



APPLICATION FOR
ZONING BY-LAW AMENDMENT

127 & 131 ARDAGH ROAD
CITY OF BARRIE

NEIGHBOURHOOD MEETING

JULY, 25 2024



INNOVATIVE PLANNING SOLUTIONS
PLANNERS • PROJECT MANAGERS • LAND DEVELOPERS

SUBJECT SITE

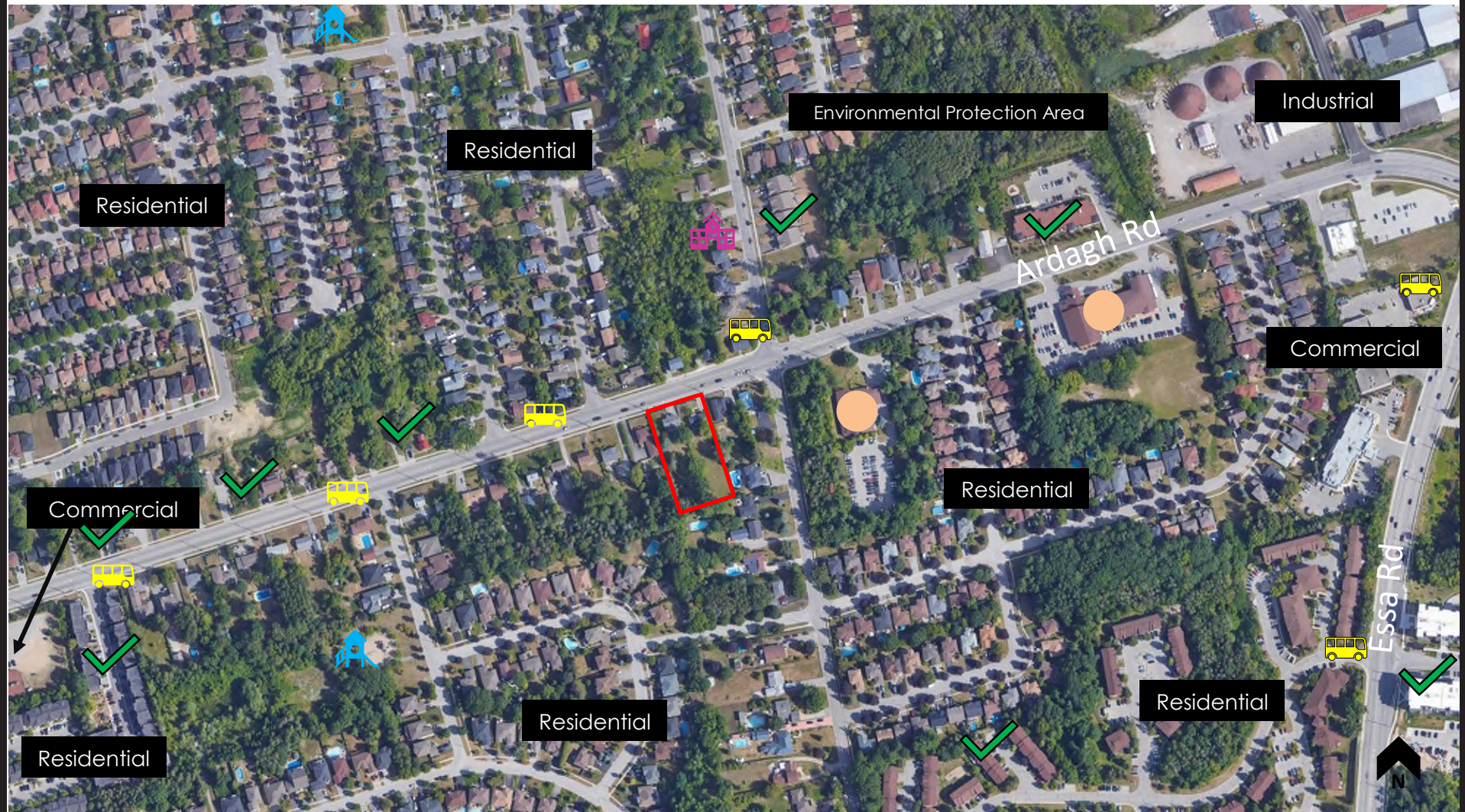


- Lot Area:
 - Entire Lands:
 - 4,300 m²
- Frontage:
 - 48.84m along Ardagh Road

Existing Site Conditions

- Existing single detached dwellings
- Open space to the rear of dwellings
- Generally flat

SURROUNDING USES



Transit Stops



Existing/Approved RM1/2



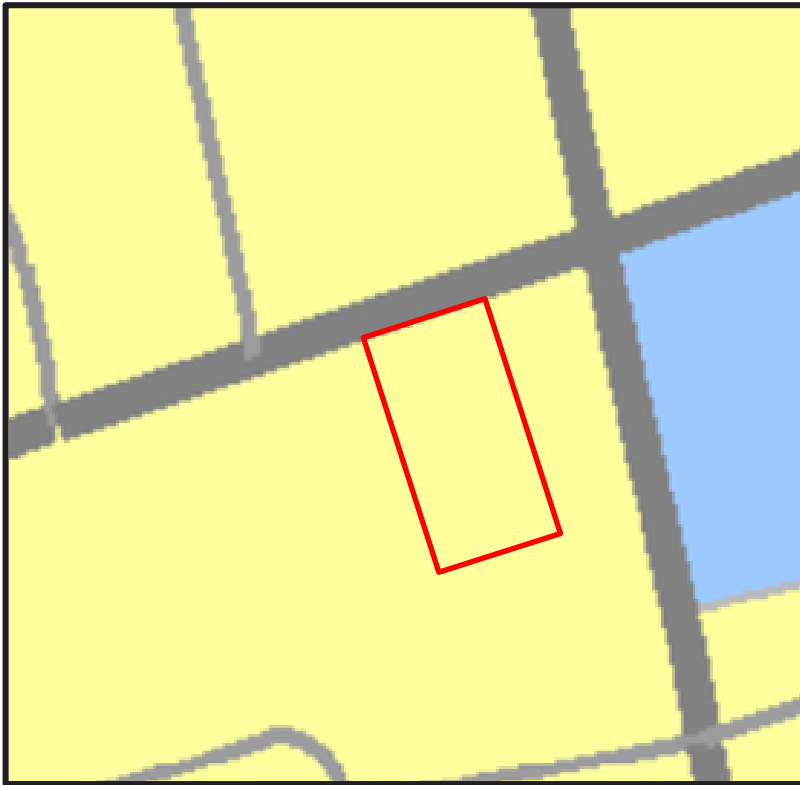
Montessori Academy



Parks

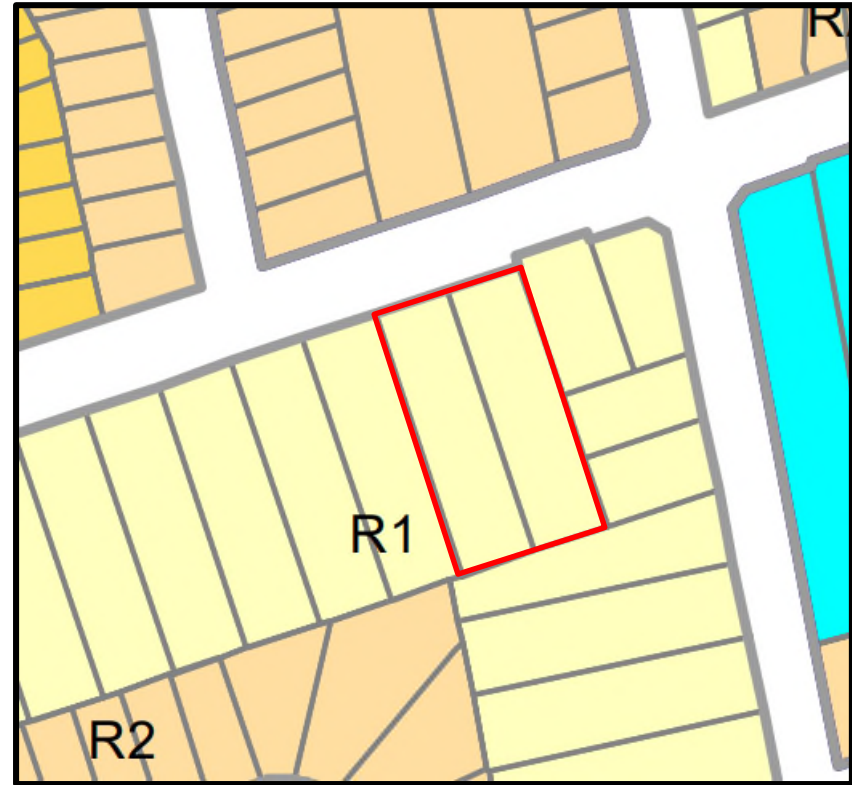


Places of Worship



City of Barrie Official Plan, 2022

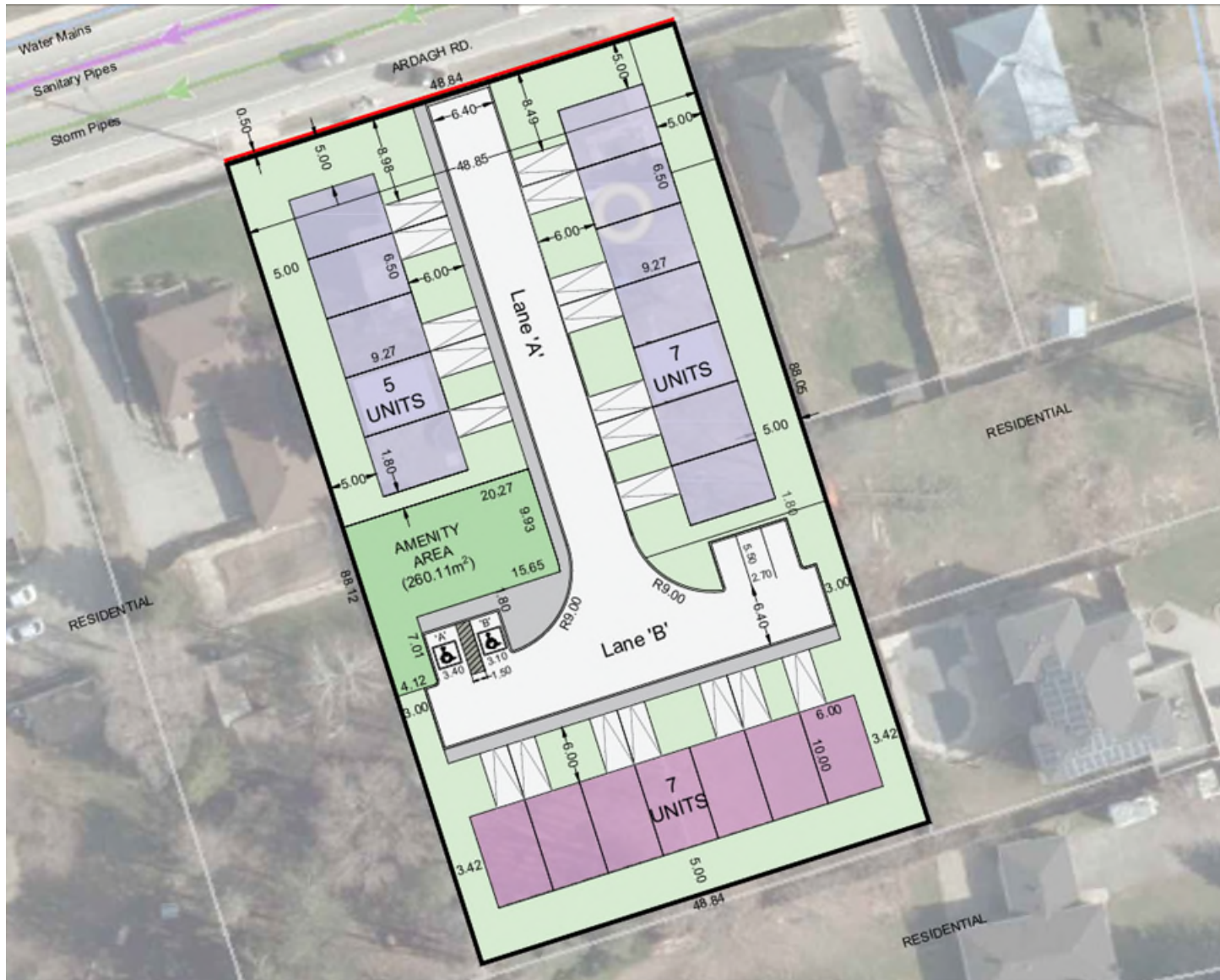
- Neighbourhood Area



City of Barrie Zoning By-law 2009-141

- Residential Single Detached Dwelling First Density (R1)

DEVELOPMENT CONCEPT



DEVELOPMENT CONCEPT

- 19 townhouse units
- Each 3-storeys

Amenity Space:

- Outdoor amenity area (260.11m²)

Parking:

- 24 total parking spaces
- Includes 2 B.F
- (1.26 spaces/unit)

Other:

- Private internal condominium road
- Potential road widening (24.41m²)
- 5m landscape buffer along all property lines



Zoning By-law Amendment

Residential Single Detached Dwelling First Density (R1)



Residential Multiple Dwelling Second Density
with Special Provisions
(RM2(SP-XX))

SITE SPECIFIC PROVISIONS

RESIDENTIAL MULTIPLE DWELLING SECOND DENSITY		
Provisions	Required	Provided
Densities (5.2.5.1a)	A max. of 40 units / ha of block/cluster townhouse development is permitted	45.2 units / ha
Outdoor Amenity Area (min.) (5.2.5.1.b)	228.00m ² (A min. outdoor amenity area of 12.00m ² / unit in a consolidated form is required)	315.49m ² (in a consolidated form)
Driveway Length (min.) (5.2.5.1.d)	6.00m	6.00m
Internal Private Roadway Width (min.) (5.2.5.1.e)	6.4m	6.40m
Lot Area (min.)	720.00m ²	4,253.13m ²
Lot Frontage (min.)	21.00m	48.85m
Front Yard to Dwelling Unit (min.)	7.00m	5.00m
Front Yard to Attached Garage (min.)	7.00m	7.98m
Side Yards (min.)	1.80m	3.42m
Rear Yard (min.)	7.00m	5.00m
Landscaped Open Space (min. % of lot area)	35%	45.8% (1,949.78m ²)
Lot Coverage (max. % of lot area)	45%	26.8% (1,140.00m ²)
Height of Main Bldg. (max.)	10.00m	< 10.00m
Required Parking: Residential building containing more than 3 residential units	29 spaces (1.5 spaces / unit - tandem parking not permitted)	24 spaces incl. 2 B.F. - not incl. private garage (1.26 space / unit)
Required B.F. parking spaces	1 Type 'A' B.F. space / 1 Type 'B' B.F. Space	1 Type 'A' B.F. space / 1 Type 'B' B.F. Space

- Increased density
- Reduced front yard setback
- Reduced rear yard setback
- Decreased parking

REQUIRED STUDIES

- Planning Justification Report
- Block/ Context Plan
- Functional Servicing Report
- Traffic Impact and Parking Study
- Environmental Site Assessment
(Phase 1 & 2)
- Phosphorus Budget
- Site Plan
- Landscape Plan/Details
- Tree Inventory & Preservation Plan

- The lands are within the City of Barrie's Built-up Area and makes efficient use of otherwise vacant/underutilized lands and existing resources.
- The development will be compact, walkable and transit supportive in an appropriate location.
- 19 dwelling units will contribute to the achievement of a complete community, achieving intensification targets and the range of housing options in the area.
- The development provides much-needed housing stock in a functional manner and at a time when supply is limited and costs of homeownership is increasing at a fast pace.

CONCLUSION

- This proposal seeks to facilitate a Zoning By-law Amendment in support of 19 townhouse units.
- The development provides intensification in proximity to supportive land uses including schools, commercial, open space, public transit and similar built forms.
- It is our opinion that the proposal is consistent and in conformity with all levels of planning policy.

THANK YOU

Questions & Comments Welcome

Email: info@ipsconsultinginc.com

Concept Plan

IPS
CONSULTING



CONCEPTUAL SITE PLAN

127, 131 Ardagh Rd. Suite



- LEGEND**
- Subject Site (4,301.58m² / 0.43ha)
 - Developable Area (4,377.55m² / 0.42ha)
 - Potential Road Widening 34.45m
 - 3 Storey Townhouse Dwelling (12 units)
 - Bldg Size: 6.50m x 9.27m
 - Bldg Area: 60.23m²
 - Bldg G.F.A.: 162.79m² (excl. private garage)
 - 3 Storey Townhouse Dwelling (07 units)
 - Bldg Size: 6.00m x 10.00m
 - Bldg Area: 60.00m²
 - Bldg G.F.A.: 162.00m² (excl. private garage)
 - Amenity Area (260.11m²)

RESIDENTIAL MULTIPLE DWELLING ACCESSIBILITY		
Provision	Required	Provided
Caravan (S2.5.14)	A total of 800m ² total block (under townhouse development) is provided	432 units/ha
Outdoor Amenity Area (m ²) (S2.5.14)	(Amen. outdoor amenity area of 12,000m ² under a residential townhouse development)	35,400m ² (in a townhouse development)
Driveway Length (m) (S2.5.14)	4.00m	4.00m
Internal Road (Driveway) Width (m) (S2.5.14)	6.0m	6.0m
Lot Area (m ²)	720.00m ²	4,301.58m ²
Lot Frontage (m)	28.00m	66.00m
Private Driveway (m)	7.00m	5.00m
Private Driveway (m)	7.00m	7.00m
Side Driveway (m)	1.00m	3.40m
Road Width (m)	7.00m	5.00m
Caravan/Trailer Space (m ² at 20m ²)	30%	45.00% (3,645.00m ²)
Lot Frontage (m)	45%	28.00% (3,645.00m ²)
Height of Main Bldg (m)	6.00m	< 10.00m
Private Parking (Residential) (S2.5.14)	20 spaces (10.00m ² per space) (10.00m ² per space) (10.00m ² per space)	24 spaces (10.00m ² per space) (10.00m ² per space) (10.00m ² per space)
Required B.F. parking space	1 Type A B.F. space + 1 Type B B.F. space	1 Type A B.F. space + 1 Type B B.F. space

Source: Bureau of Statistics, 2022 to 2023
Note: Information shown is approximate and subject to change.

IPS INNOVATIVE PLANNING SOLUTIONS	
PLANNERS • PROJECT MANAGERS • LAND DEVELOPERS	
Date: June 12, 2024	Drawn By: A.S.
File: 25-1031	Checked: G.S.

CONCEPTUAL SITE PLAN - 19 UNITS

127, 131 ARDAGH RD.

SCHEDULE OF REVISIONS			
No.	Date	Description	By