 2024-03-07

11 RE-ISSUED FOR SPA 2023-11-30

10 ISSUED FOR REVIEW AND COORDINATION 2023-10-17

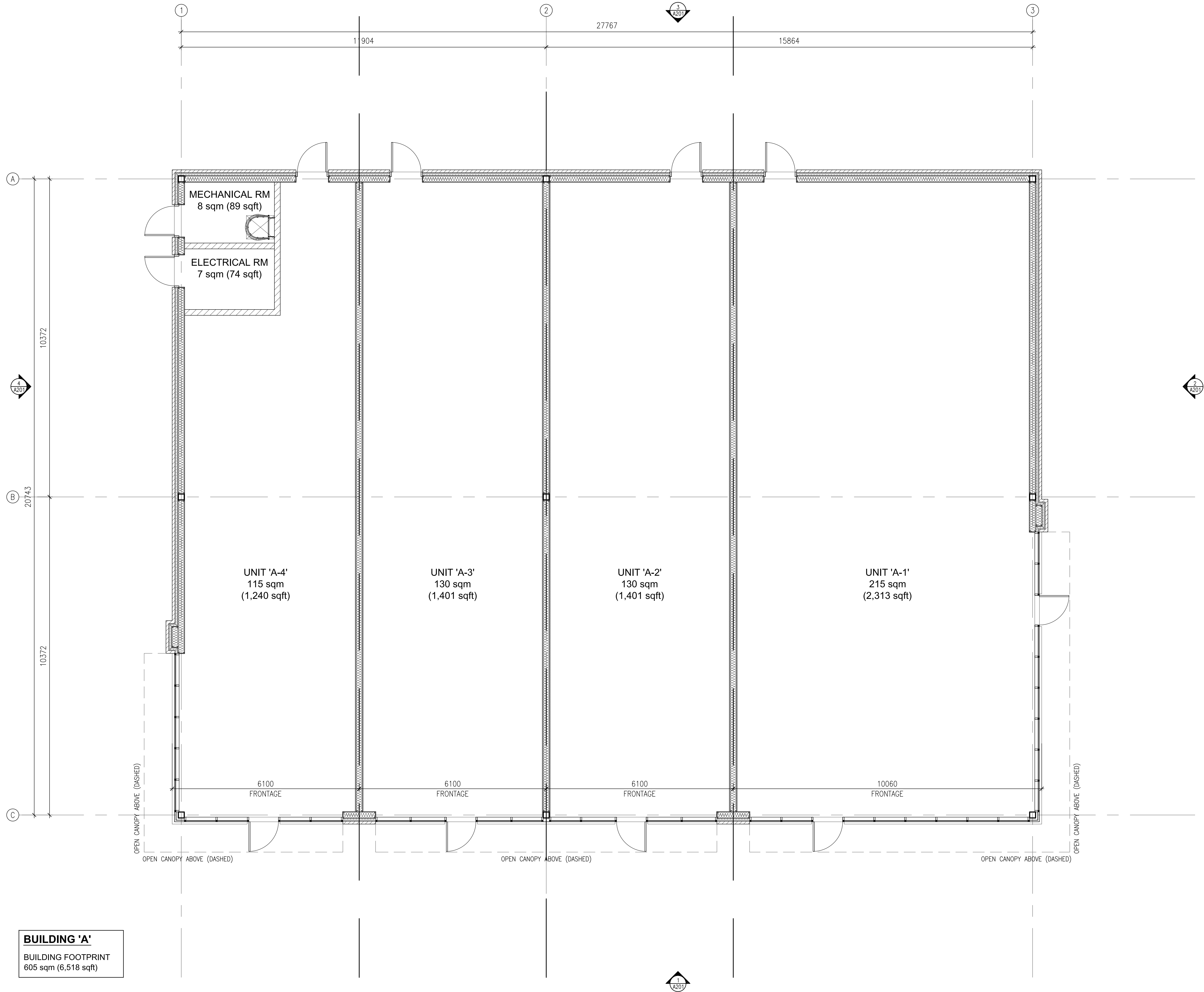
9 ISSUED FOR SPA 2023-05-06

8 ISSUED FOR CLIENT REVIEW 2023-02-17

7 ISSUED FOR REVIEW AND COORDINATION 2023-02-07

6 ISSUED FOR PRELIMINARY REVIEW 2022-12-21

5 ISSUED FOR PRELIMINARY REVIEW 2022-11-15



BUILDING 'A'
BUILDING FOOTPRINT
605 sqm (6,518 sqft)

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
8	REVISIONS TO PARKING & WALKWAY AT BLD C	2024-03-05
7	REVISIONS TO PARKING & PEDESTRIAN PATH	2024-03-01
6	REVISIONS TO PARKING & ISLANDS	2024-02-15
5	REVISIONS TO PARKING & ISLANDS	2024-02-09
4	REVISIONS TO RIGHT-IN / RIGHT-OUT	2023-11-10
3	REVISIONS TO SITE PLAN LAYOUT	2023-09-21
2	REVISIONS TO SITE PLAN LAYOUT	2023-09-18
1	REVISIONS TO MAIN DRIVE ENTRANCE	2023-05-12

REVISIONS

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

ISSUED FOR

ONTARIO ASSOCIATION
OF ARCHITECTS

DANIEL L. CUSIMANO
4407

CUSIMANO ARCHITECT

185 BRIDGELAND AVENUE, SUITE 107, TORONTO, ONTARIO M6A 1Y7
T (+1) 6783-5193 F (+1) 6783-3100

CLIENT:

plaza
REIT

110 SHEPPARD AVENUE EAST, SUITE 640, TORONTO, ONTARIO M2N 6Y8
T (+1) 6361-5882 F (+1) 6361-7760

PROJECT:

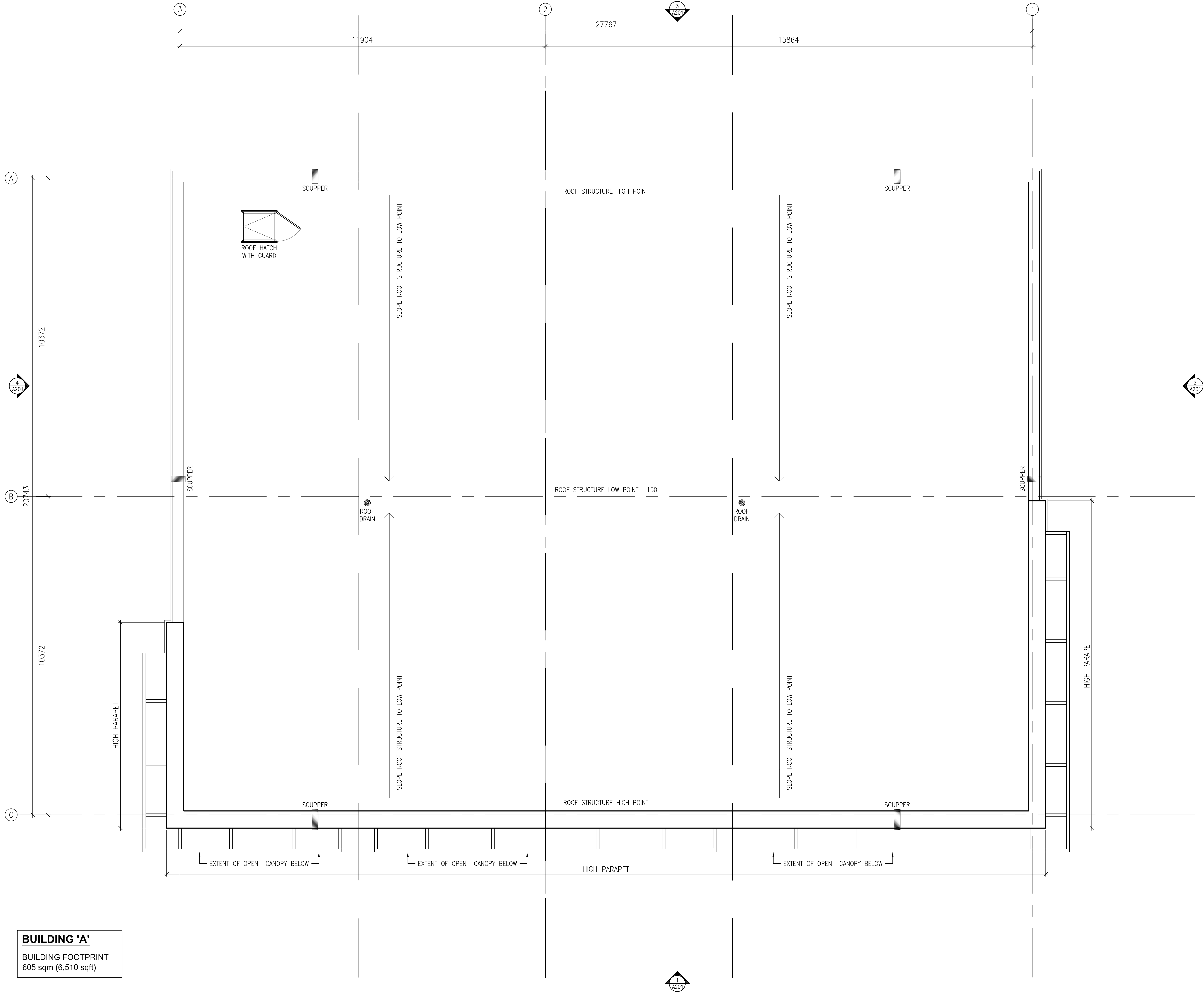
PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 323 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

DATE: SEPT 2022	DWN. BY: MR	CH'D. BY: DLC
--------------------	----------------	------------------

DRAWING TITLE:

FLOOR PLAN
BUILDING A

SCALE: AS NOTED	DRAWING No.: A102
PROJ. NO.: 2022-42	



BUILDING 'A'
BUILDING FOOTPRINT
605 sqm (6,510 sqft)

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
8	REVISIONS TO PARKING & WALKWAY AT BLD C	2024-03-05
7	REVISIONS TO PARKING & PEDESTRIAN PATH	2024-03-01
6	REVISIONS TO PARKING & ISLANDS	2024-02-15
5	REVISIONS TO PARKING & ISLANDS	2024-02-09
4	REVISIONS TO RIGHT-IN / RIGHT-OUT	2023-11-10
3	REVISIONS TO SITE PLAN LAYOUT	2023-09-21
2	REVISIONS TO SITE PLAN LAYOUT	2023-09-18
1	REVISIONS TO MAIN DRIVE ENTRANCE	2023-05-12

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

ISSUED FOR

CLIENT:

PROJECT:

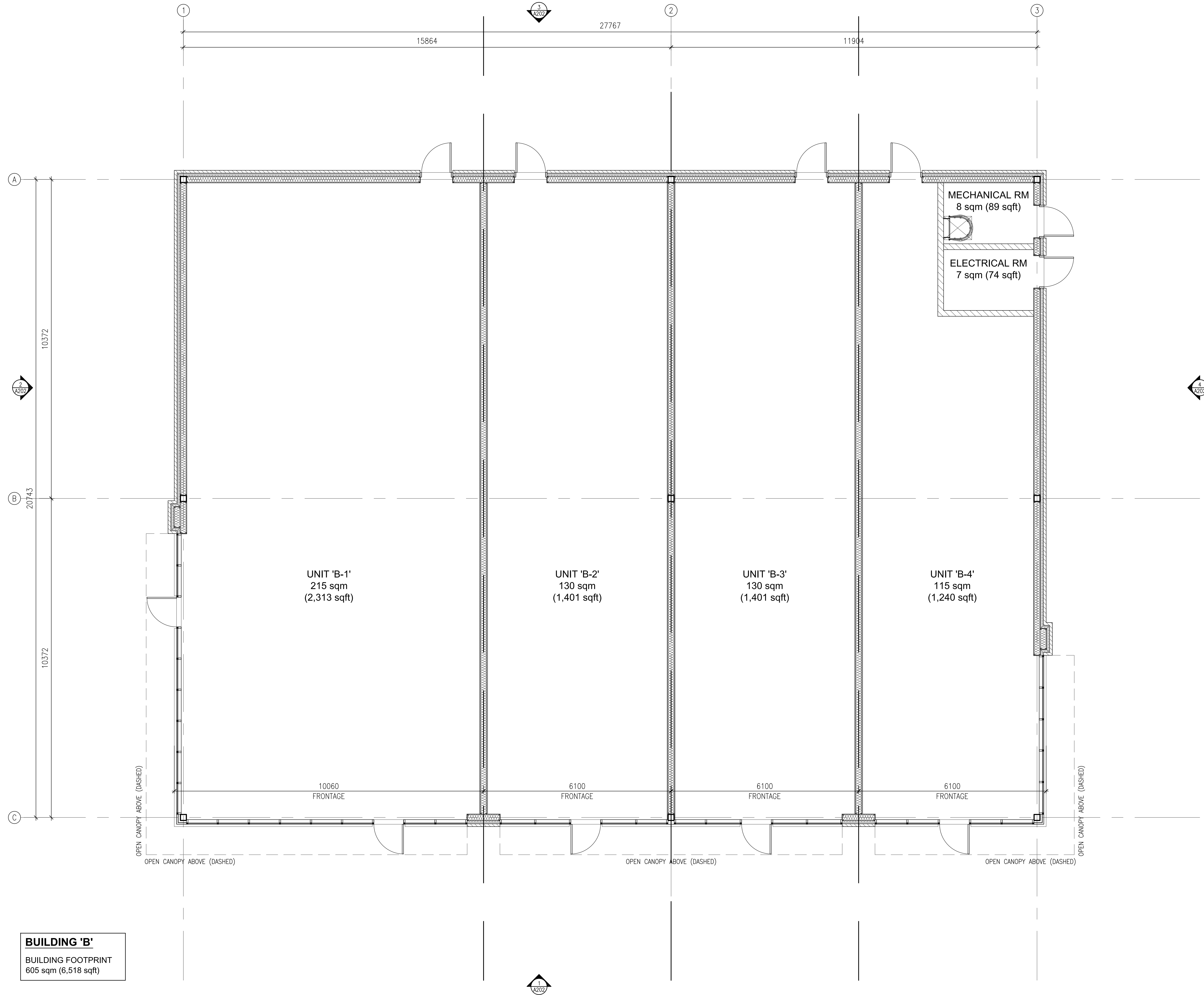
PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 323 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

DATE:	DWN. BY:	CHKD. BY:
SEPT 2022	MR	DLC

DRAWING TITLE:
ROOF PLAN
BUILDING A

SCALE:	DRAWING No.:
AS NOTED	A103

PROJ. NO.:
2022-42



BUILDING 'B'
BUILDING FOOTPRINT
605 sqm (6,518 sqft)

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
8	REVISIONS TO PARKING & WALKWAY AT BLD C	2024-03-05
7	REVISIONS TO PARKING & PEDESTRIAN PATH	2024-03-01
6	REVISIONS TO PARKING & ISLANDS	2024-02-15
5	REVISIONS TO PARKING & ISLANDS	2024-02-09
4	REVISIONS TO RIGHT-IN / RIGHT-OUT	2023-11-10
3	REVISIONS TO SITE PLAN LAYOUT	2023-09-21
2	REVISIONS TO SITE PLAN LAYOUT	2023-09-18
1	REVISIONS TO MAIN DRIVE ENTRANCE	2023-05-12

ISSUED FOR



ONTARIO ASSOCIATION OF ARCHITECTS
DANIEL L. CUSIMANO
4407



CUSIMANO ARCHITECT
185 BRIDGELAND AVENUE, SUITE 107, TORONTO, ONTARIO M6A 1Y7
T (416) 783-5193 F (416) 783-3100

CLIENT:



plaza
REIT

110 SHEPPARD AVENUE EAST, SUITE 640, TORONTO, ONTARIO M2N 6Y8
T (416) 361-5882 F (416) 515-1780

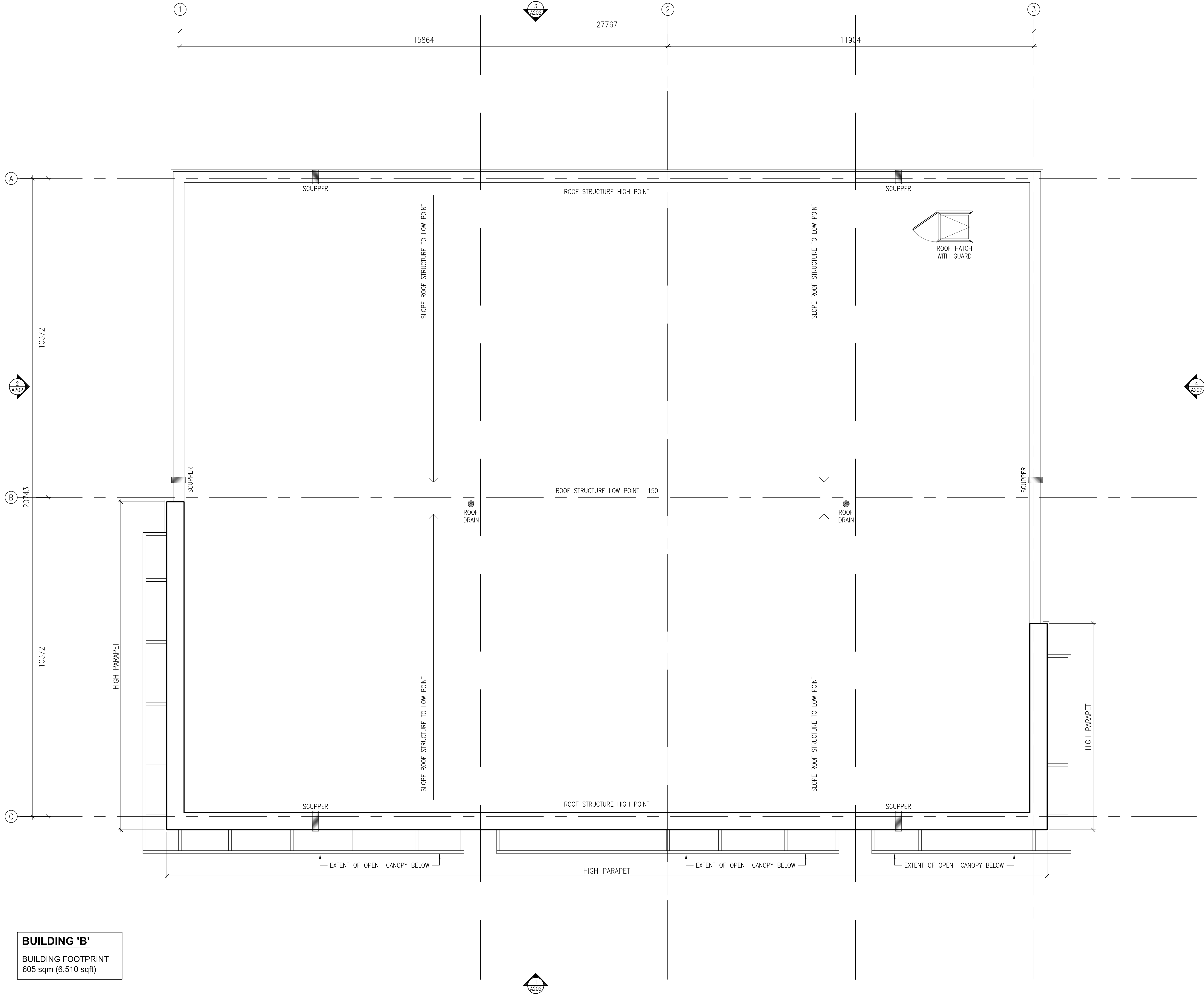
PROJECT:

PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 323 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

DATE:	DWN. BY:	CHD. BY:
SEPT 2022	MR	DLC

DRAWING TITLE:
FLOOR PLAN
BUILDING B

SCALE:	DRAWING No.:
AS NOTED	A104
PROJ. NO.:	
2022-42	



BUILDING 'B'
BUILDING FOOTPRINT
605 sqm (6,510 sqft)

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-03-07

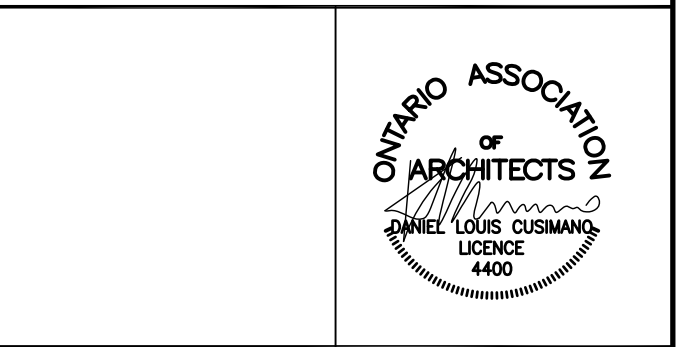
OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
8	REVISIONS TO PARKING & WALKWAY AT BLD C	2024-03-05
7	REVISIONS TO PARKING & PEDESTRIAN PATH	2024-03-01
6	REVISIONS TO PARKING & ISLANDS	2024-02-15
5	REVISIONS TO PARKING & ISLANDS	2024-02-09
4	REVISIONS TO RIGHT-IN / RIGHT-OUT	2023-11-10
3	REVISIONS TO SITE PLAN LAYOUT	2023-09-21
2	REVISIONS TO SITE PLAN LAYOUT	2023-09-18
1	REVISIONS TO MAIN DRIVE ENTRANCE	2023-05-12

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

ISSUED FOR



CUSIMANO ARCHITECT
185 BRIDGELAND AVENUE, SUITE 107, TORONTO, ONTARIO M6A 1Y7
T (+1) 6783-5193 F (+1) 6783-3100

CLIENT:
plaza
REIT
110 SHEPPARD AVENUE EAST, SUITE 640, TORONTO, ONTARIO M2N 6Y8
T (+1) 6361-5882 F (+1) 6361-7760

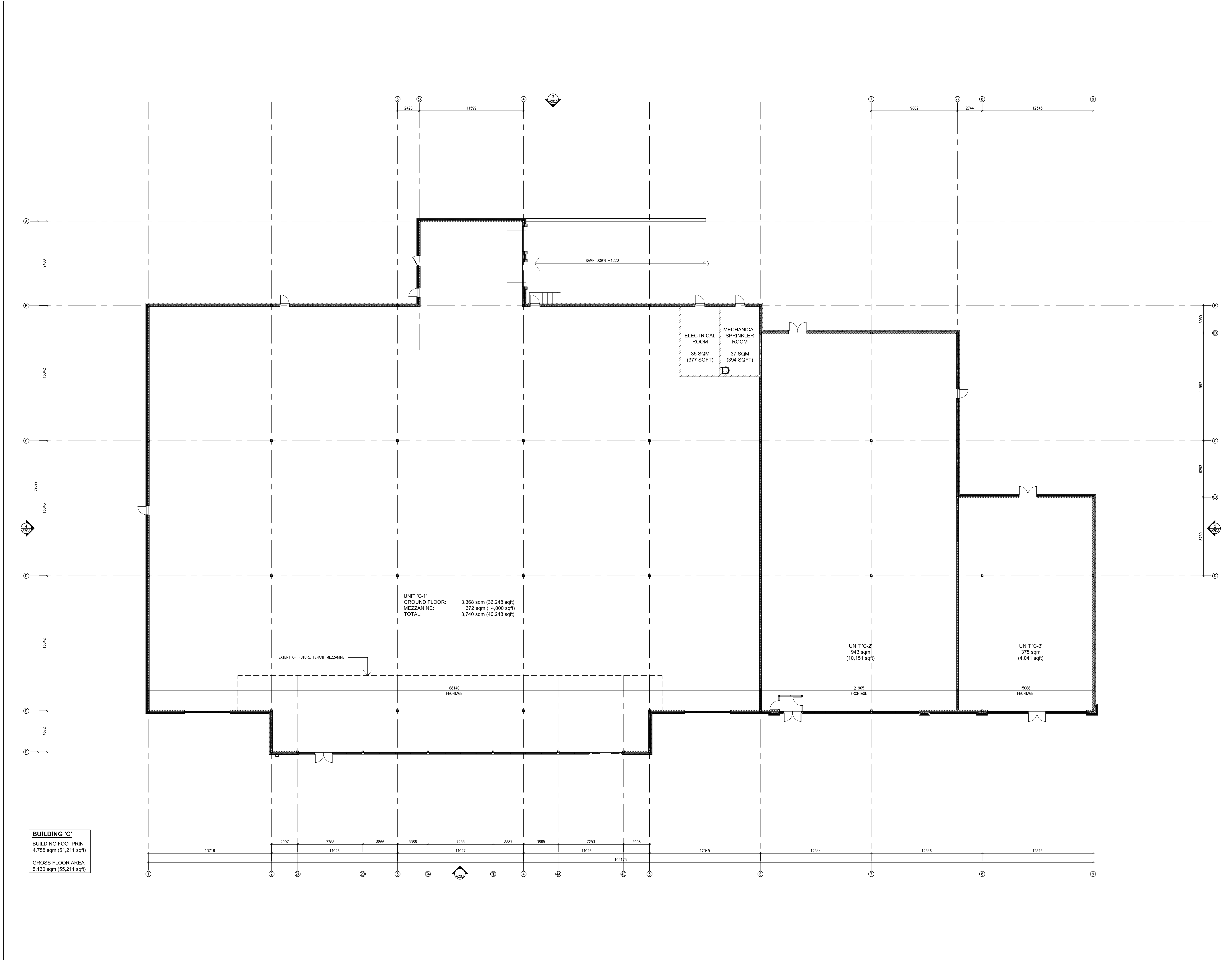
PROJECT:
PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 323 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

DATE: SEPT 2022
DWN. BY: MR
CHD. BY: DLC

DRAWING TITLE:
ROOF PLAN
BUILDING B

SCALE:
AS NOTED
PROJ. NO.:
2022-42

DRAWING No.:
A105



1 BUILDING C - FLOOR PLAN
A106 SCALE: 1:150

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

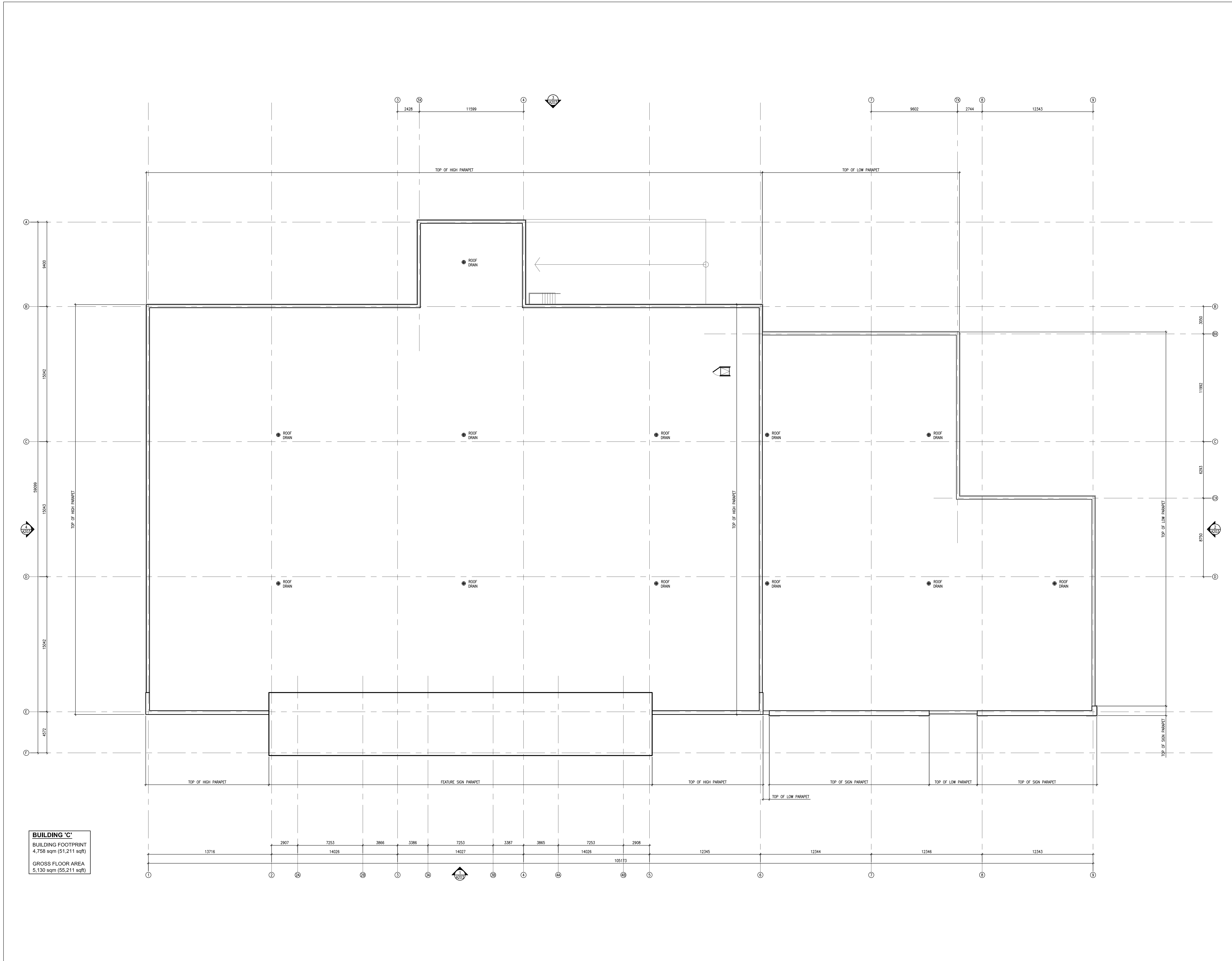
ISSUED FOR

plaza
REIT

PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 323 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

SCALE:
AS NOTED

DRAWING No.:
A106



This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:
2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
8	REVISIONS TO PARKING & WALKWAY AT BLD C	2024-03-05
7	REVISIONS TO PARKING & PEDESTRIAN PATH	2024-03-01
6	REVISIONS TO PARKING & ISLANDS	2024-02-15
5	REVISIONS TO PARKING & ISLANDS	2024-02-09
4	REVISIONS TO RIGHT-IN / RIGHT-OUT	2023-11-10
3	REVISIONS TO SITE PLAN LAYOUT	2023-09-21
2	REVISIONS TO SITE PLAN LAYOUT	2023-09-18
1	REVISIONS TO MAIN DRIVE ENTRANCE	2023-05-12

REVISIONS

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

ISSUED FOR

CLIENT:

PROJECT:

PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 523 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

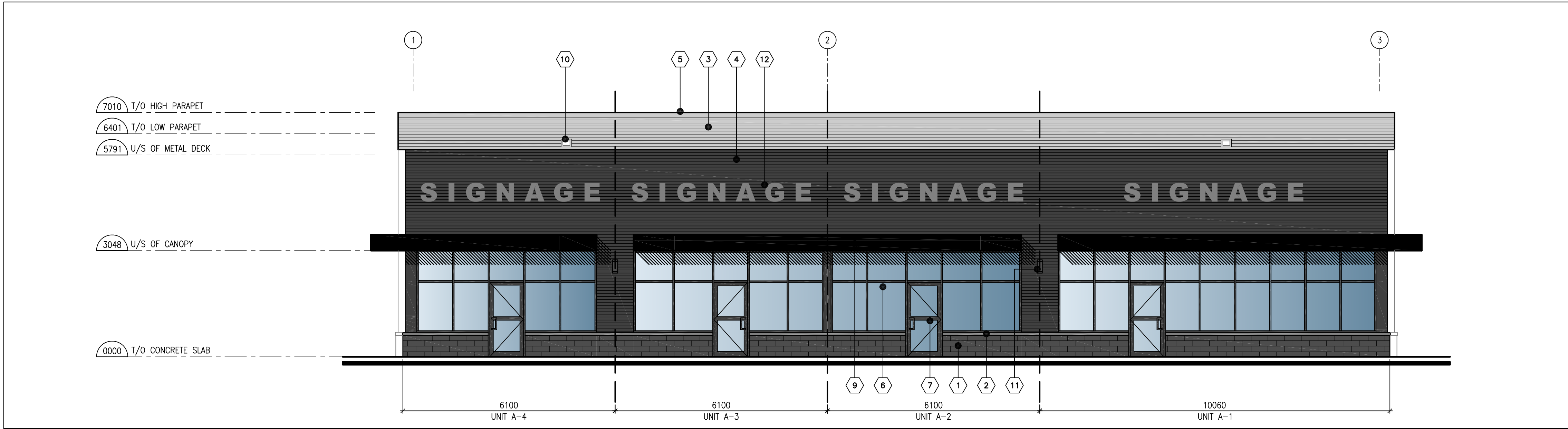
DATE: SEPT 2022
DWN. BY: MR
CHKD. BY: DLC

DRAWING TITLE:
ROOF PLAN
BUILDING C

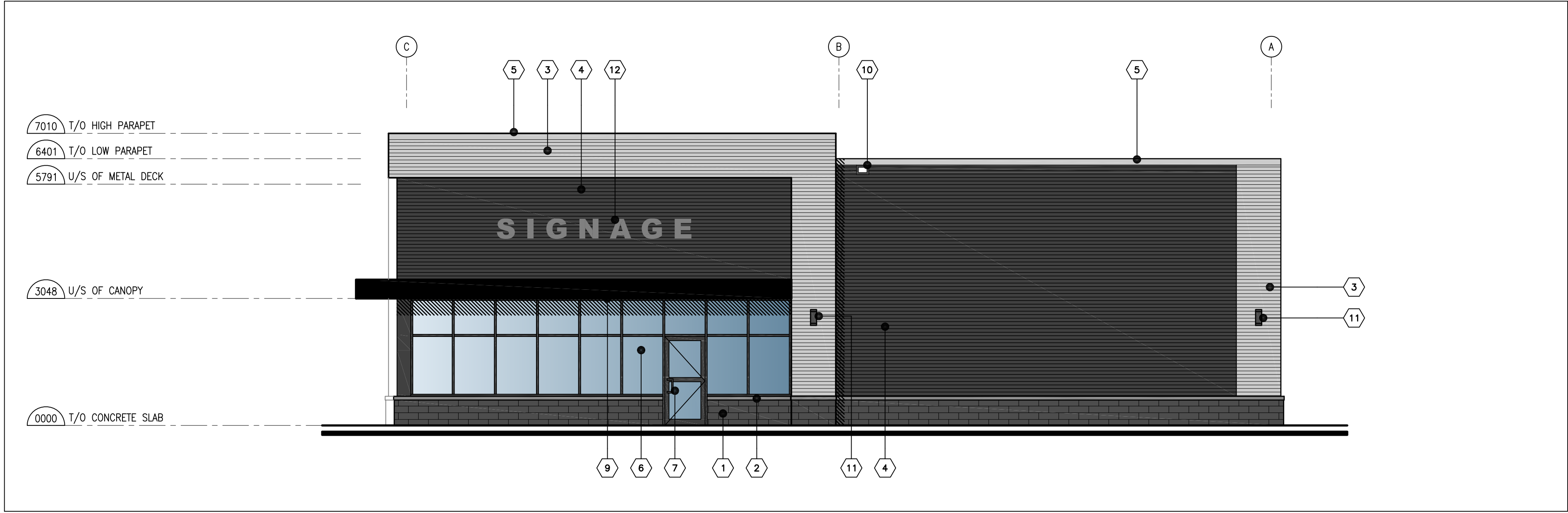
SCALE:
AS NOTED

PROJ. NO.:
2022-42

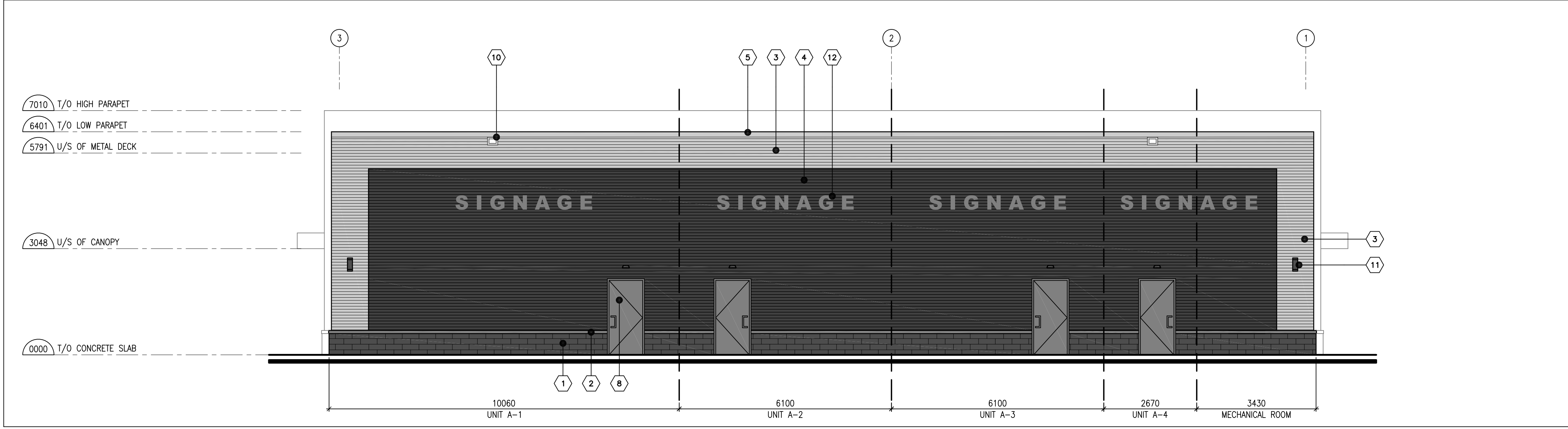
DRAWING No.:
A107



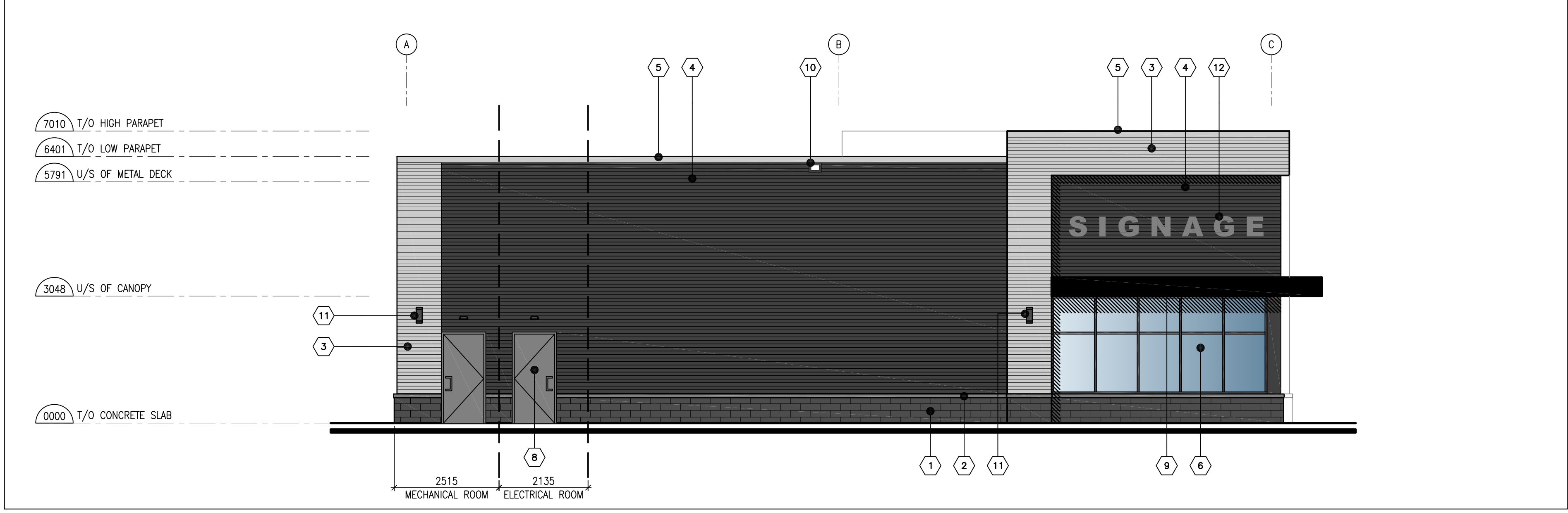
1 BUILDING A — FRONT ELEVATION (EAST)
A201 SCALE: 1:75



2 BUILDING A — SIDE ELEVATION (NORTH) FACING MAPLEVIEW DR W
A201 SCALE: 1:75



3 BUILDING A — REAR ELEVATION (WEST)
A201 SCALE: 1:75



4 BUILDING A — SIDE ELEVATION (SOUTH)
A201 SCALE: 1:75

LEGEND

- 1 ARCHITECTURAL SPLIT FACE BLOCK
COLOUR: CHARCOAL
- 2 PRECAST CONCRETE SILL
COLOUR: GREY
- 3 METAL SIDING (INSTALLED HORIZONTALLY)
STYLE: CORRUGATED 24 GAUGE
COLOUR: GALVALUME
- 4 METAL SIDING (INSTALLED HORIZONTALLY)
STYLE: CORRUGATED 24 GAUGE
COLOUR: BLACK
- 5 PREFINISHED METAL CAP FLASHING
COLOUR: CLEAR ANODIZED
- 6 STOREFRONT WINDOWS
SOLABAN 60 CLEAR GLASS IN CLEAR
ANODIZED ALUMINUM FRAMES & MULLION CAPS
- 7 STOREFRONT ENTRANCE DOORS
SOLABAN 60 CLEAR GLASS IN CLEAR
ANODIZED ALUMINUM FRAMES & MULLION CAPS
- 8 INSULATED METAL DOORS
DOORS AND FRAMES TO BE PAINTED
COLOUR: GREY
- 9 OPEN CANOPY STRUCTURE WITH
BLACK METAL FINISH
- 10 THRU WALL PREFINISHED GALVALUME SOFFER
COLOUR: CLEAR ANODIZED
- 11 WALL MOUNTED LIGHT FIXTURES
- 12 FUTURE SIGNAGE BY TENANT
FIRE RATED PLYWOOD BACKING TO BE PROVIDED
FOR FUTURE SIGNAGE

NOTES:

- G.C. TO PROVIDE SAMPLES FOR REVIEW AND APPROVAL.
- THIRD PARTY TESTING AND INSPECTION REPORTS TO BE COMPLETED AND PROVIDED FOR ALL WORK, WHICH ALSO INCLUDES THE BUILDING ENVELOPE.
- ALL SPECIFIED MATERIALS OR ALTERNATIVES TO COMPLY WITH CAN/ULC REQUIREMENTS.
- TENANT TO OBTAIN A SEPARATE PERMIT REGARDING EXTERIOR SIGNAGE.
- FIRE RATED PLYWOOD BACKING TO BE PROVIDED IN LOCATIONS FOR FUTURE TENANT SIGNAGE.
- POWER SERVICE TO BE PROVIDED FOR FUTURE SIGNAGE.
- WALL SCONCES HEIGHT TO MEET THE REQUIREMENTS OF O.B.C. 3.8.1.3.(5)

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:

2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

REVISIONS

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

ISSUED FOR



CUSIMANO ARCHITECT
165 BRIDLELAND AVENUE, SUITE 107, TORONTO, ONTARIO M6A 1Y7
T (+1) 678-5193 F (+1) 678-5100

CLIENT:

plaza
REIT
110 SHEPPARD AVENUE EAST, SUITE 640, TORONTO, ONTARIO M2N 6Y8
T (+1) 961-5882 F (+1) 961-5770

PROJECT:

PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 323 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

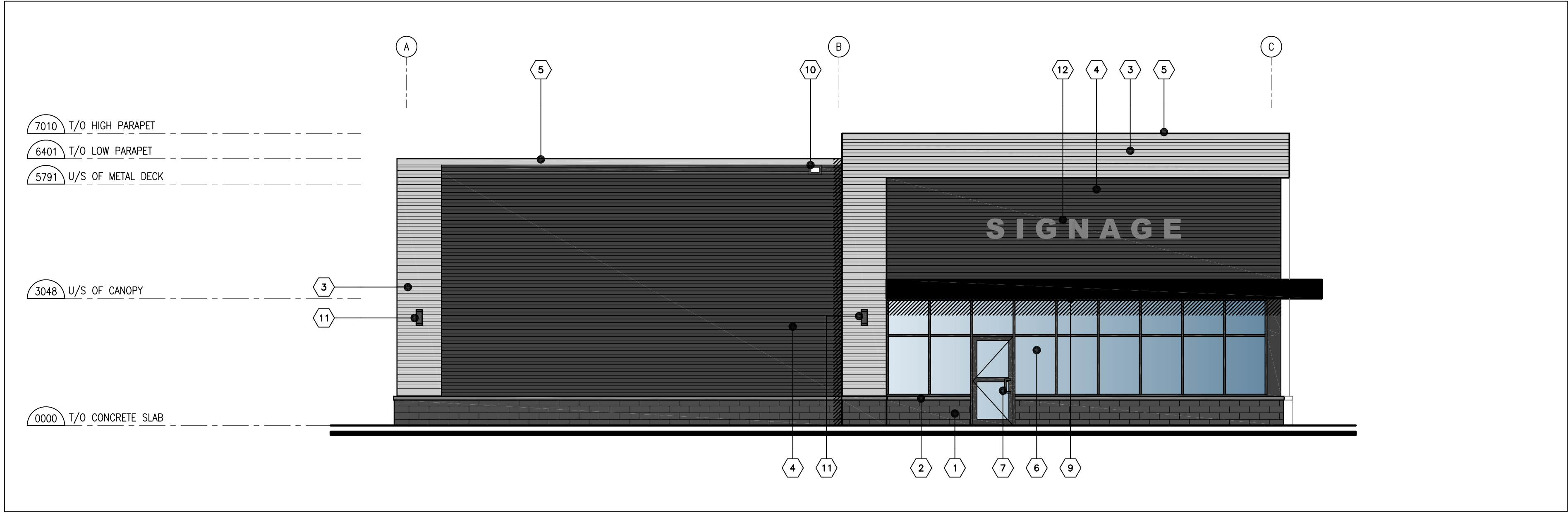
DATE: SEPT 2022
DWN. BY: MR
CHD. BY: DLC

DRAWING TITLE:
ELEVATIONS
BUILDING A

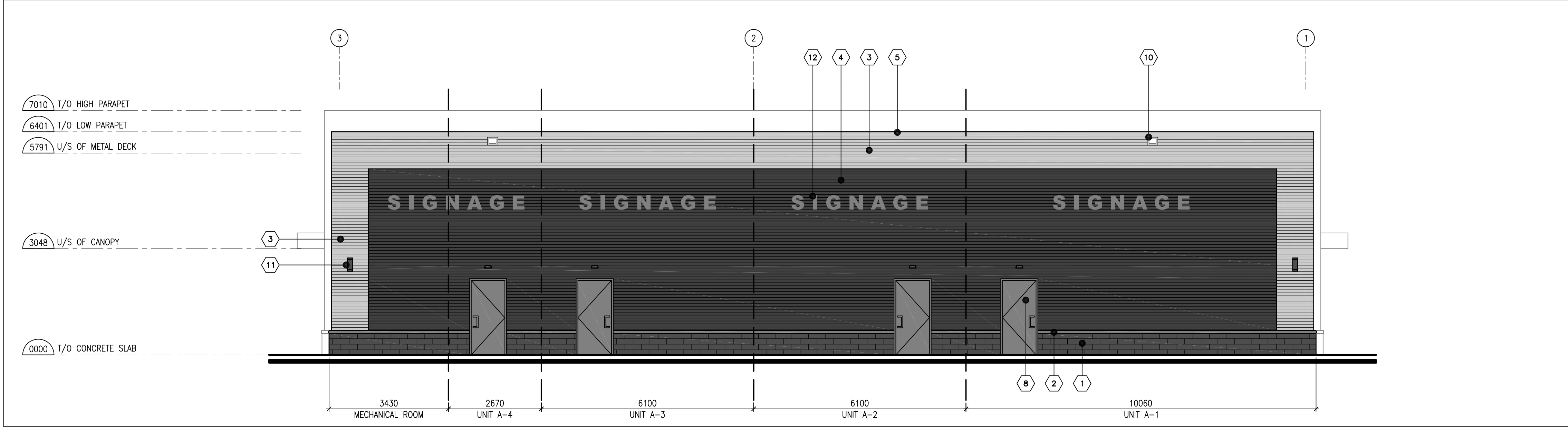
SCALE:
AS NOTED
PROJ. NO.:
2022-42
DRAWING No.:
A201



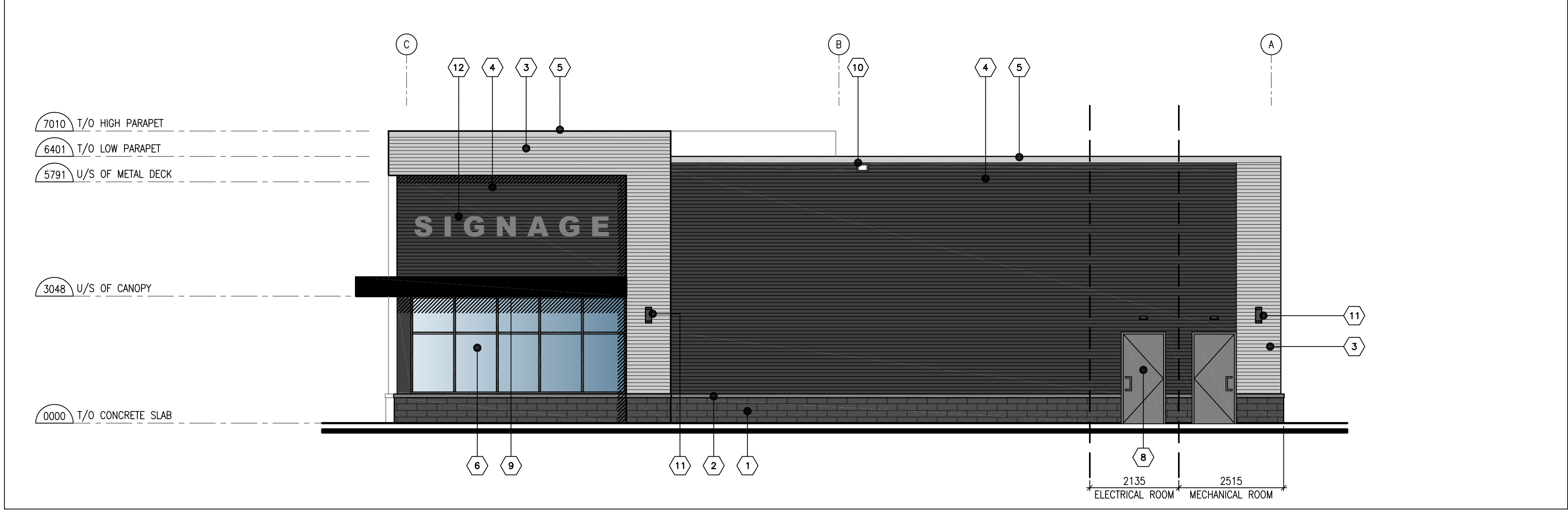
1 BUILDING B - FRONT ELEVATION (EAST)
A202 SCALE: 1:75



2 BUILDING B - SIDE ELEVATION (NORTH) FACING MAPLEVIEW DR W
A202 SCALE: 1:75



3 BUILDING B - REAR ELEVATION (WEST)
A202 SCALE: 1:75



4 BUILDING B - SIDE ELEVATION (SOUTH)
A202 SCALE: 1:75

LEGEND

- 1 ARCHITECTURAL SPLIT FACE BLOCK
COLOUR: CHARCOAL
- 2 PRECAST CONCRETE SILL
COLOUR: GREY
- 3 METAL SIDING (INSTALLED HORIZONTALLY)
STYLE: CORRUGATED 24 GAUGE
COLOUR: GALVALUME
- 4 METAL SIDING (INSTALLED HORIZONTALLY)
STYLE: CORRUGATED 24 GAUGE
COLOUR: BLACK
- 5 PREFINISHED METAL CAP FLASHING
COLOUR: CLEAR ANODIZED
- 6 STOREFRONT WINDOWS
SOLABAN 60 CLEAR GLASS IN CLEAR
ANODIZED ALUMINUM FRAMES & MULLION CAPS
- 7 STOREFRONT ENTRANCE DOORS
SOLABAN 60 CLEAR GLASS IN CLEAR
ANODIZED ALUMINUM FRAMES & MULLION CAPS
- 8 INSULATED METAL DOORS
DOORS AND FRAMES TO BE PAINTED
COLOUR: GREY
- 9 OPEN CANOPY STRUCTURE WITH
BLACK METAL FINISH
- 10 THRU WALL PREFINISHED GALVALUME SIPPERS
COLOUR: CLEAR ANODIZED
- 11 WALL MOUNTED LIGHT FIXTURES
- 12 FUTURE SIGNAGE BY TENANT
FIRE RATED PLYWOOD BACKING TO BE PROVIDED
FOR FUTURE SIGNAGE

NOTES:

- G.C. TO PROVIDE SAMPLES FOR REVIEW AND APPROVAL.
- THIRD PARTY TESTING AND INSPECTION REPORTS TO BE COMPLETED AND PROVIDED FOR ALL WORK, WHICH ALSO INCLUDES THE BUILDING ENVELOPE.
- ALL SPECIFIED MATERIALS OR ALTERNATIVES TO COMPLY WITH CAN/ULC REQUIREMENTS.
- TENANT TO OBTAIN A SEPARATE PERMIT REGARDING EXTERIOR SIGNAGE.
- FIRE RATED PLYWOOD BACKING TO BE PROVIDED IN LOCATIONS FOR FUTURE TENANT SIGNAGE.
- POWER SERVICE TO BE PROVIDED FOR FUTURE SIGNAGE.
- WALL SCONCES HEIGHT TO MEET THE REQUIREMENTS OF O.B.C. 3.8.1.3.(5)

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:

2024-03-07

OPA & ZBA FILE: D28-040-2023

SUBMISSION: No 3

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

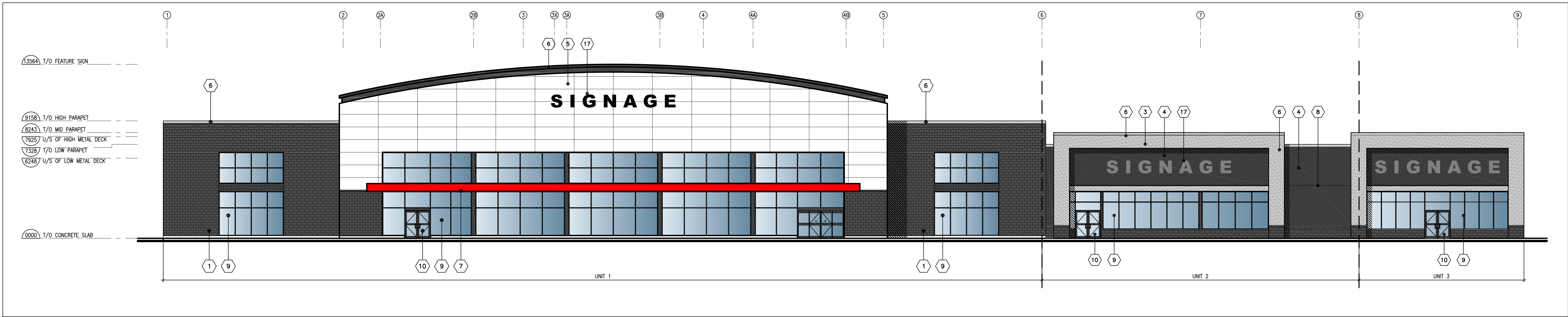
No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

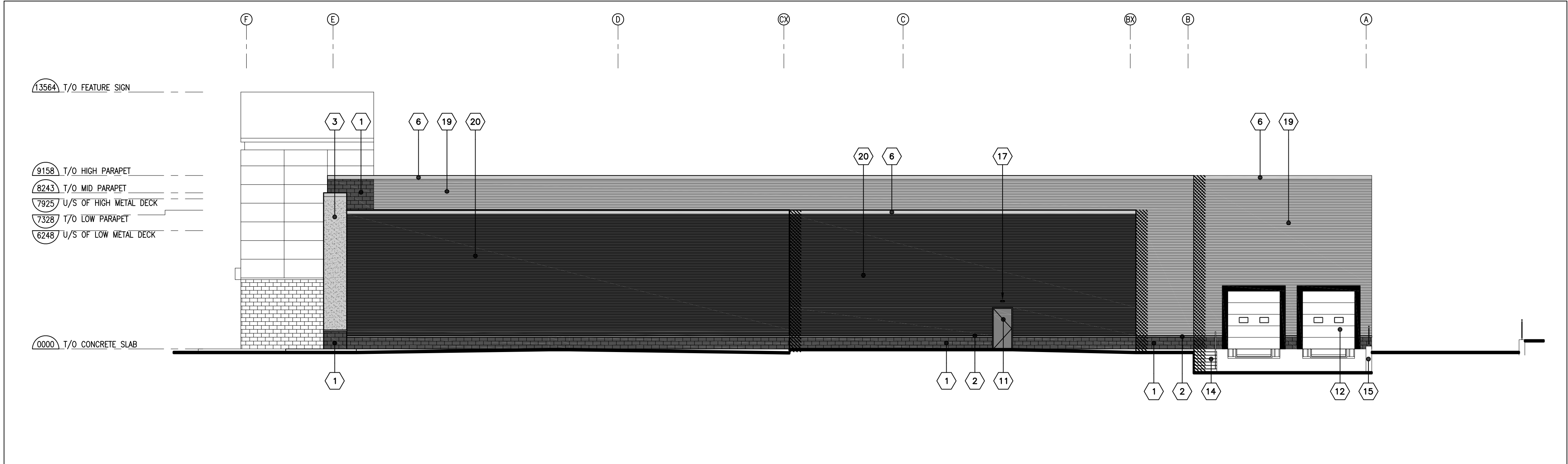
No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

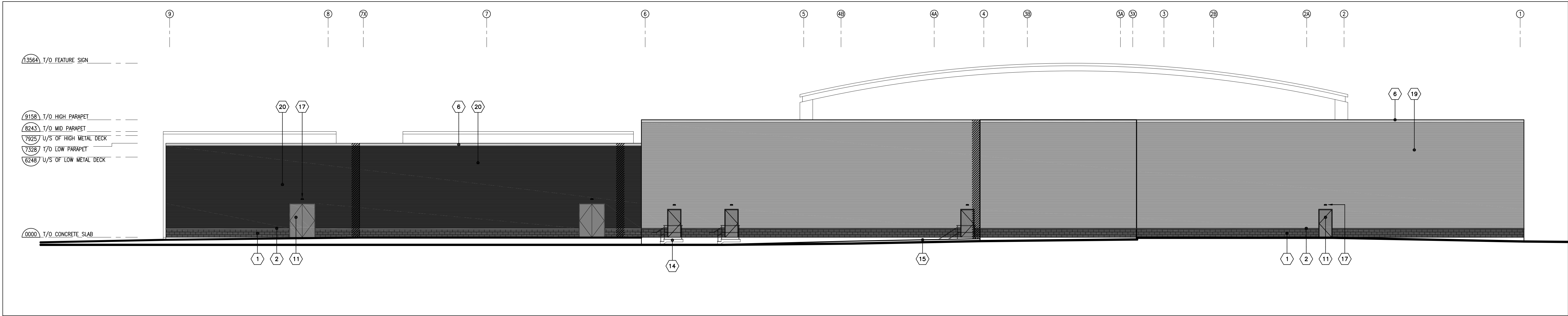
No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-12-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08



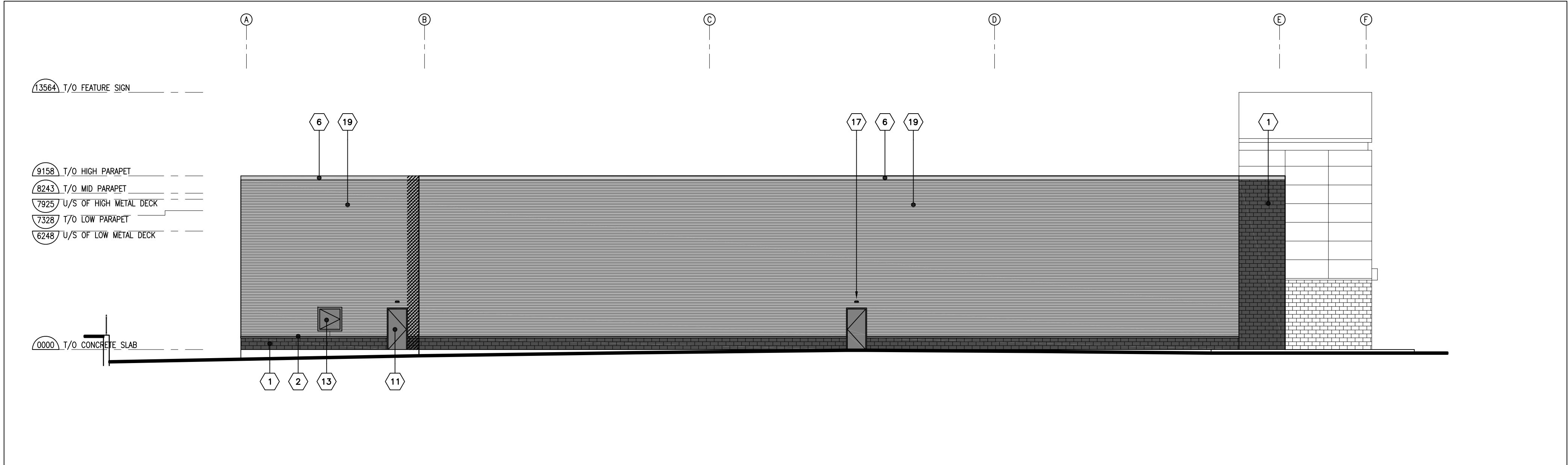
1 BUILDING C — FRONT ELEVATION (NORTH) FACING MAPLEVIEW DR W
SCALE: 1:150



2 BUILDING C — SIDE ELEVATION (WEST)
SCALE: 1:150



3 BUILDING C — REAR ELEVATION (SOUTH)
SCALE: 1:150



4 BUILDING C — SIDE ELEVATION (EAST)
SCALE: 1:150

LEGEND

- ARCHITECTURAL BLOCK (ORIGIN SERIES)
SUPPLIER: BRAMPTON BRICK
SIZE: 90 X 190 X 390
COLOUR: CHARCOAL
- PRECAST CONCRETE SILL
SUPPLIER: TBD
COLOUR: GREY
- E.I.F.S. SUPPLIER: DRYVIT
COLOUR: LIGHT GREY
- E.I.F.S. SUPPLIER: DRYVIT
COLOUR: DARK GREY
- ARCHITECTURAL MASONRY
SUPPLIER: TBD
COLOUR: WHITE
- PREFINISHED METAL CAP FLASHING
COLOUR: CLEAR ANODIZED
- PREFINISHED METAL CANOPY
COLOUR: RED
- E.I.F.S. REVEAL JOINTS 13mm X 25mm
- STOREFRONT WINDOWS
SOLABAN 60 CLEAR GLASS IN CLEAR
ANODIZED ALUMINUM FRAMES & MULLION CAPS
- STOREFRONT ENTRANCE DOORS
SOLABAN 60 CLEAR GLASS IN CLEAR
ANODIZED ALUMINUM FRAMES & MULLION CAPS
- INSULATED METAL DOORS
DOORS AND FRAMES TO BE PAINTED
COLOUR: GREY
- OVERHEAD DOOR WITH DOCK BUMPERS AND
DOCK LIFT
COLOUR: WHITE
- COMPACTOR DOOR
COLOUR: TBD
- PREFABRICATED METAL STAIR
- RETAINING WALL WITH GUARD
SANDBLASTED SMOOTH
- THRU WALL PREFINISHED GALVALUME SCUPPER
COLOUR: CLEAR ANODIZED
- WALL MOUNTED LIGHT FIXTURES
- FUTURE SIGNAGE BY TENANT
FIRE RATED PLYWOOD BACKING TO BE PROVIDED
FOR FUTURE SIGNAGE
- METAL SIDING (INSTALLED HORIZONTALLY)
STYLE: CORRUGATED 24 GAUGE
COLOUR: GALVALUME
- METAL SIDING (INSTALLED HORIZONTALLY)
STYLE: CORRUGATED 24 GAUGE
COLOUR: BLACK

NOTES:

- G.C. TO PROVIDE SAMPLES FOR REVIEW AND APPROVAL
- THIRD PARTY TESTING AND INSPECTION REPORTS TO BE COMPLETED AND PROVIDED FOR ALL WORK, WHICH ALSO INCLUDES THE BUILDING ENVELOPE.
- ALL SPECIFIED MATERIALS OR ALTERNATIVES TO COMPLY WITH CAN/ULC REQUIREMENTS.
- TENANT TO OBTAIN A SEPARATE PERMIT REGARDING EXTERIOR SIGNAGE.
- FIRE RATED PLYWOOD BACKING TO BE PROVIDED IN LOCATIONS FOR FUTURE TENANT SIGNAGE.
- POWER SERVICE TO BE PROVIDED FOR FUTURE SIGNAGE
- WALL SCONCES HEIGHT TO MEET THE REQUIREMENTS OF O.B.C. 3.8.1.3.(5)

This drawing, as an instrument of service, is provided by and is the property of DANIEL L. CUSIMANO, ARCHITECT.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

This drawing is not to be scaled.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

PRINT DATE:

2024-03-07

OPA & ZBA FILE: D28-040-2023

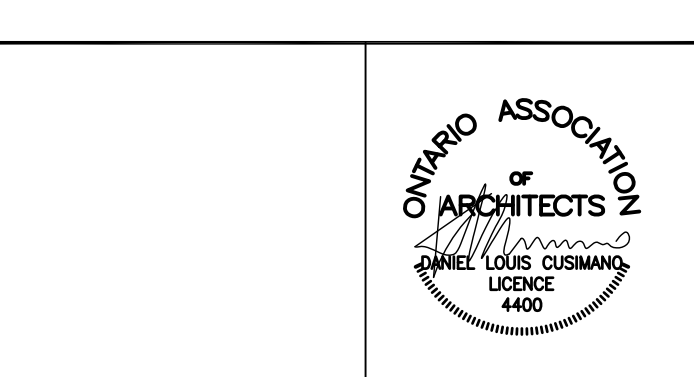
SUBMISSION: No 3

No.	DESCRIPTION	DATE
8	REVISIONS TO PARKING & WALKWAY AT BLD C	2024-03-05
7	REVISIONS TO PARKING & PEDESTRIAN PATH	2024-03-01
6	REVISIONS TO PARKING & ISLANDS	2024-02-15
5	REVISIONS TO PARKING & ISLANDS	2024-02-09
4	REVISIONS TO RIGHT-IN / RIGHT-OUT	2023-11-10
3	REVISIONS TO SITE PLAN LAYOUT	2023-09-21
2	REVISIONS TO MAIN DRIVE ENTRANCE	2023-09-18
1	REVISIONS TO MAIN DRIVE ENTRANCE	2023-05-12

REVISIONS

No.	DESCRIPTION	DATE
12	RE-ISSUED FOR SPA	2024-03-07
11	RE-ISSUED FOR SPA	2023-11-30
10	ISSUED FOR REVIEW AND COORDINATION	2023-10-17
9	ISSUED FOR SPA	2023-03-06
8	ISSUED FOR CLIENT REVIEW	2023-02-17
7	ISSUED FOR REVIEW AND COORDINATION	2023-02-07
6	ISSUED FOR PRELIMINARY REVIEW	2022-12-21
5	ISSUED FOR PRELIMINARY REVIEW	2022-11-15
4	ISSUED FOR PRELIMINARY REVIEW	2022-11-14
3	ISSUED FOR PRELIMINARY REVIEW	2022-11-10
2	ISSUED FOR PRELIMINARY REVIEW	2022-10-26
1	ISSUED FOR PRELIMINARY REVIEW	2022-09-08

ISSUED FOR



CUSIMANO ARCHITECT
185 BRIDGELAND AVENUE, SUITE 107, TORONTO, ONTARIO M6A 1Y7
T: (416) 783-5193 F: (416) 783-3100

CLIENT:

plaza
REIT
110 SHEPPARD AVENUE EAST, SUITE 640, TORONTO, ONTARIO M2N 6Y8
T: (416) 361-0882 F: (416) 361-1780

PROJECT:

PLAZA REDEVELOPMENT
MAIN STREET BARRIE
315 & 523 MAPLEVIEW DRIVE WEST
BARRIE, ONTARIO

DATE: SEPT 2022

DWG. BY: MR

CHKD. BY: DLC

DRAWING TITLE:
ELEVATIONS
BUILDING C

SCALE:
AS NOTED

PROJ. NO.:
2022-42

DRAWING No.:
A203