

126 BRADFORD ST

Proposed Residential Development



DEVELOPER

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DEVELOPMENTS INC.
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TORONTO, ON, M4V 1N6
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TONY CHAO-WEI SHIH

WIND CONSULTANT

THEAKSTON ENVIRONMENTAL
GLENGARRY CRES, FERGUS, ON,
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STEPHEN POLLOCK

DRAWING LIST					
Sheet Number	Sheet Name	Issued#1 (Add Date)	Issued#2 (Add Date)	Issued#3 (Add Date)	Issued#4 (Add Date)
dA1.00 1	Cover Sheet	■			
dA1.01	Project Information/Site Context/Statistics	■			
dA1.02	Site Survey	■			
dA1.03	Overall Site Plan	■			
dA2.01	Parking Floor - Level 1	■			
dA2.02	Parking Floor - Level 1 Upper	■			
dA2.03	Parking Floor - Level 2	■			
dA2.04	Parking Floor - Level 3-4	■			
dA2.05	Parking Floor - Level 5	■			
dA2.06	Parking Floor - Level 6	■			
dA2.07	Level 7	■			
dA2.08	Level 8-11	■			
dA2.9	Level 12-41	■			
dA2.10	Level 42-45	■			
dA3.01	Elevations - North & East	■			
dA3.02	Elevations - South & West	■			
dA4.01	Sections	■			
dA5.01	Sun Shadow Study - April 21	■			
dA5.02	Sun Shadow Study - June 21	■			
dA5.03	Sun Shadow Study - September 21	■			
dA5.04	Sun Shadow Study - December 21	■			
dA6.01	Perspectives	■			
TOTAL NUMBER OF SHEETS: 22					

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20 De Boers Drive Suite 400
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Revisions:

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1	REZONING & OPA SUBMISSION	NOV 28,2023
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Client Logo Here

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Cover Sheet

Scale:

Drawn by:
A.P.
Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28,2023
Drawing No.:

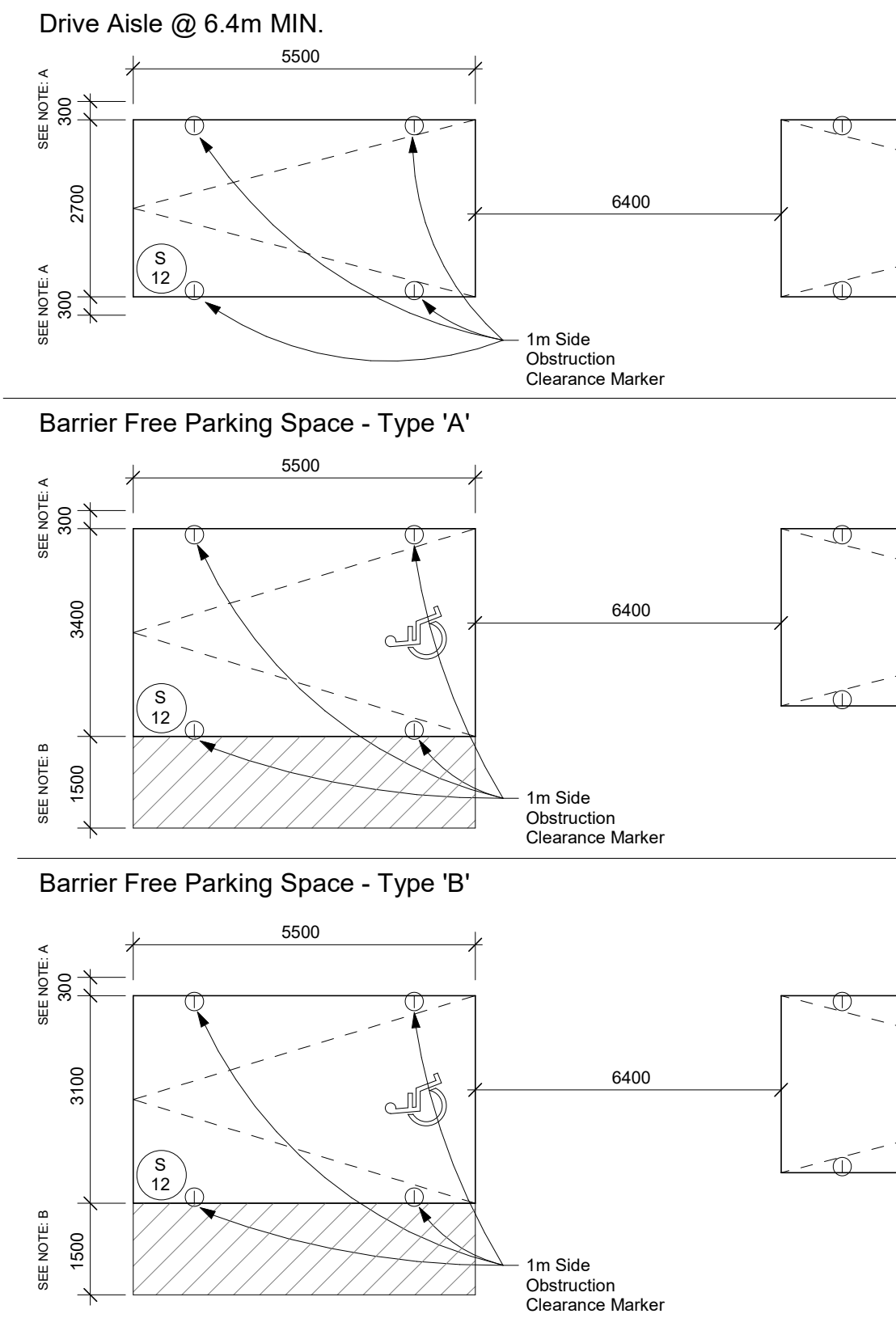
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P:\11 Drive - 2024-02-11 4:28:41 PM The Path: C:\New\2023\2072910_126 Bradford St_2072910_126 Bradford St_2072910_126 Bradford St.dwg



Site Context Plan 1
NTS dA1.01

TYPICAL PARKING SPACE:



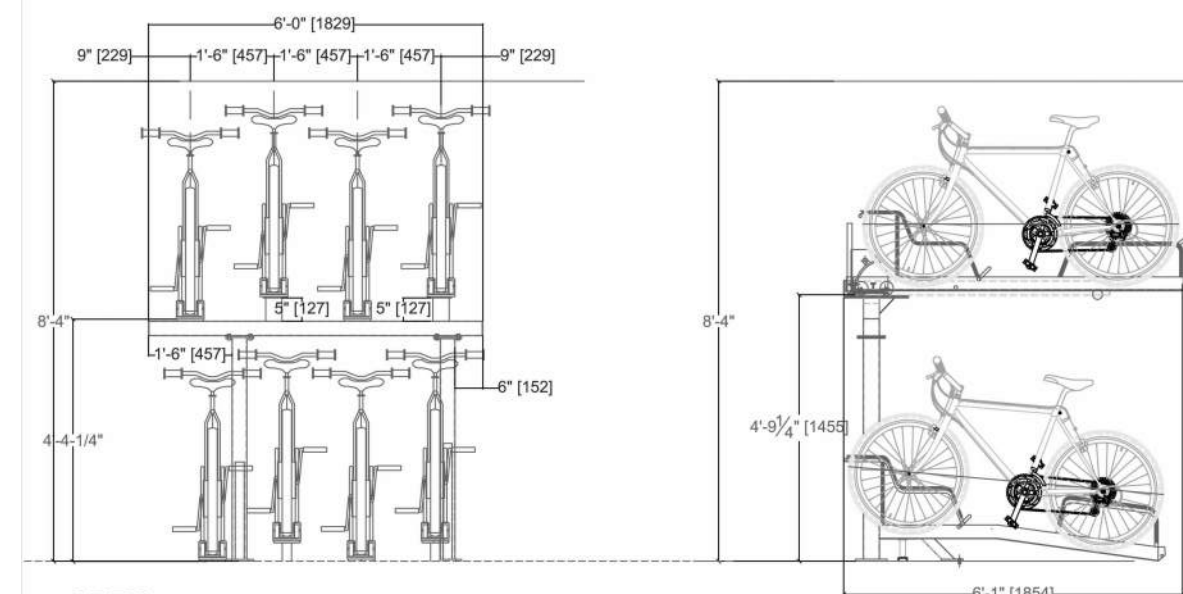
- NOTES:
- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm.
 - PROVIDE A 1500mm WALKWAY ON AT LEAST ONE SIDE OF AN ACCESSIBLE PARKING STALL. THIS WALKWAY MAY BE SHARED WITH ADJOINING ACCESSIBLE SPACE.

Typical Parking Space Legend 2
NTS dA1.01

GENERAL PARKING LEVEL NOTES:

- FOR ALL PARKING GARAGE REQUIREMENTS FOR PAINTING, LIGHTING, LEVELS, ETC, SEE NOTES "STORAGE GARAGE CONFORMANCE REQUIREMENTS" ON DWG A8-A-X
 - ELEVATOR:
 - ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE ELEVATOR CONSULTANT. A COPY OF THIS REPORT CAN BE OBTAINED FROM THE OWNER. COORDINATE SHAFT SIZE AND REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.
 - ELEVATOR PITS SHALL BE CO-ORDINATED WITH ELEVATOR SUPPLIER.
 - ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MIN. FIRE RESISTANCE RATING OF 90 MIN.
 - AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION TOP OF CONCRETE BLOCK AT FLOOR SLABS.
 - ELEVATOR PIT LADDERS TO BE GALVANIZED STEEL AND EXTEND 1200mm ABOVE SILL. LADDERS TO BE SUPPLIED & INSTALLED BY GENERAL CONTRACTOR.
 - REFER TO INTERIOR DESIGN DRAWINGS FOR VESTIBULES, ELEVATOR LOBBIES, INTERIOR FINISHES AND SPECIFICATIONS.
 - ALL AIR SHAFTS SLABS SHOULD HAVE 2% SLOPE TOWARDS DRAIN.
 - ELEVATOR PIT SHOULD HAVE 2% SLOPE TOWARDS DRAIN.
 - PROVIDE 20X20MM CHAMFER TO ALL CORNERS OF COLUMNS AND CONCRETE WALLS.
 - ALL SUMP PITS TO BE PRECAST WITH AIR TIGHT FRAME AND COVER.
 - FOR SAW CUT PATTERN, REFER TO STRUCTURAL DRAWINGS.
 - FOR UNDER FLOOR DRAINAGE SEE MECHANICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED, ALL PARKING SPACES ARE 2.6M X 5.6M DRIVEWAY ISLES 6.0M AND ALL BARRIER-FREE SPACES ARE 3.65M X 5.6M
 - PROVIDE INSULATED HEATED PLENUM TO UNDERSIDE OF GROUND FLOOR AS DENOTED BY SHADED AREA.
 - PROVIDE SEMI-RIGID NON-COMBUSTIBLE INSULATION TO U/S OF NON-RESIDENTIAL HEATED AREAS AS DENOTED BY SHADED AREA.
 - PROVIDE TRAFFIC TOPPING ON LEVELS P1, P2, P3, AND P4 AS SPECIFIED. ADJUST CONCRETE TO SATISFY TRAFFIC TOPPING SYSTEM - AT ALL DOORS FROM PARKING GARAGE TO COMMON AREAS (LOCKER ROOMS, LOBBIES AND VESTIBULES), PROVIDE ALUMINUM THRESHOLD TO ACCOMMODATE TRANSITION FROM TRAFFIC TOPPING TO INTERIOR FINISH AT DOORS TO MECHANICAL ROOMS. FEATHER TRAFFIC TOPPING AS REQUIRED.
 - FOR EXHAUST AND INTAKE LOUVER SIZE AND LOCATION IN MECHANICAL, ELECTRICAL AND LOCKER ROOMS REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
 - FOR SHORING AND CAISSON WALL LOCATION AND DETAILS REFER TO DRAWINGS PREPARED BY ISHERWOOD ASSOCIATES.
 - PROVIDE PAINTED BLUE 600mm WIDE BAND, 900mm A.F.F., AT ALL COLUMN LOCATIONS WHICH HAVE A SECURITY PANIC ALARM STATION. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS. ARCHITECT AND ENGINEER TO APPROVE COLOUR
 - LOCKER ROOM NOTES:
ALL LOCKER AISLES WIDTH TO BE 1100mm (TYP.). LOCKERS TO BE CONSTRUCTED WITH 6"x6" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH. PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILINGS TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT.
REVIEW LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
- BICYCLE SPACE NOTES:
ALL BICYCLE SPACES TO COMPLY WITH TORONTO BICYCLE BYLAW STANDARDS.
HORIZONTAL RACKING 600w X 1800dp X 1900h.
VERTICAL RACKING 600w X 1200dp X 1900h.
- BICYCLE LOCKER NOTES:
REFER TO TYPICAL BICYCLE LOCKER DETAIL ON A1 AND A2 SERIES DRAWINGS
- AT ALL STAIR PRESSURIZATION SHAFT ENCLOSURES, NO SERVICES SHALL BE ALLOWED TO PENETRATE, OR PASS THRU THIS ENCLOSURE.
 - GARAGE WALLS, COLUMNS, DOORS ECT. SHALL BE PAINTED IN ACCORDANCE WITH TORONTO MUNICIPAL CODE PROPERTY STANDARDS.
 - PROVIDE ALL SIGNAGE, IDENTIFYING DEVICES AND HARDWARE AS REQUIRED BY TORONTO MUNICIPAL CODE PROPERTY STANDARDS 629-40, 629-41, 629-42 AND 629-43.

General Parking Levels Notes 3
NTS dA1.01

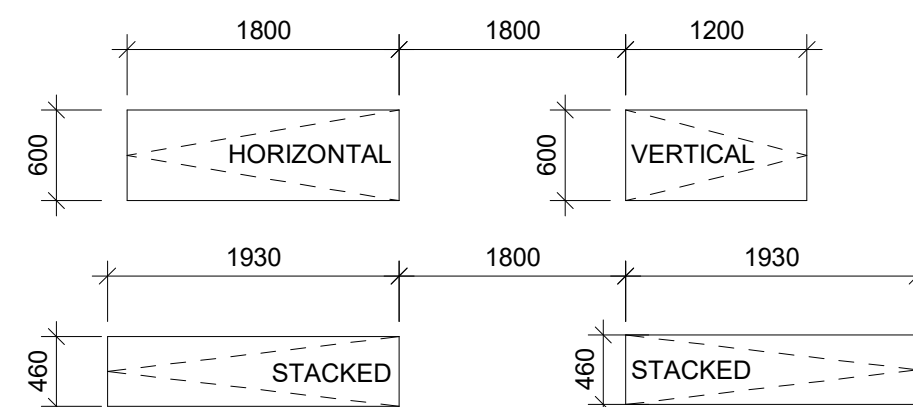


SPEC.
PRODUCT- The Lock-up stackable bike rack
Multiple stackable bike rack
SECTIONS- 8' sections, 8' sections x Single sections
CAPACITY- 8 bikes, 6 bikes, or 2 bikes
MATERIAL- HSS steel
FINISHES- Hot Dipped Galvanized
SPACE USE/SETBACKS- 18" center to center

Single Stackable Bike Rack Section

TYPICAL BICYCLE PARKING SPACE:

WALKWAY:
VERTICAL PARKING SPACE: 1800mm (L) x 600mm (W)
HORIZONTAL PARKING SPACE: 1800mm (L) x 600mm (W)
STACKED PARKING SPACE: 1930mm (L) x 460mm (W)



Project Statistics 4
NTS dA1.01

Typical Bicycle Parking Space Legend 5
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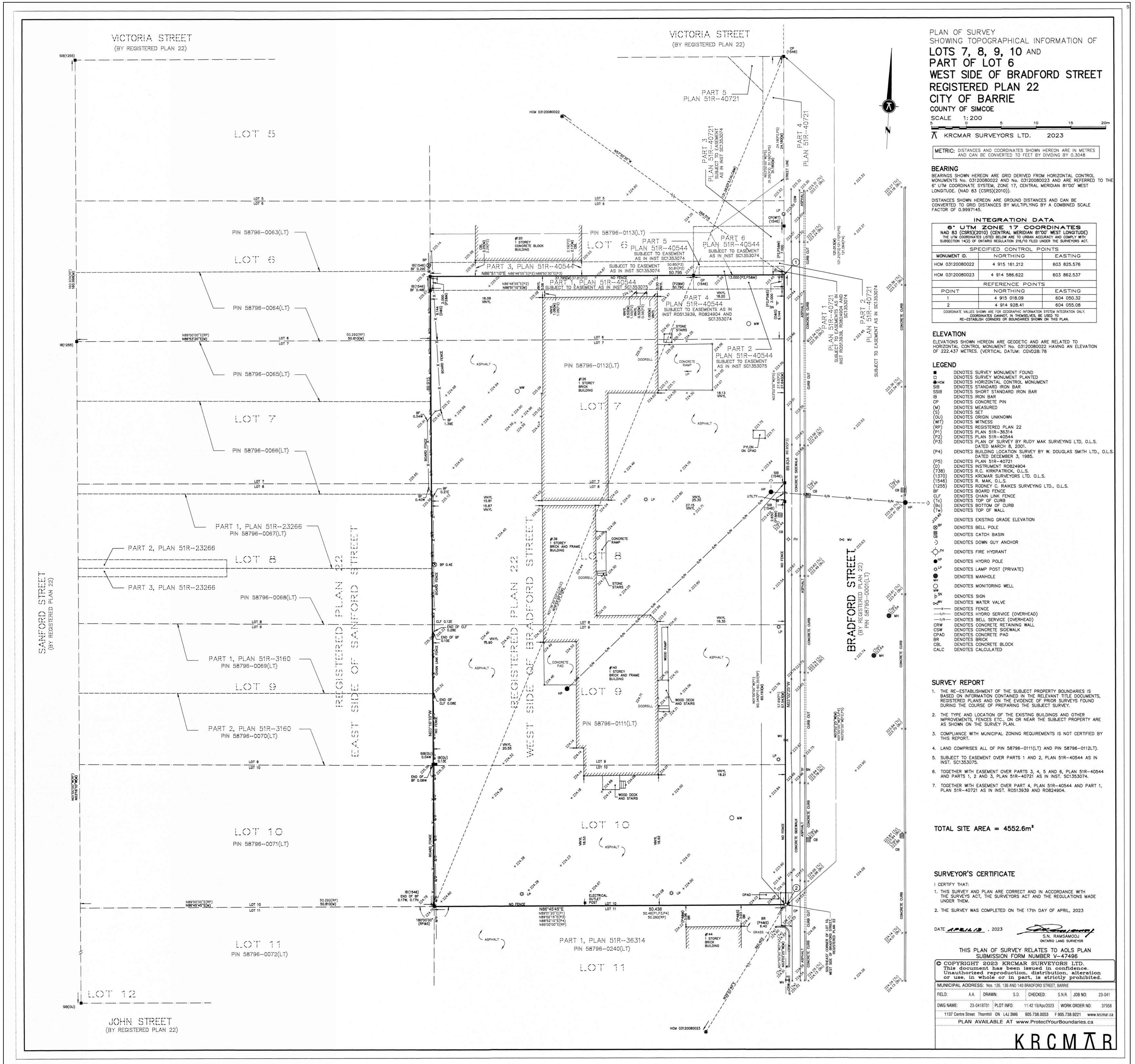
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Project Information/Site Context/Statistics

Scale:
1 : 50
Drawn by:
A.P.
Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28, 2023
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126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Site Survey

Scale:
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A.P.

Checked by:
R.P.

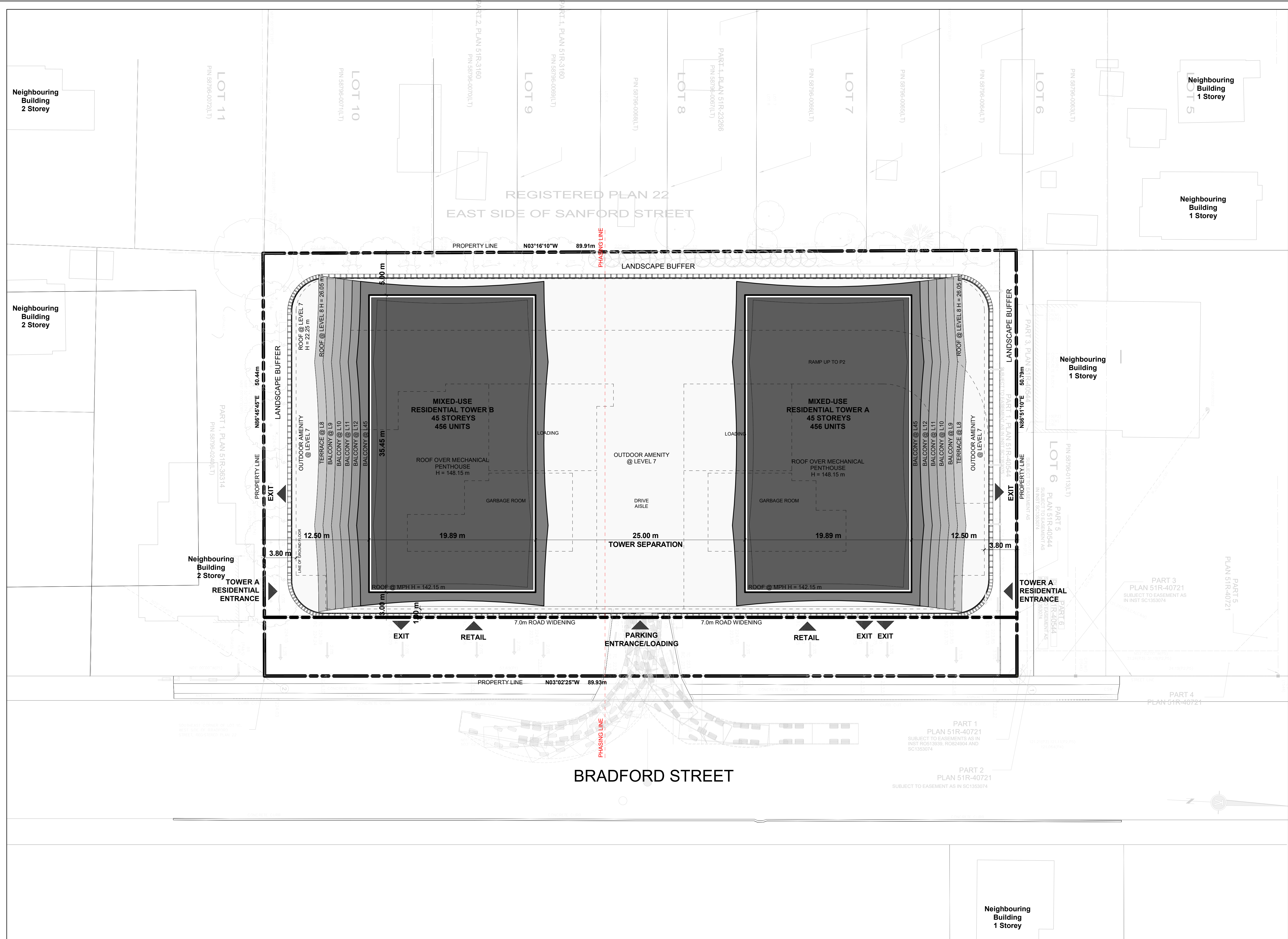
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Site Survey
NTS
2
dA1.02

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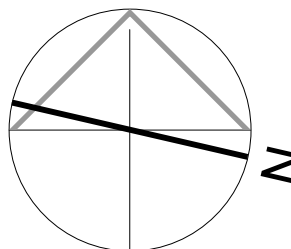
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CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Overall Site Plan

Scale:
1 : 200
Drawn by:
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Checked by:
R.P.
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Drawing No.:



dA1.03

Site Plan 1
1 : 200

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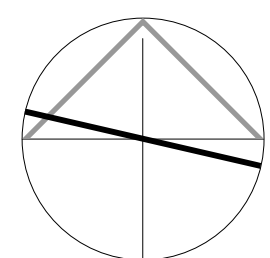
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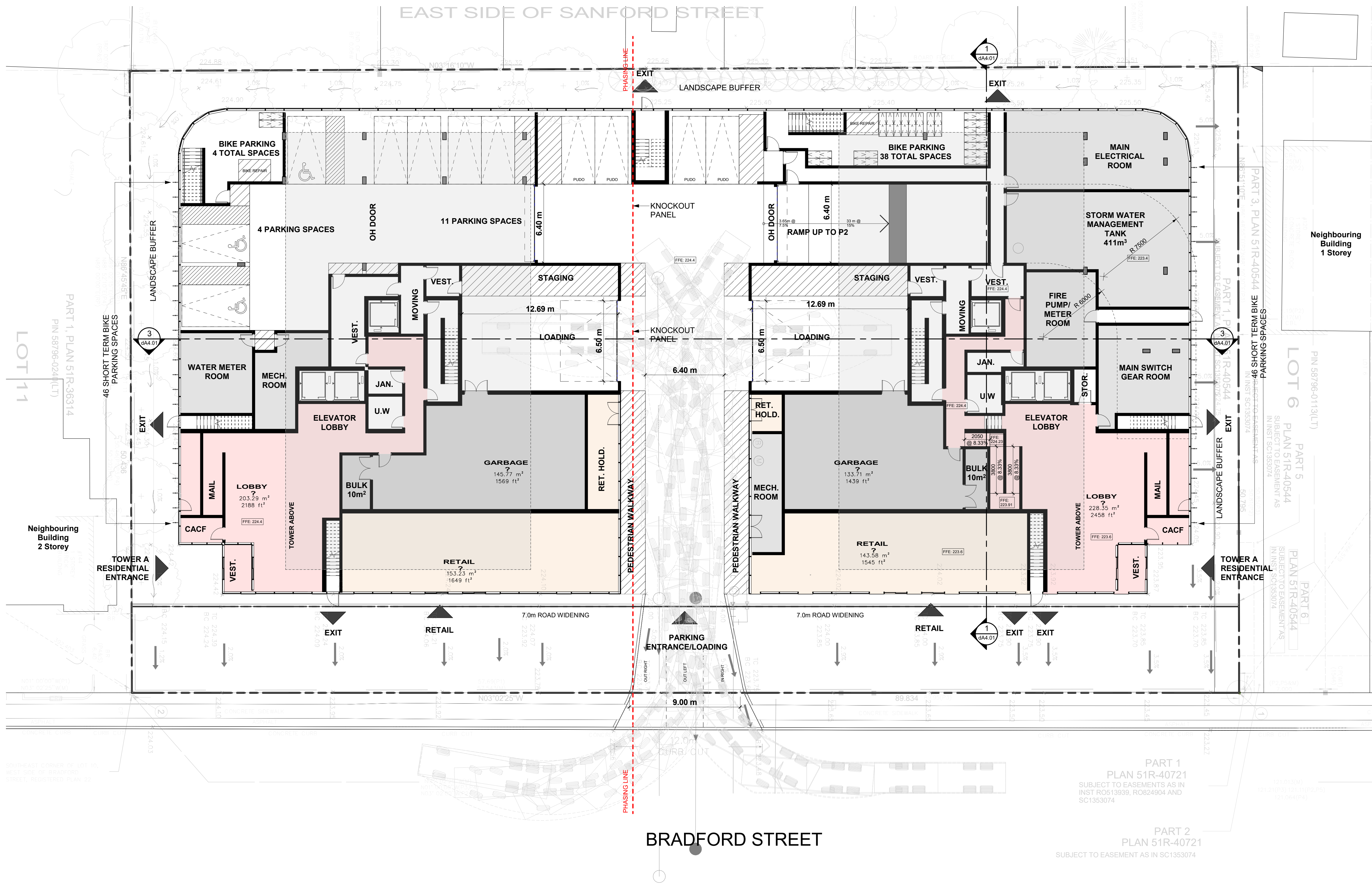
126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Parking Floor - Level 1

Scale:
1 : 150
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Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:



dA2.01



Floor Plan Level 1

1 : 150

1

dA2.01

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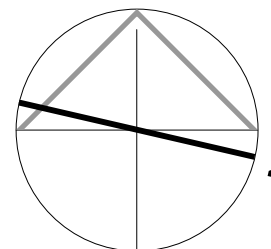
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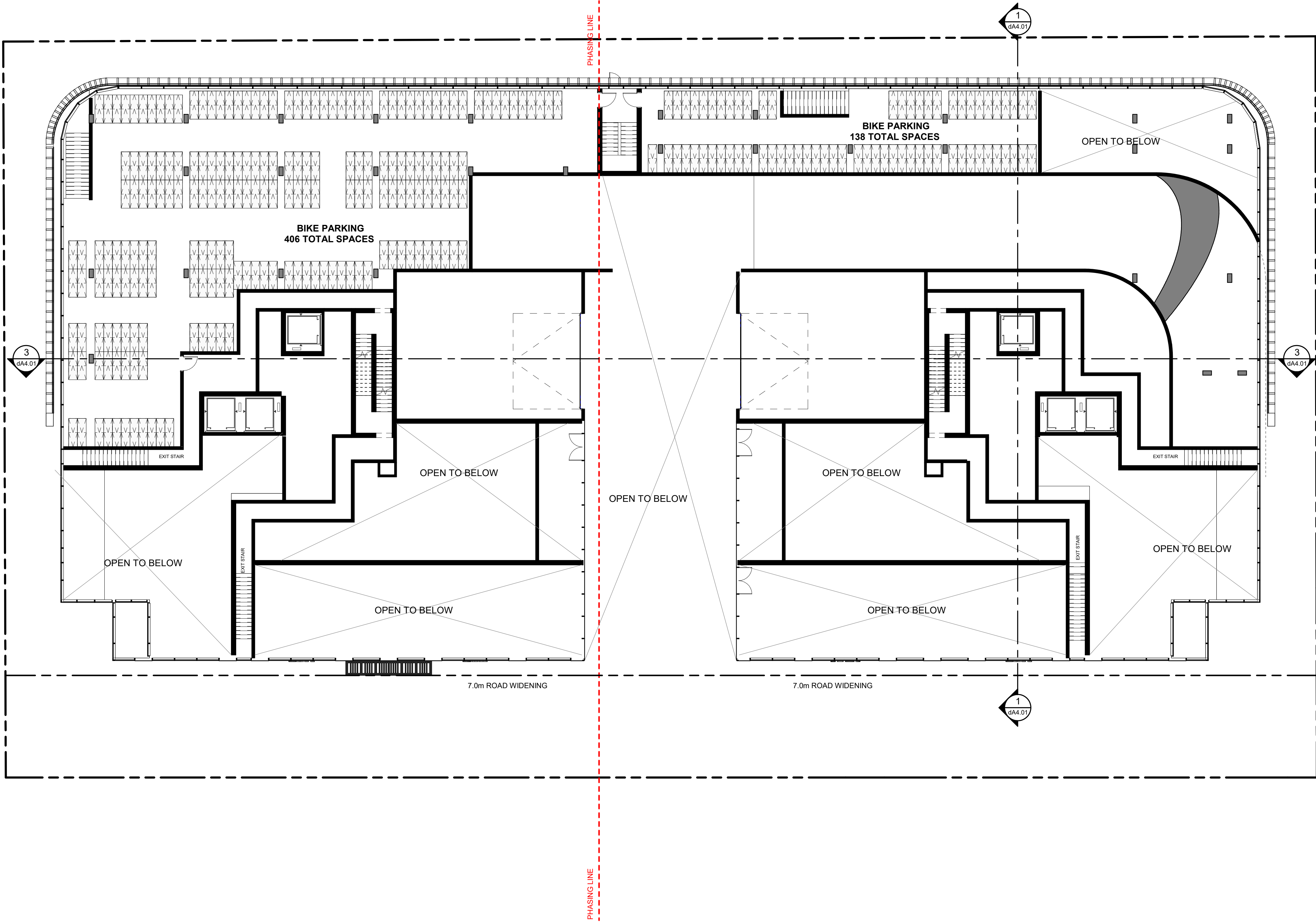
126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Parking Floor - Level 1 Upper

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1 : 150
Drawn by:
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R.P.
Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:



dA2.02



Floor Plan Level 1 Upper

1 : 150

1
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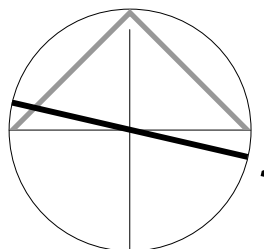
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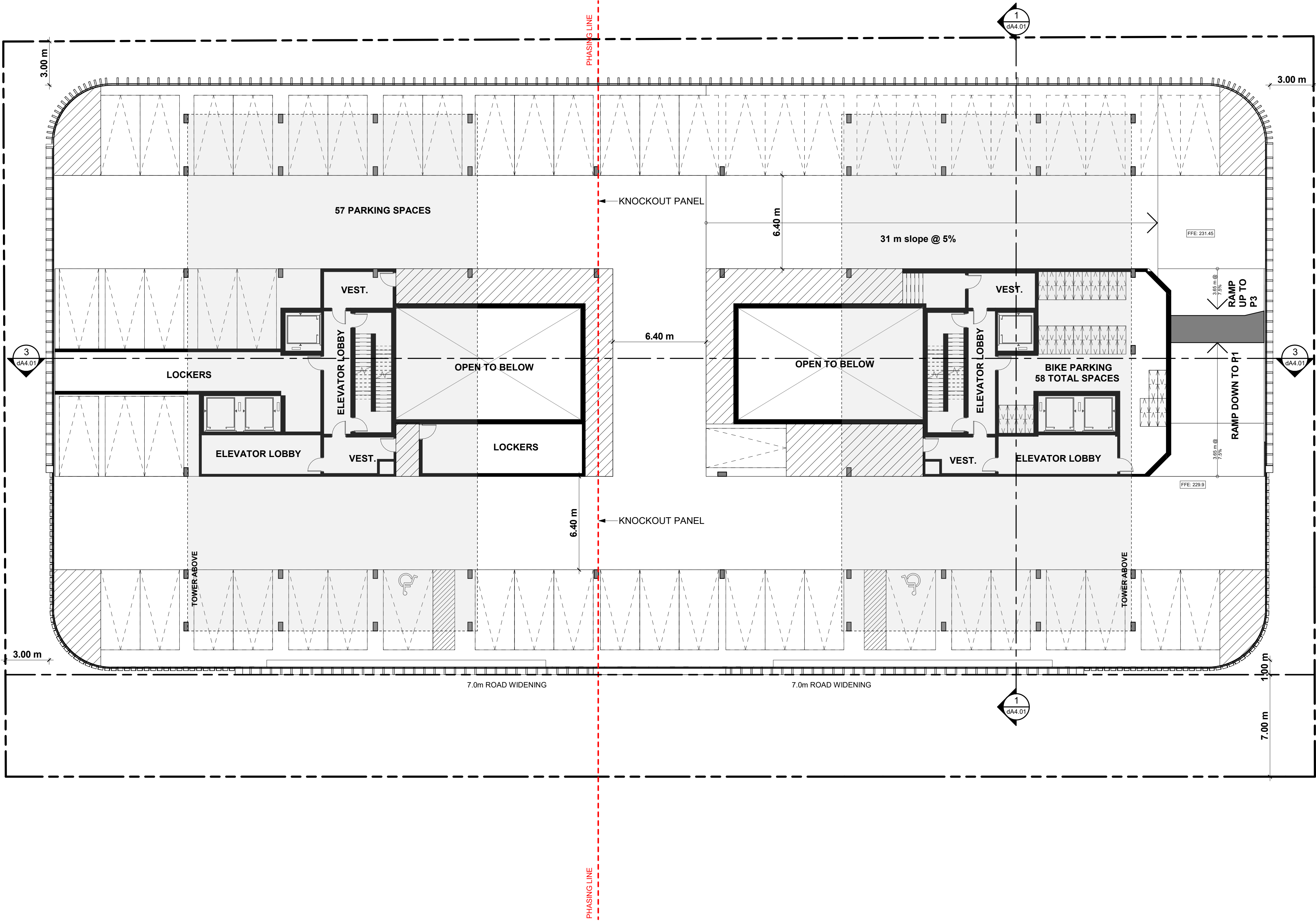
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Proposed Residential Development

Drawing Title:
Parking Floor - Level 2

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1 : 150
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dA2.03



Floor Plan Level 2

1 : 150

1
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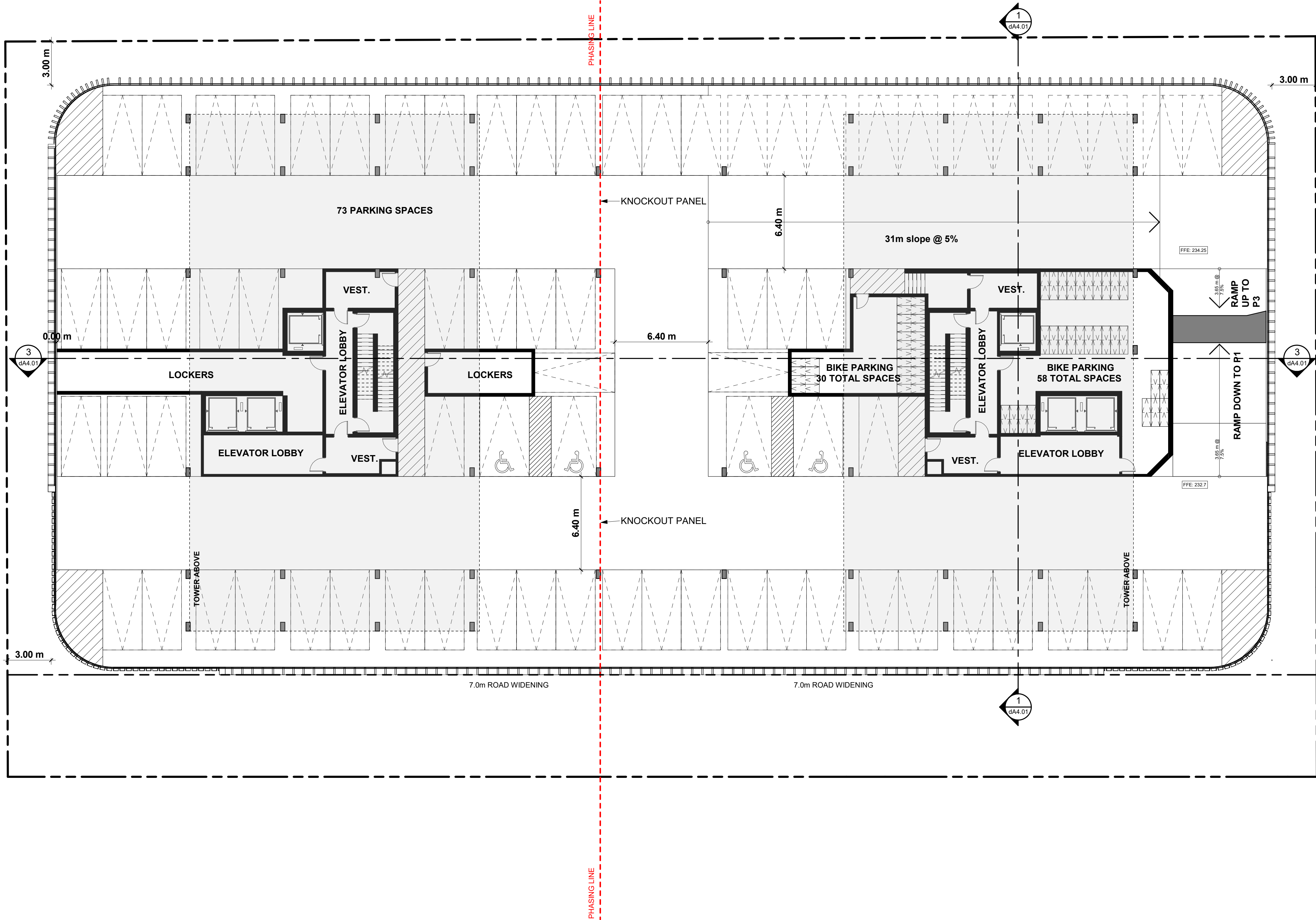
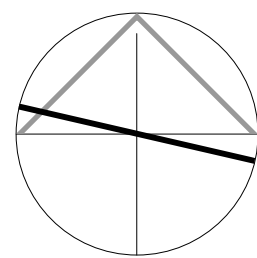
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126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Parking Floor - Level 3-4

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NOV 28, 2023
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Floor Plan - Level 3-4

1 : 150

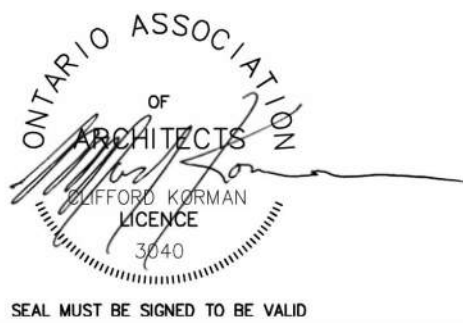
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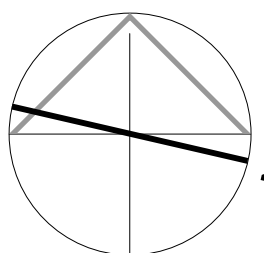
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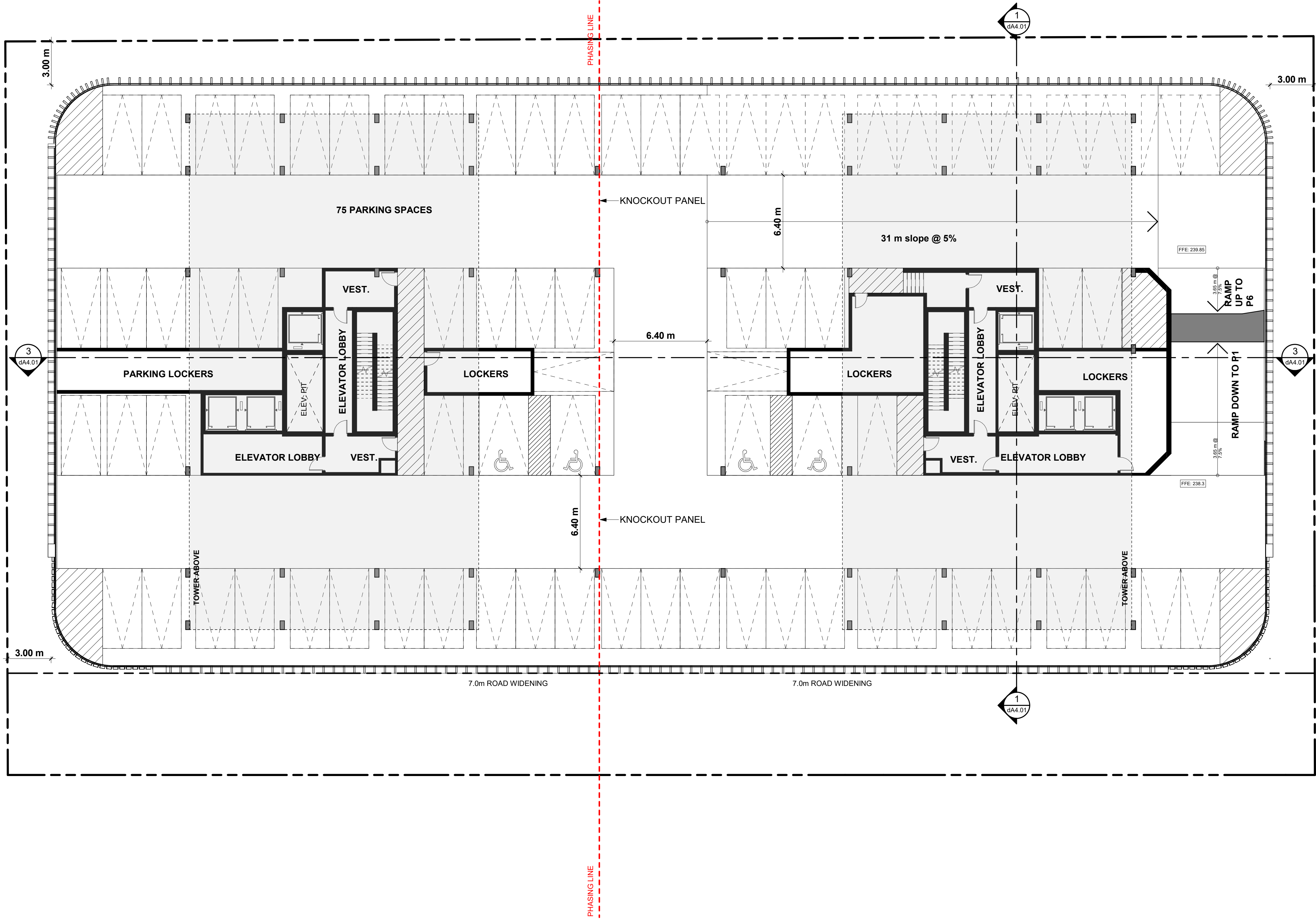
126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Parking Floor - Level 5

Scale:
1 : 150
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Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:



dA2.05



12 A2 Floor Plan - Level 5

1 : 150

1
dA2.05

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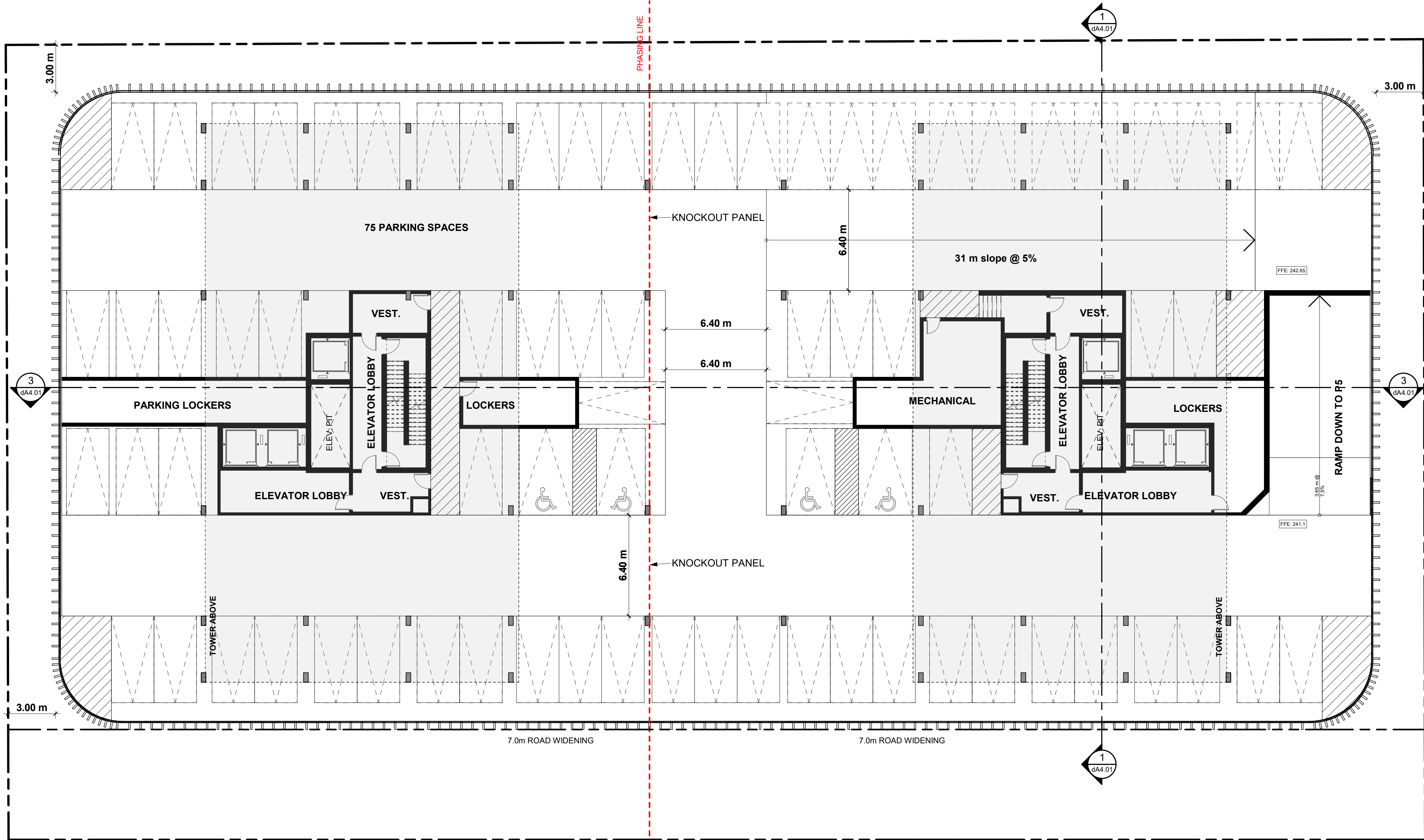
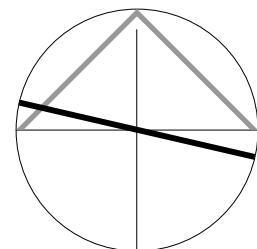
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Proposed Residential Development

Drawing Title:
Parking Floor - Level 6

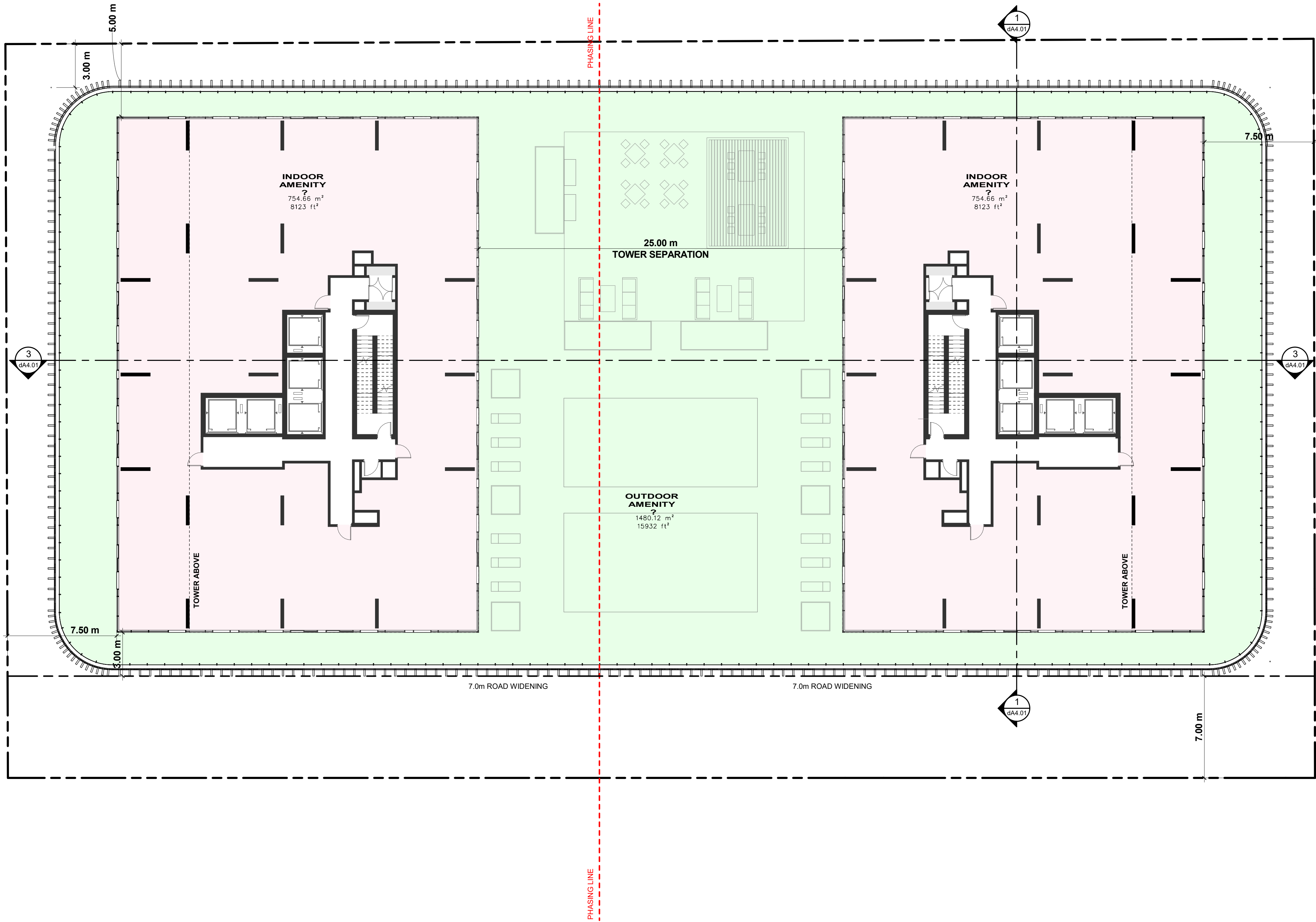
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Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:
dA2.06



12 A2 Floor Plan - Level 6

1 : 150

1
dA2.06



Floor Plan - Level 7

1 : 150

1
dA2.07

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Date:



KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto ON M3J 0H1

Revisions:		
No.:	Revision:	Date:

1	REZONING & OPA SUBMISSION	NOV 28, 2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Level 7

Scale:

1 : 150

Drawn by:

A.P.

Checked by:

R.P.

Project No.:

23-072

Date:

NOV 28, 2023

Drawing No.:

dA2.07

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No.:	Revision:	Date:

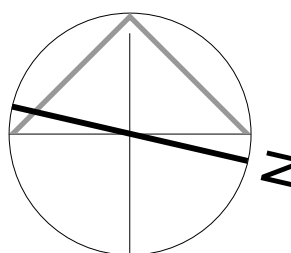
1	REZONING & OPA SUBMISSION	NOV 28, 2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

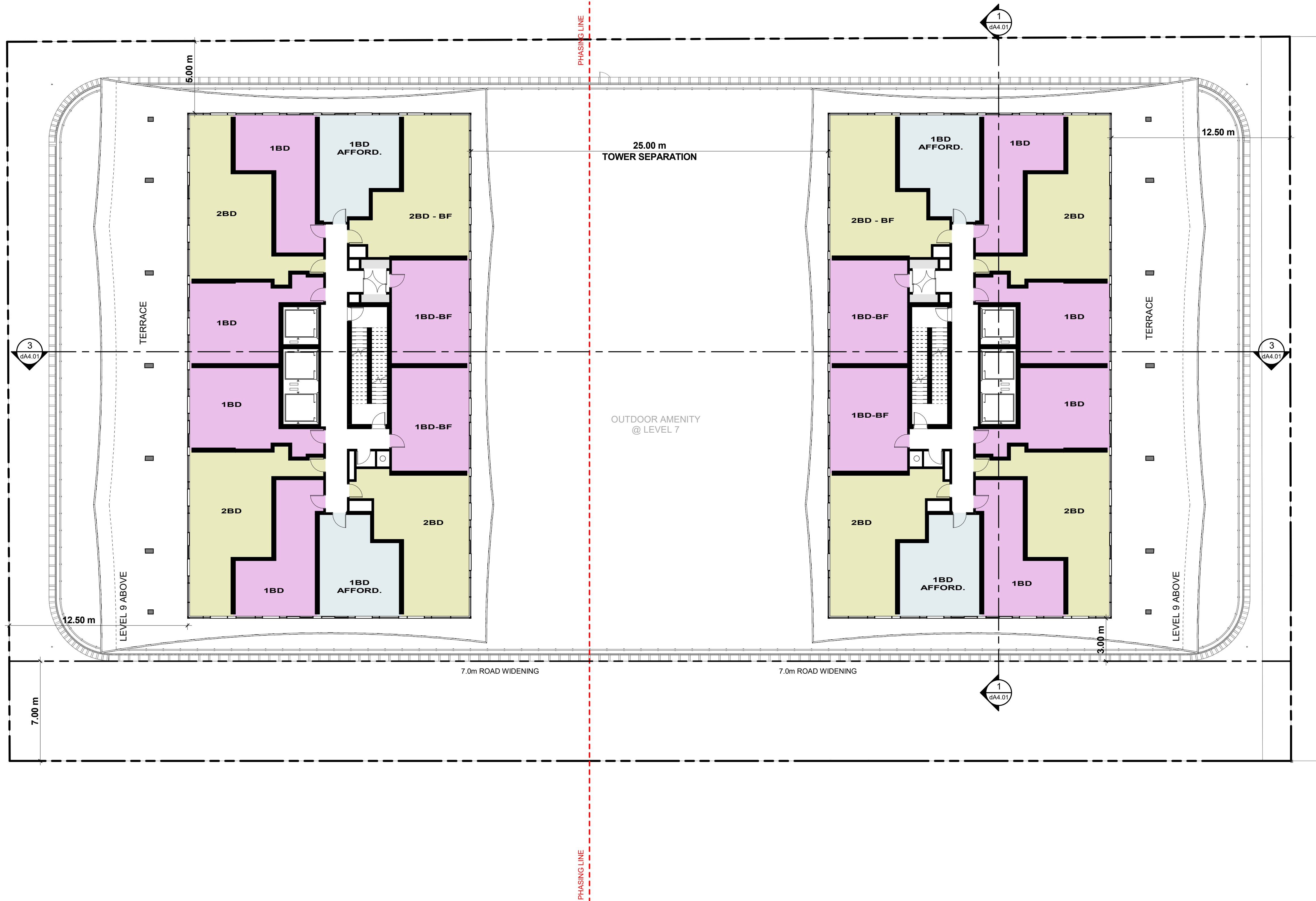
126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Level 8-11

Scale:
1 : 150
Drawn by:
A.P.
Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:



dA2.08



Floor Plan - Level 8-11

1 : 150

1
dA2.08

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No.:	Revision:	Date:

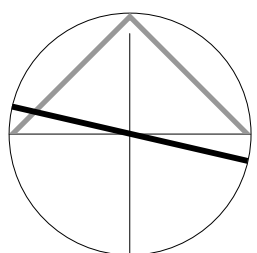
1	REZONING & OPA SUBMISSION	NOV 28, 2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

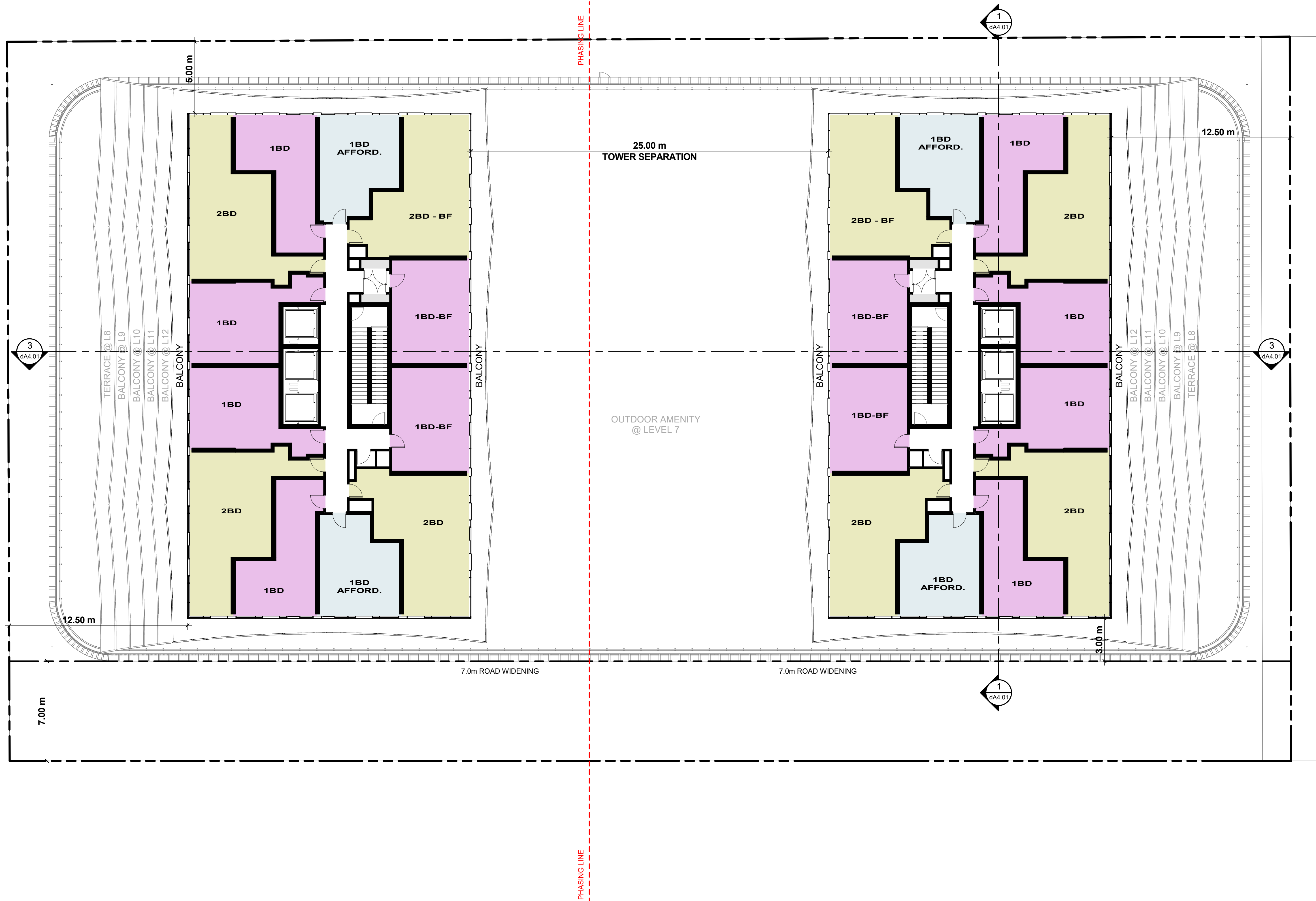
126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Level 12-41

Scale:
1 : 150
Drawn by:
A.P.
Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:



dA2.9



Floor Plan - Level 12-41

1 : 150

1
dA2.9



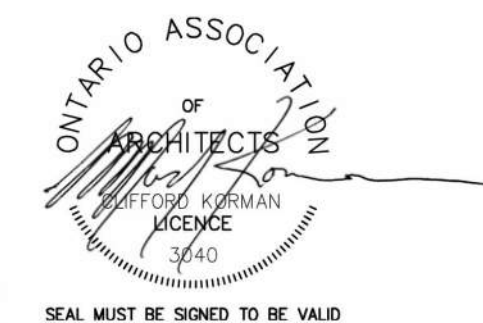
Floor Plan - Level 42-45

1 : 150

1
dA2.10

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No.:	Revision:	Date:

1	REZONING & OPA SUBMISSION	NOV 28, 2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Level 42-45

Scale:

1 : 150

Drawn by:

A.P.

Checked by:

R.P.

Project No.:

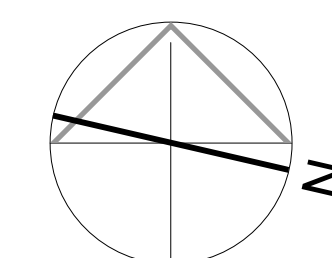
23-072

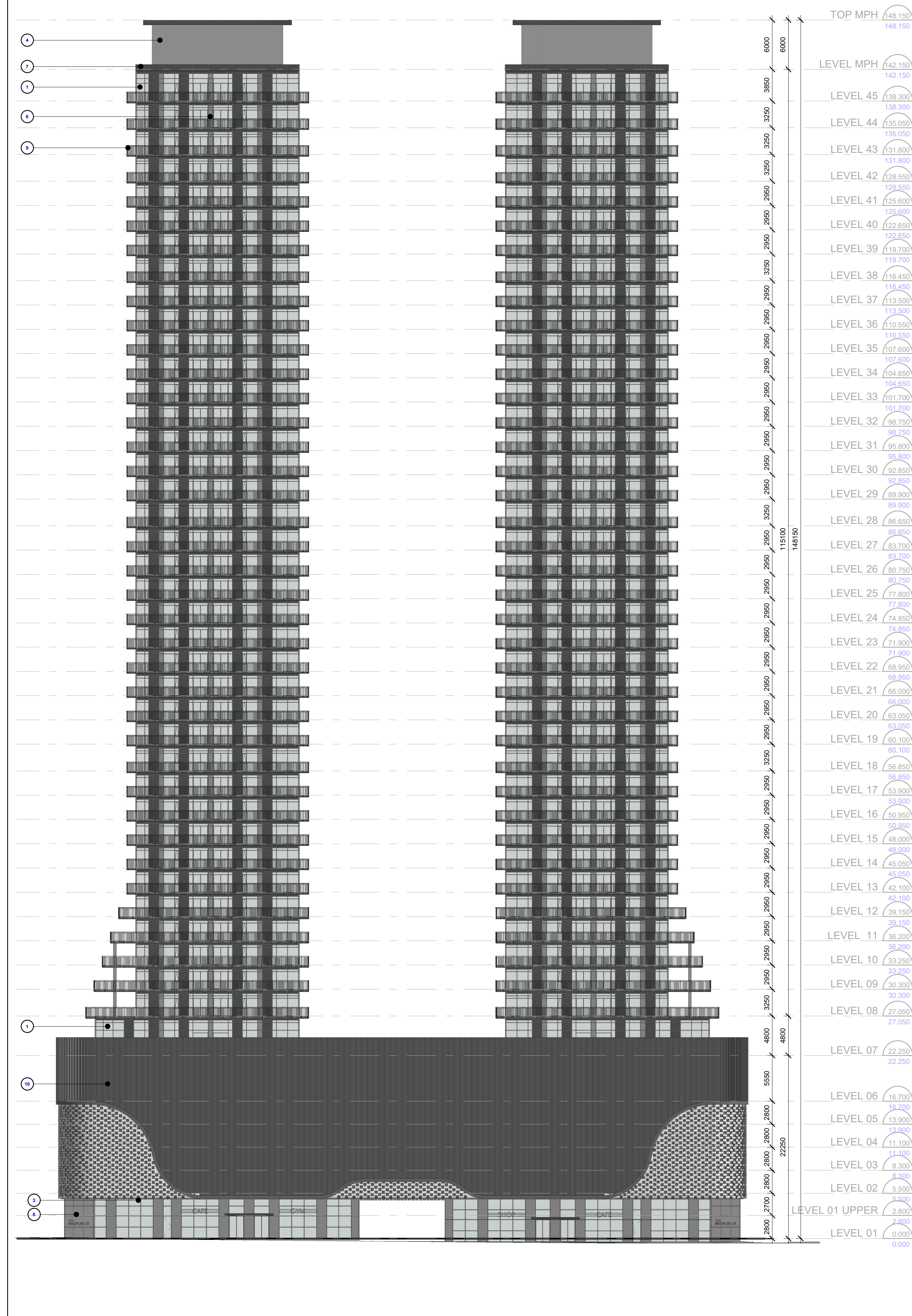
Date:

NOV 28, 2023

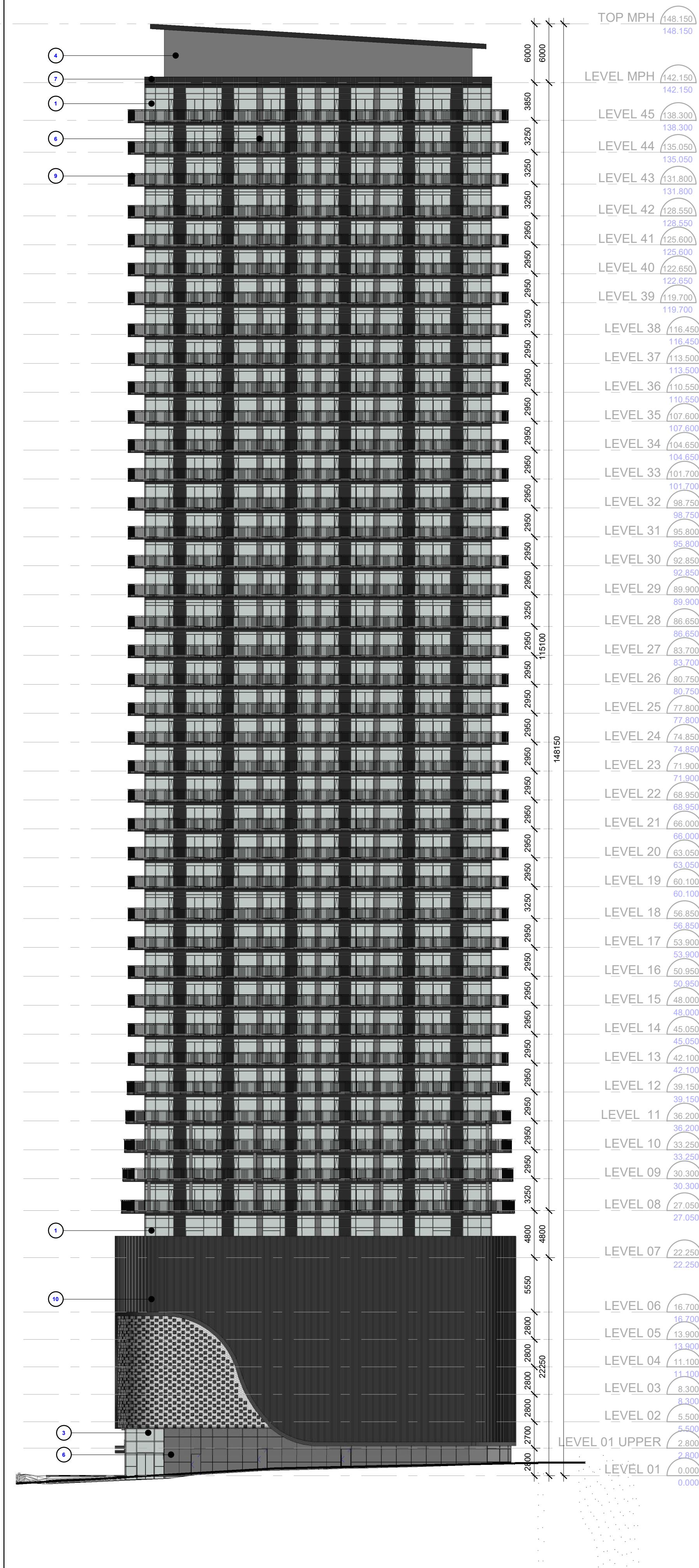
Drawing No.:

dA2.10





East Elevation 1
1 : 300 dA3.01



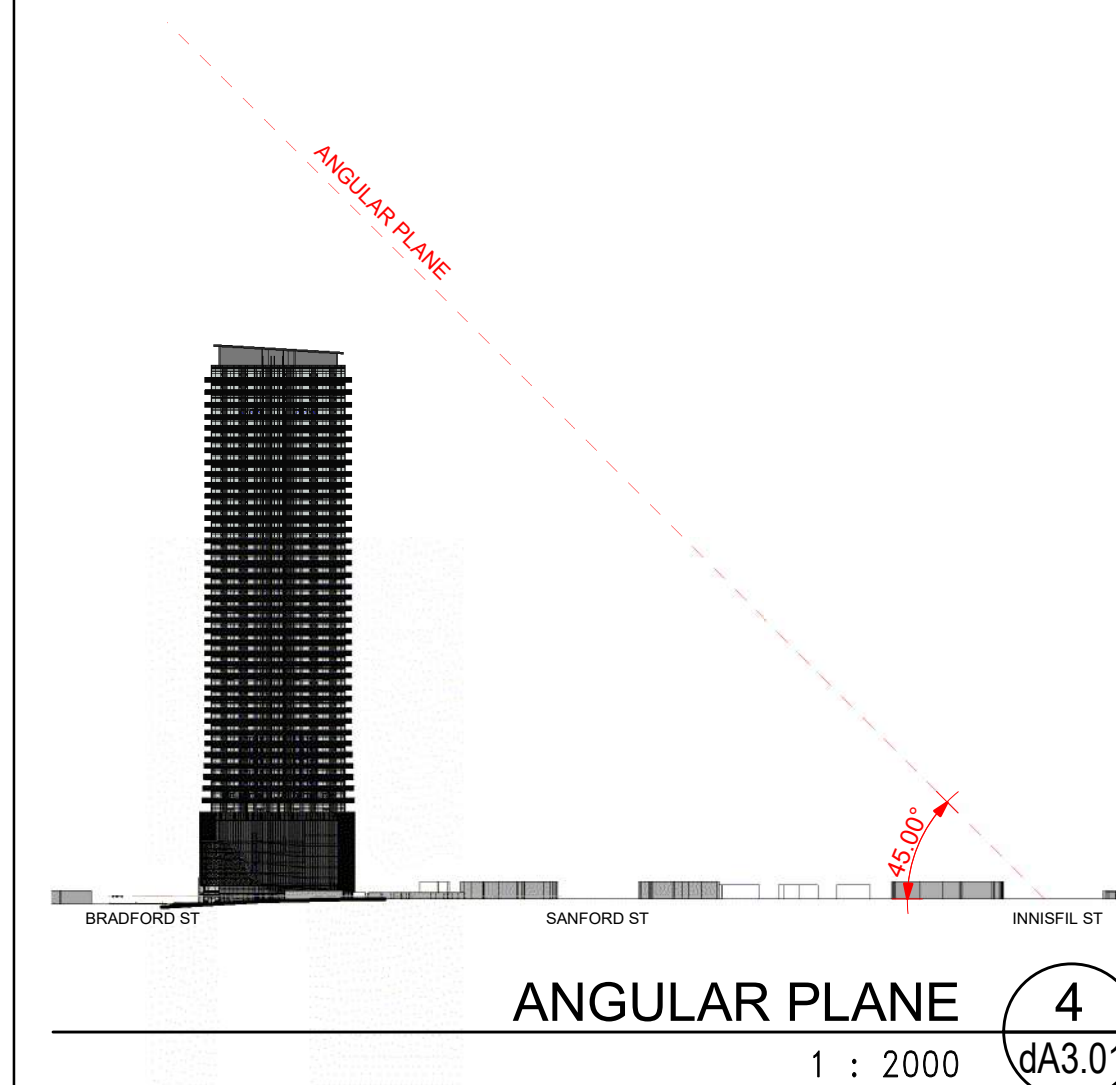
North Elevation 2
1 : 300 dA3.01

EXTERIOR FINISH LEGEND

23-072 126 BRADFORD ST

- 1 WINDOW WALL
- 2 CURTAIN WALL - UNITIZED
- 3 CURTAIN WALL - STOREFRONT
- 4 METAL PANEL SYSTEM
- 5 METAL SIDING SYSTEM
- 6 METAL PANEL
- 7 GLASS SPANDREL
- 8 FLASHINGS & COPINGS
- 9 METAL PICKET RAILING
- 10 PERFORATED METAL PANEL
- X MISCELLANEOUS ITEMS - CONTINUE NUMBERING CONVENTIONS

Exterior Finish Legend

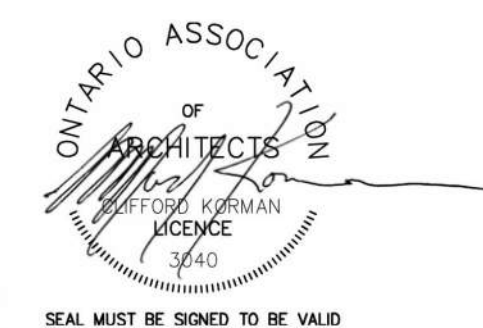


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Do not scale the drawings

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Toronto ON M3J 0H1

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No.:	Revision:	Date:
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1	REZONING & OPA SUBMISSION	NOV 28 2022
No.:	Issued For:	Date:

Client: **CROWN (BRADFORD) DEVELOPMENTS INC.**

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:

Elevations - North & East

Drawing Title:

Fact

& East

Scale:

As indicated

Drawn by:
A.D.

A.P.
Checked by:

Checked by:
R P

Project No.:

23-072

Date: _____

DV 28,2023

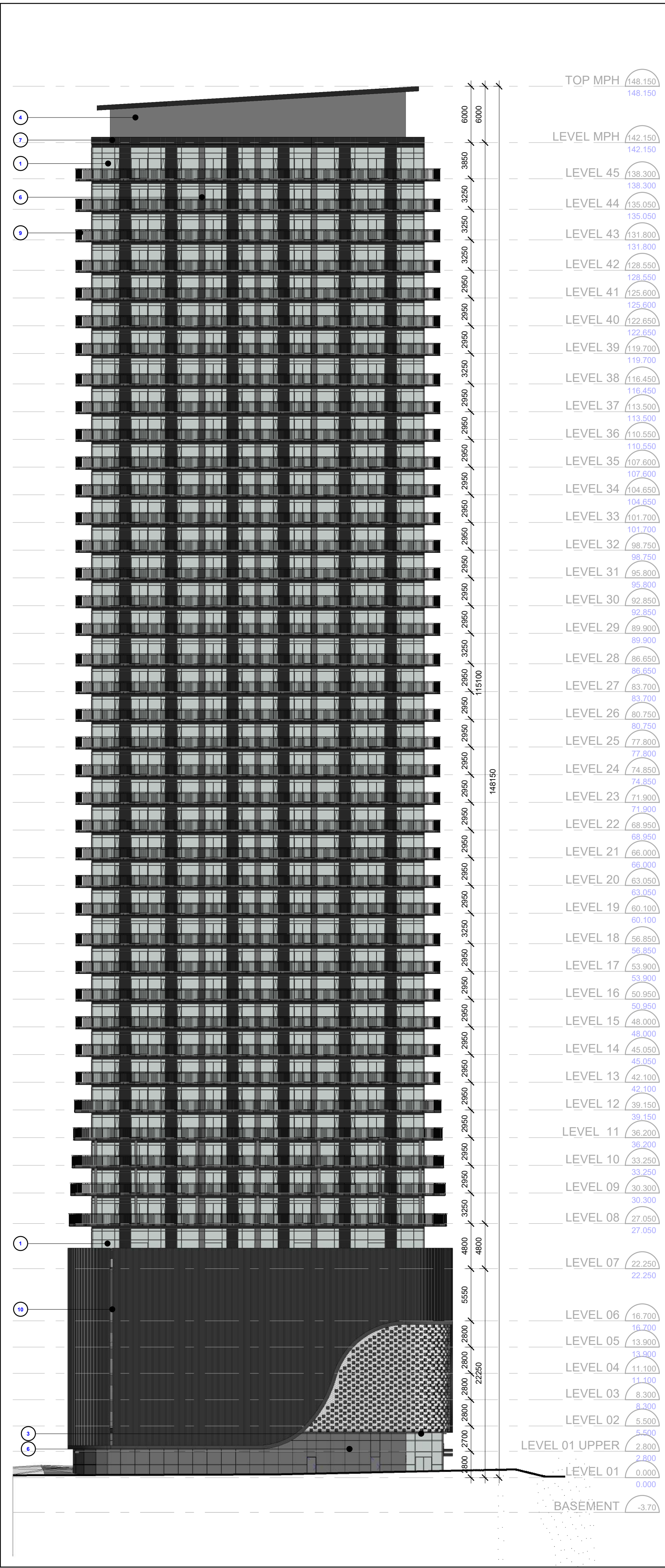
Drawing No.:

01

dA3.01

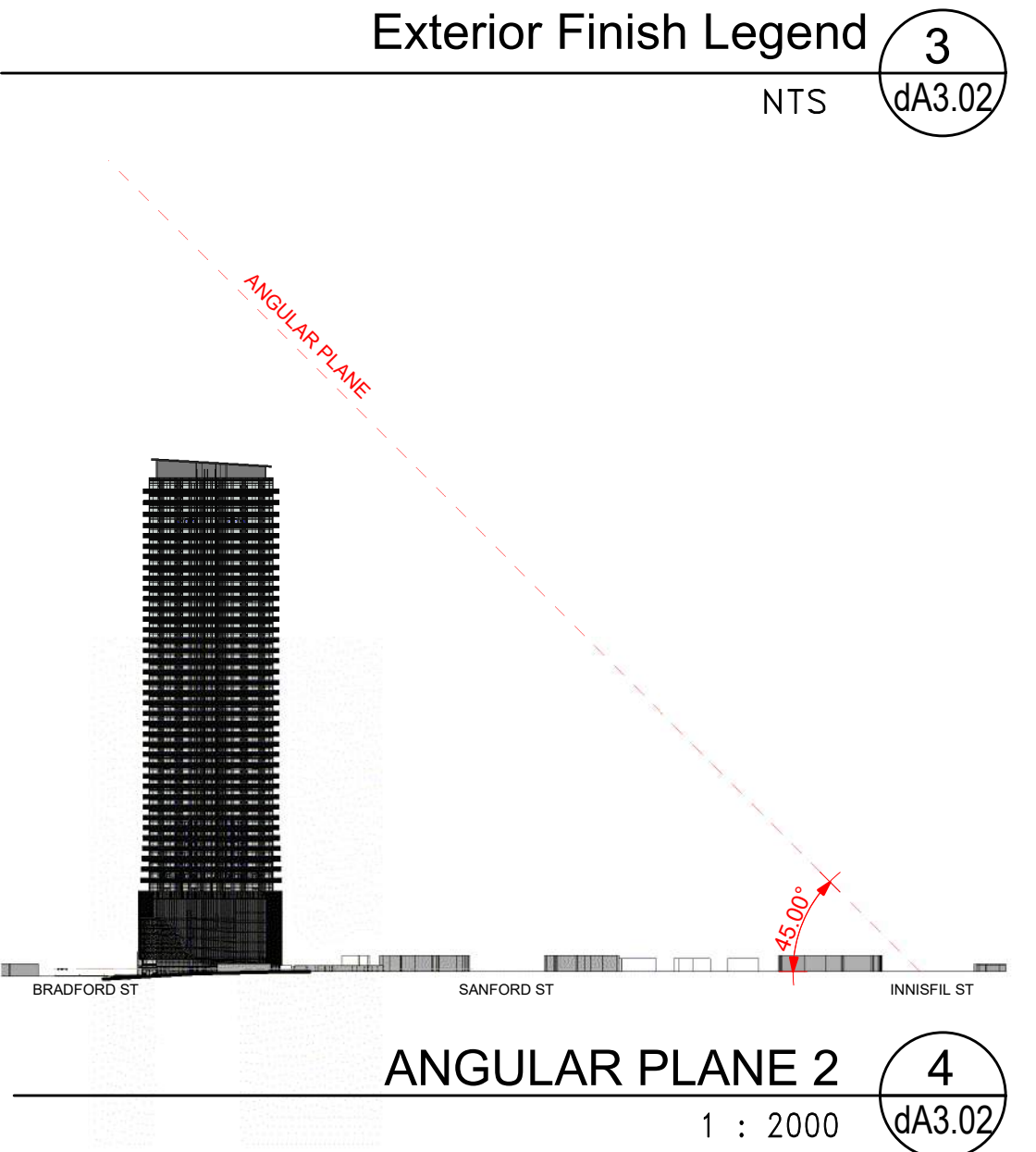


West Elevation 3
1 : 300 dA3.02



South Elevation 2
1 : 300 dA3.02

EXTERIOR FINISH LEGEND	
23-072 126 BRADFORD ST	
1	WINDOW WALL
2	CURTAIN WALL - UNITIZED
3	CURTAIN WALL - STOREFRONT
4	METAL PANEL SYSTEM
5	METAL SIDING SYSTEM
6	METAL PANEL
7	GLASS SPANDREL
8	FLASHINGS & COPINGS
9	METAL PICKET RAILING
10	PERFORATED METAL PANEL
X	MISCELLANEOUS ITEMS - CONTINUE NUMBERING CONVENTIONS



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Toronto ON M3J 0H1

Revisions:		
No.:	Revision:	Date:
1	REZONING & OPA SUBMISSION	NOV 28, 2023

No.:

Issued For:

Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Elevations - South & West

Scale:
As indicated

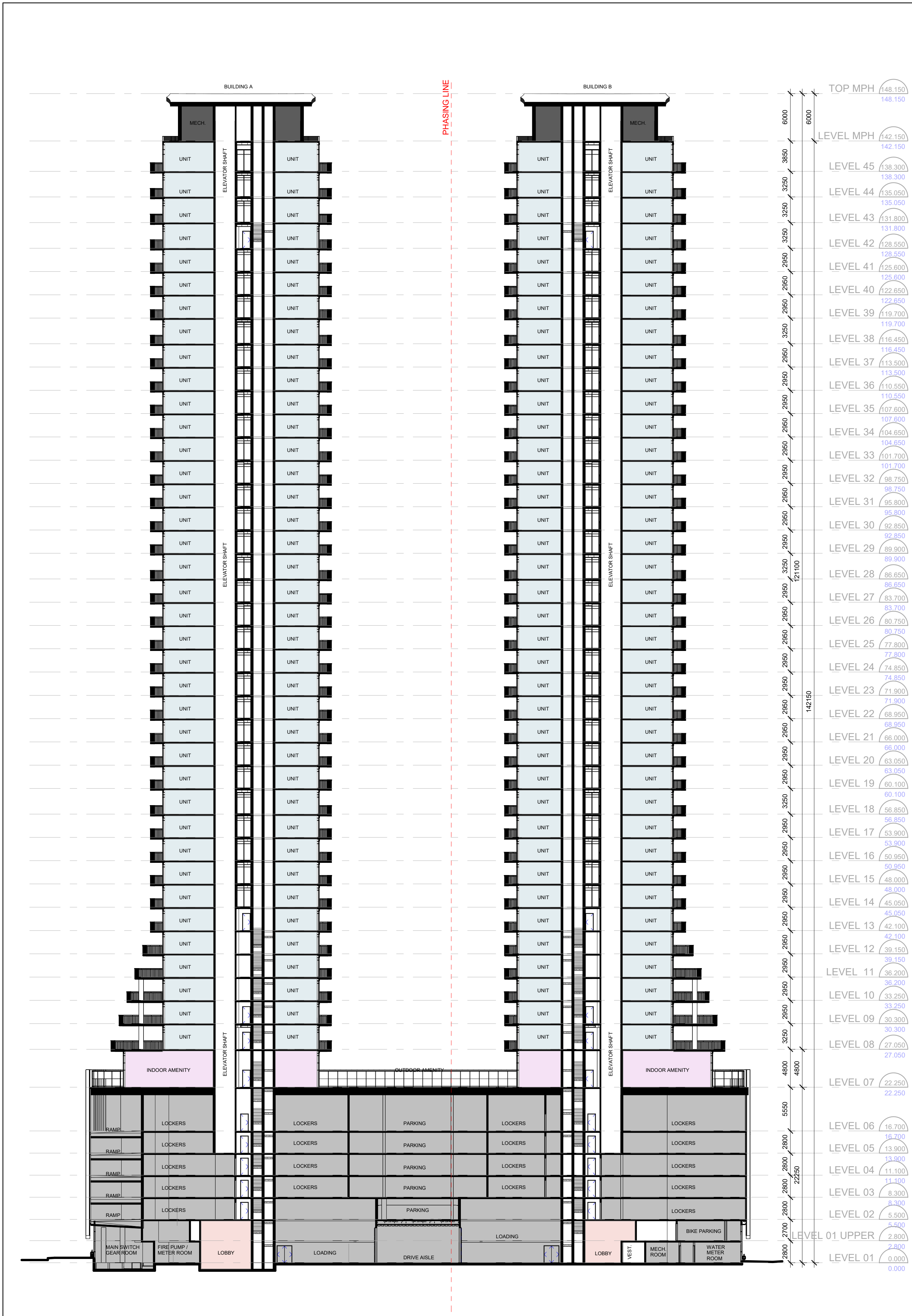
Drawn by:
A.P.

Checked by:
R.P.

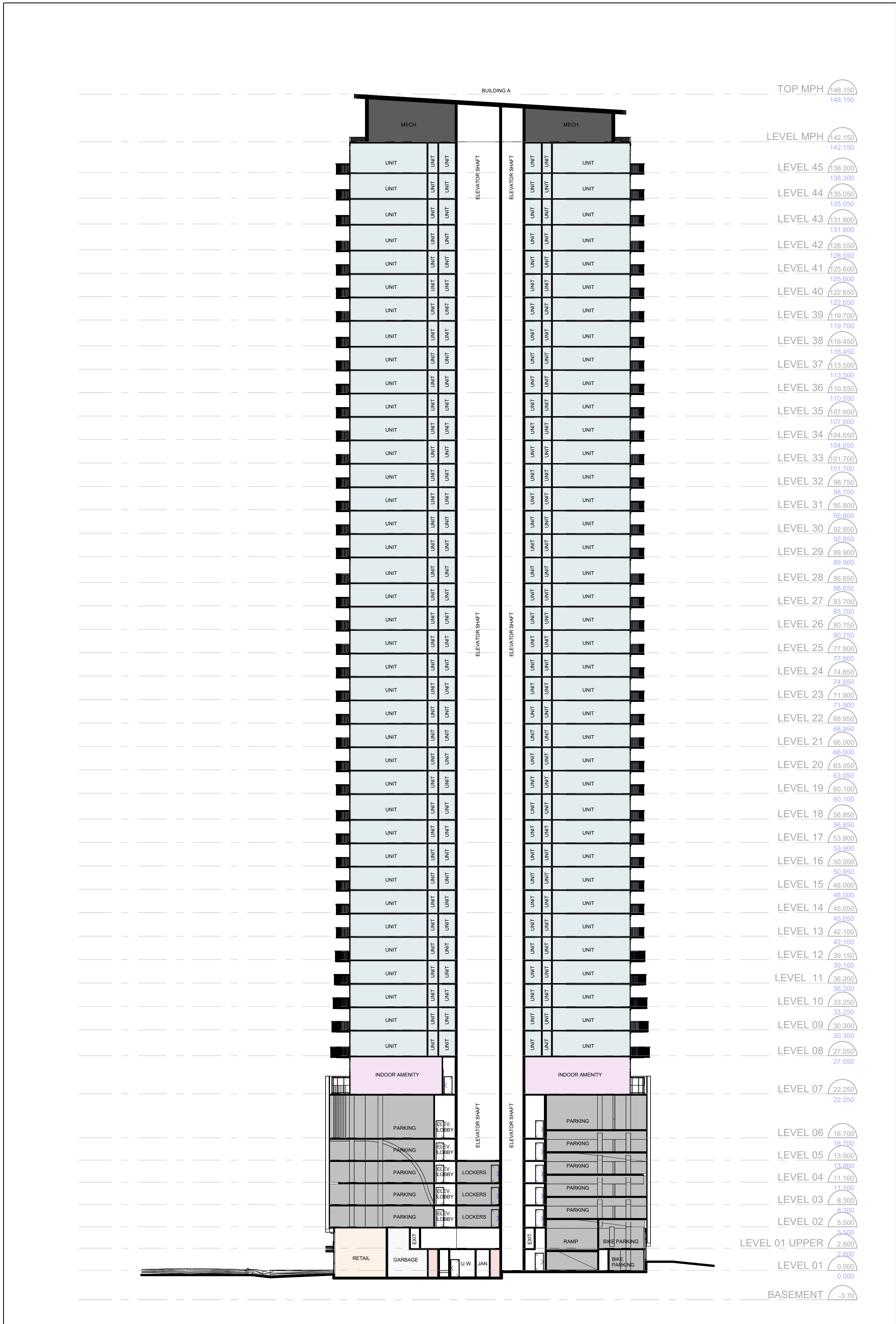
Project No.:
23-072

Date:
NOV 28, 2023

Drawing No.:
dA3.02



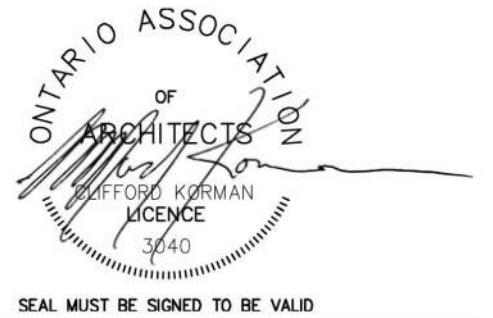
Building Section 1 3
1 : 300 dA4.01



Building Section 2 1
1 : 300 dA4.01

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No.:	Revision:	Date:

1	REZONING & OPA SUBMISSION	NOV 28, 2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.
126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Sections

Scale:
1 : 300
Drawn by:
A.P.
Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:

dA4.01



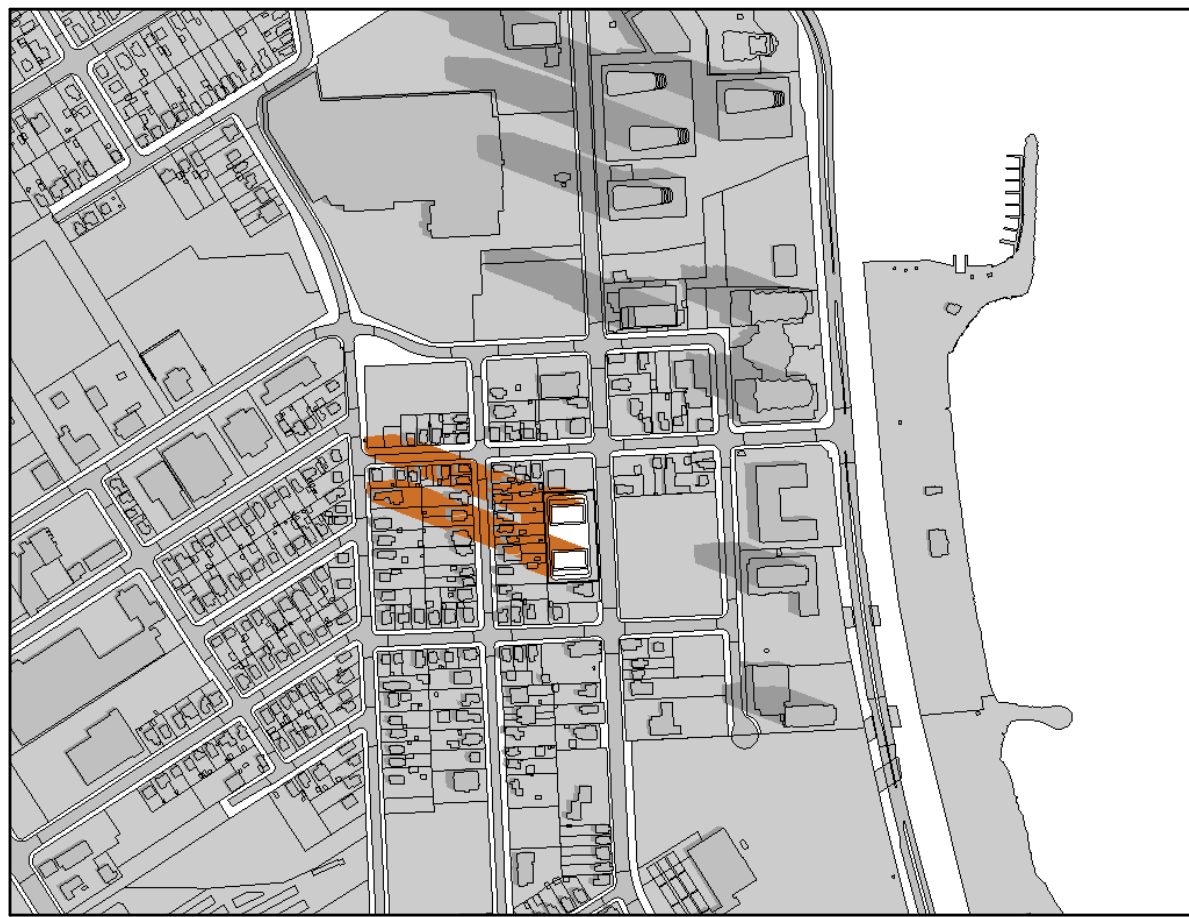
April 21 - 6:25am (DST) 1
NTS dA5.01



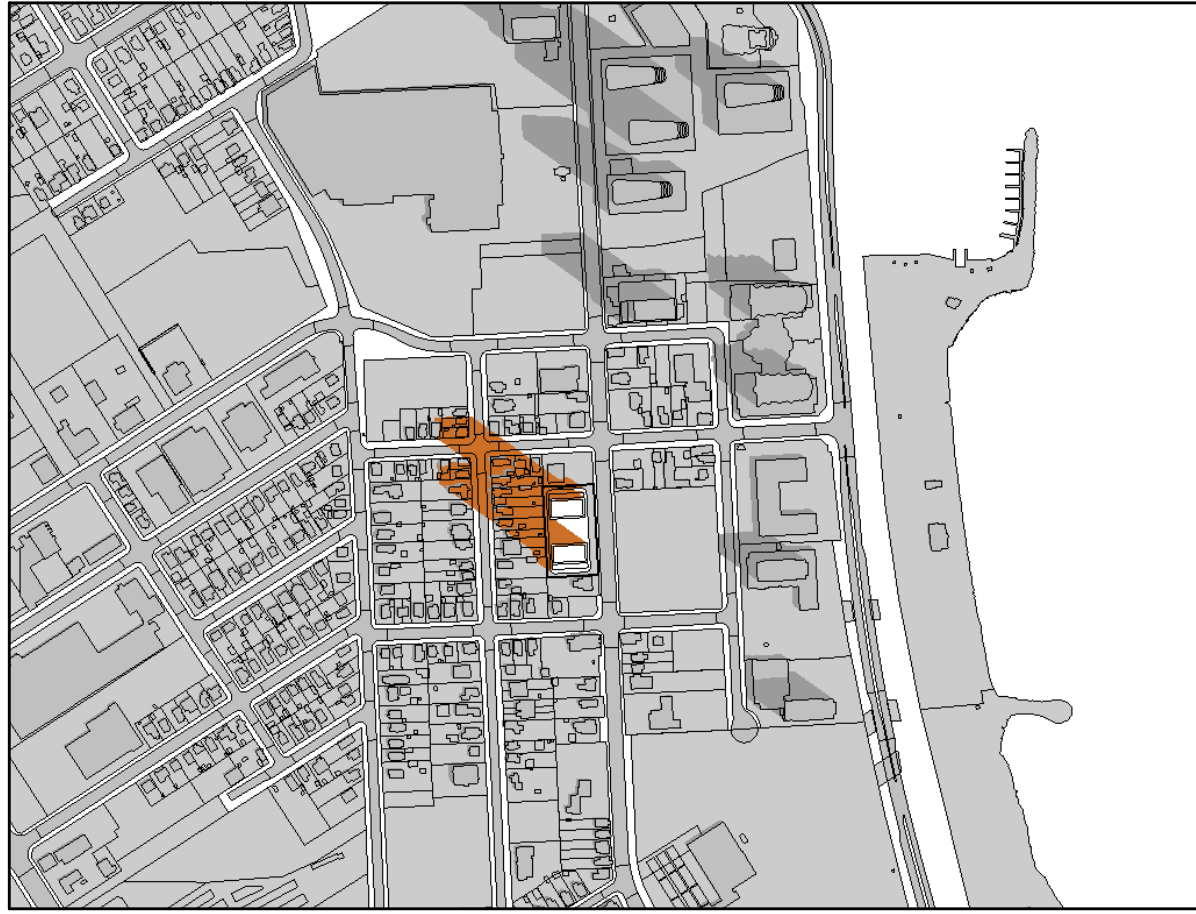
April 21 - 7:55am (DST) 2
NTS dA5.01



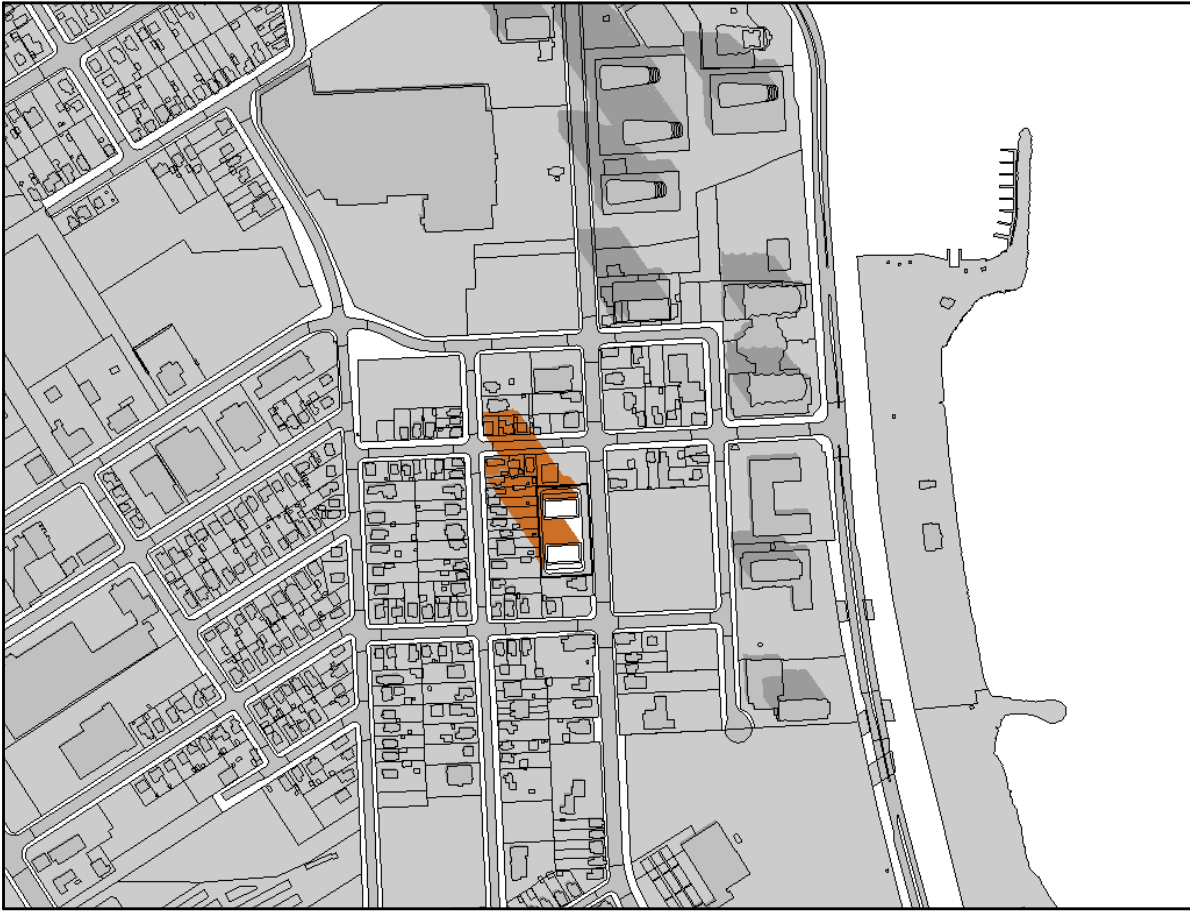
April 21 - 8:55am (DST) 3
NTS dA5.01



April 21 - 9:55am (DST) 4
NTS dA5.01



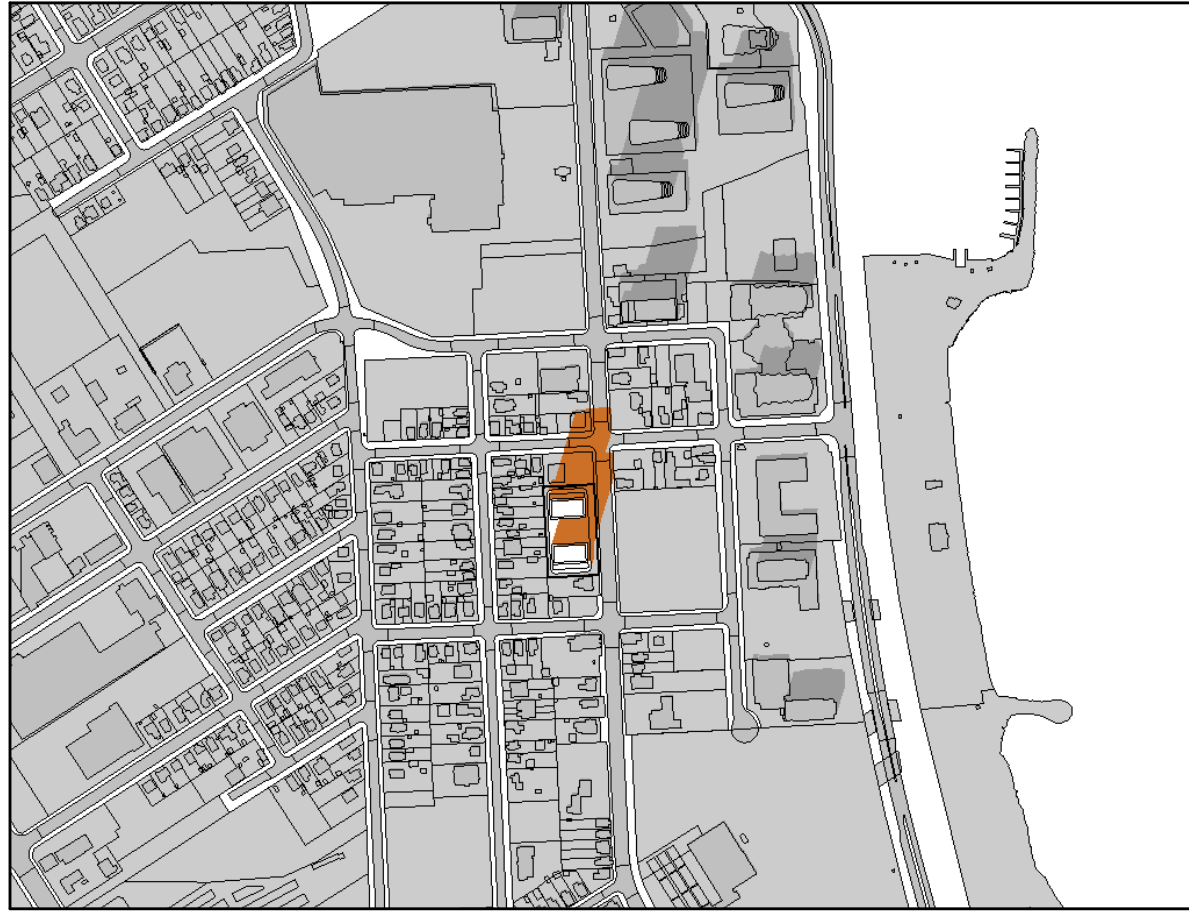
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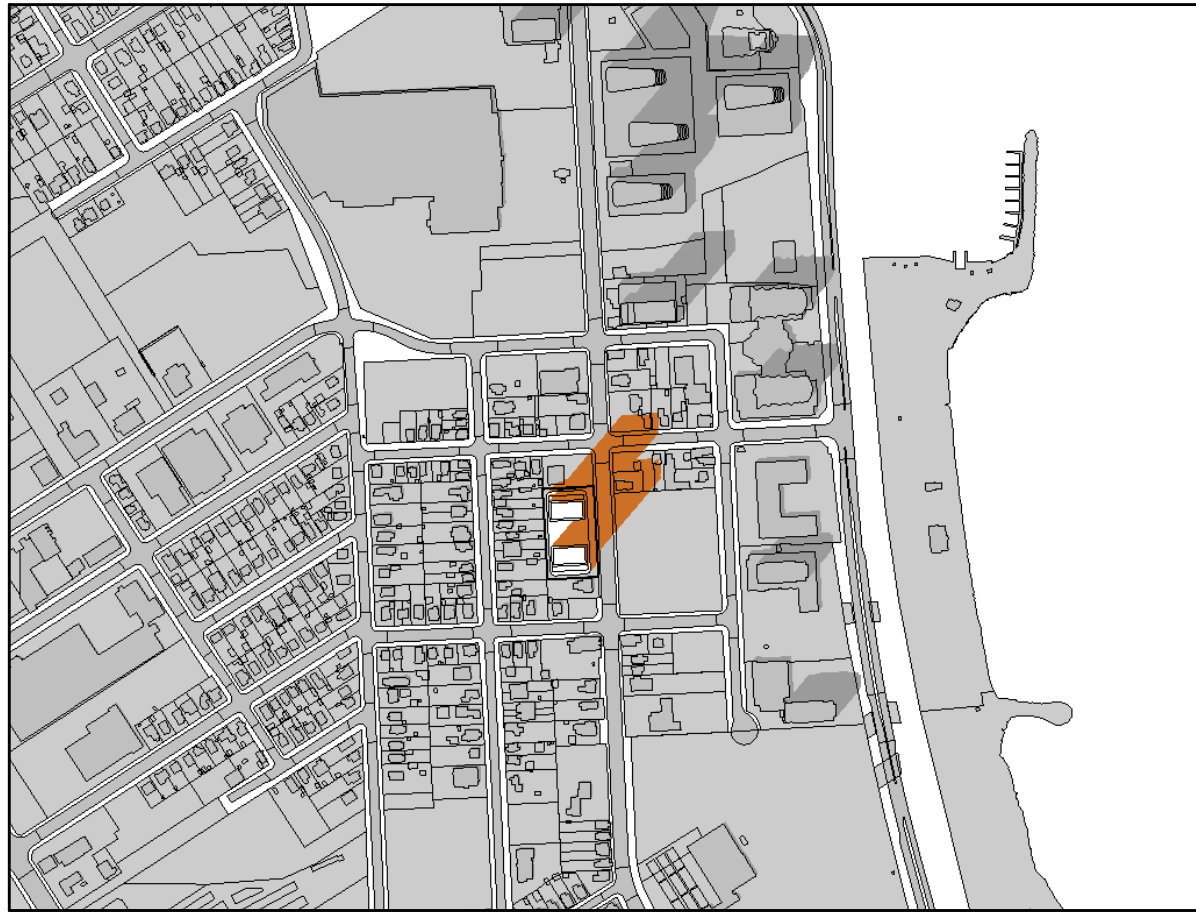
April 21 - 11:55am (DST) 6
NTS dA5.01



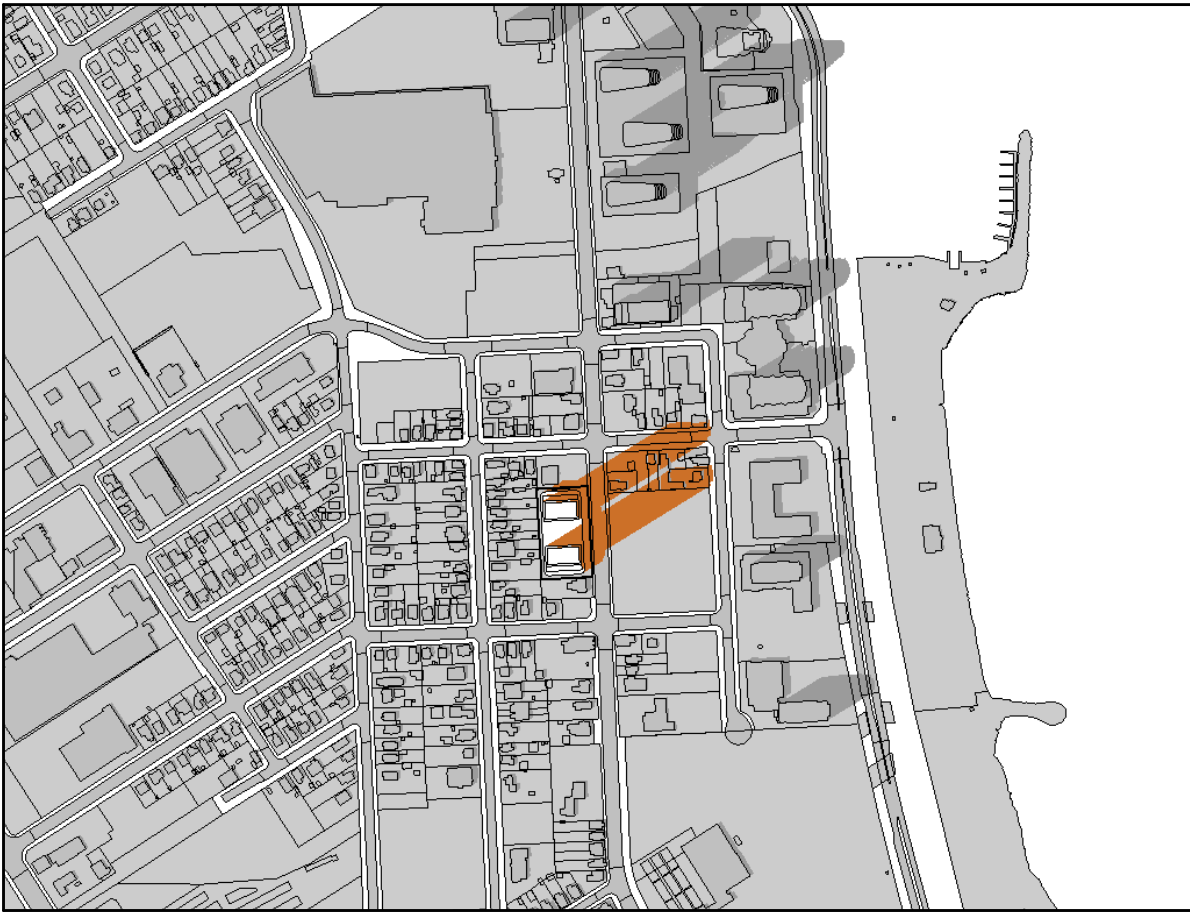
April 21 - 12:55pm (DST) 7
NTS dA5.01



April 21 - 1:55pm (DST) 8
NTS dA5.01



April 21 - 2:55pm (DST) 9
NTS dA5.01



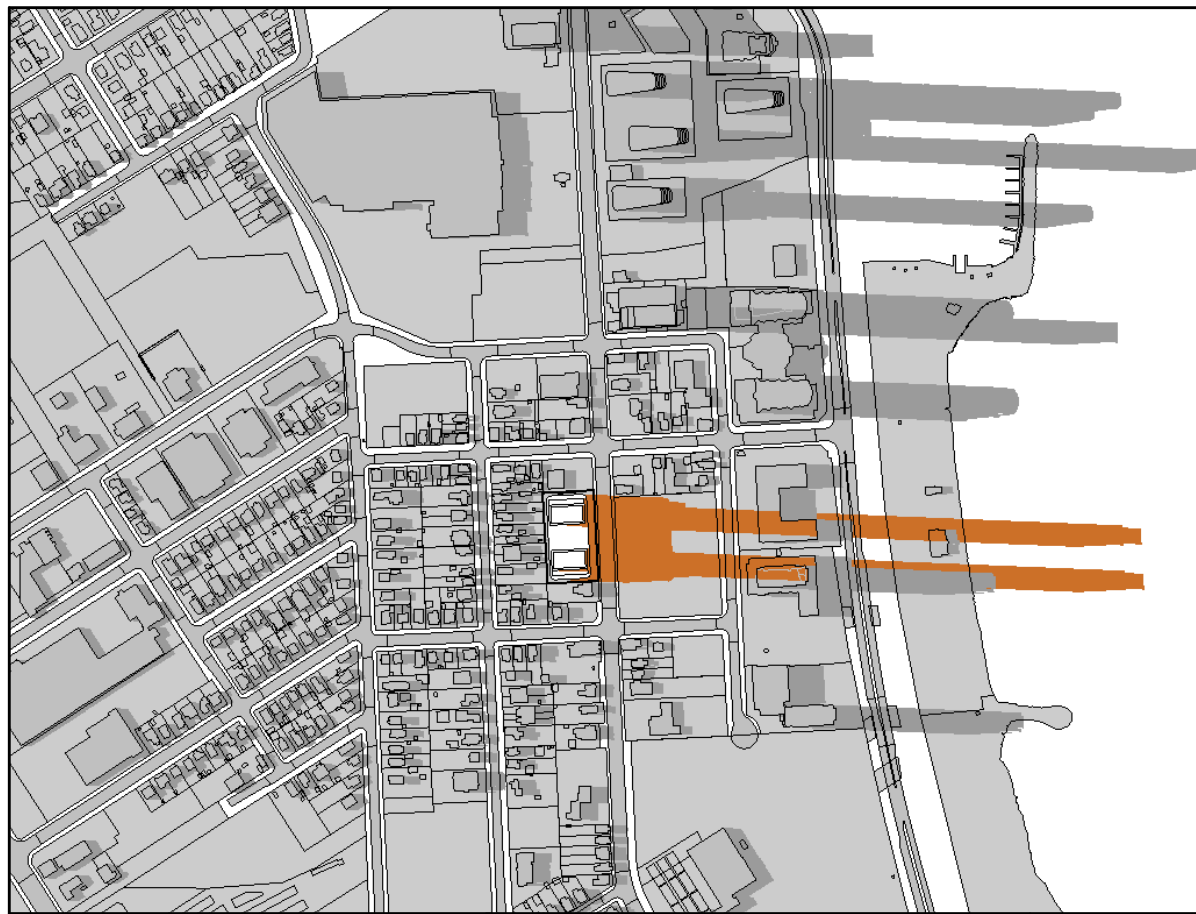
April 21 - 3:55pm (DST) 10
NTS dA5.01



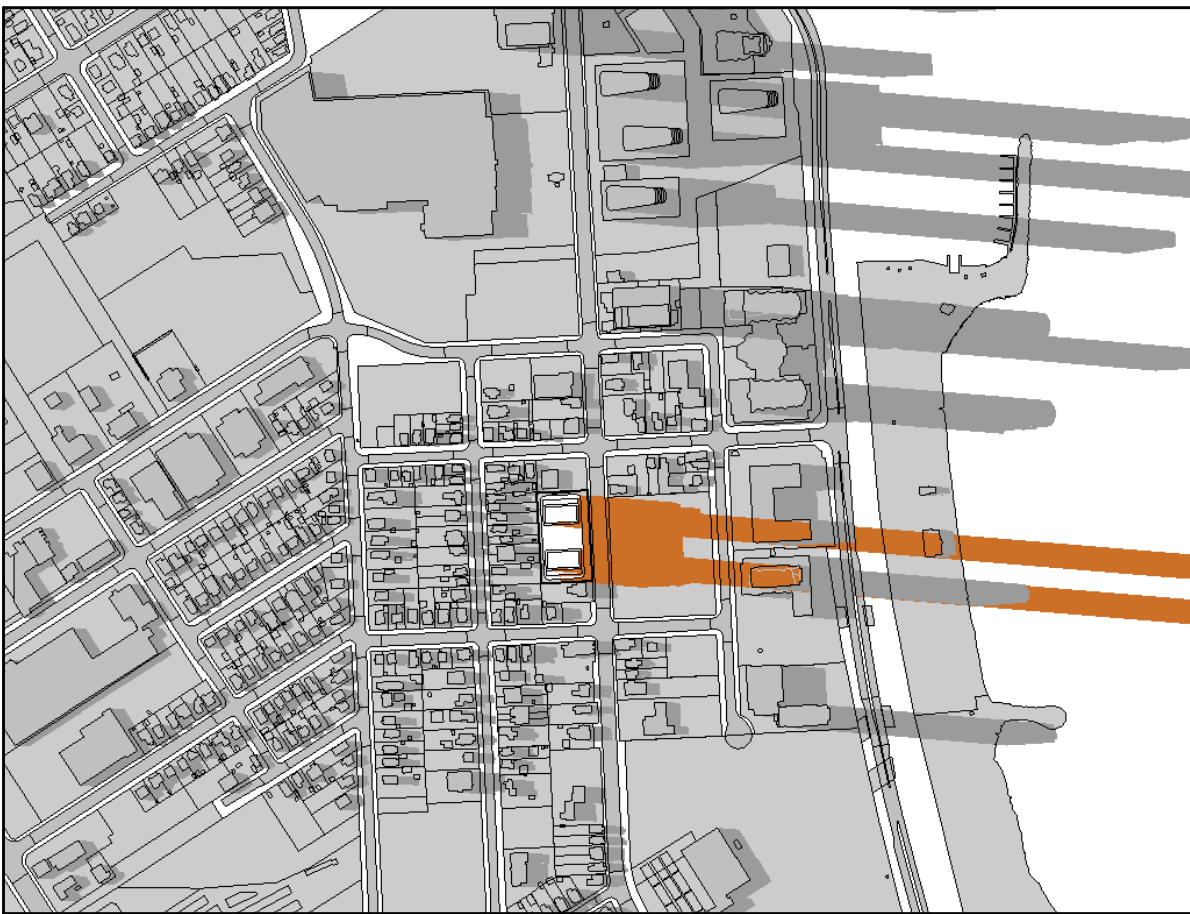
April 21 - 4:55pm (DST) 11
NTS dA5.01



April 21 - 5:55pm (DST) 12
NTS dA5.01



April 21 - 6:41pm (DST) 13
NTS dA5.01



April 21 - 6:55pm (DST) 14
NTS dA5.01



April 21 - 8:11pm (DST) 15
NTS dA5.01

Sun Angles:

Sun Angles are based on the Latitude and Longitude of Barrie, Ontario, Canada as defined in the software.

Latitude:
Longitude:

Time Zone: Eastern
Standard Time: UT - 5 hours
Daylight Time: UT - 4 hours

UT denotes Universal Time
i.e. Greenwich Mean Time

Software Used:
Autodesk Revit Architectural 2021

Shadow Study on APRIL 21

Sun Shadow Timing: APRIL 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
6:25	Rise
7:55	Rise + 1.5 hr.
8:55	+ 1 hr.
9:55	+ 1 hr.
10:55	+ 1 hr.
11:55	+ 1 hr.
12:55	+ 1 hr.
13:55	+ 1 hr.
14:55	+ 1 hr.
15:55	+ 1 hr.
16:55	+ 1 hr.
17:55	+ 1 hr.
18:55	+ 1 hr.
18:41	Set - 1.5 hr.
20:11	Set

Shadow Study on JUNE 21

Sun Shadow Timing: JUNE 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
5:34	Rise
7:04	Rise + 1.5 hr.
8:04	+ 1 hr.
9:04	+ 1 hr.
10:04	+ 1 hr.
11:04	+ 1 hr.
12:04	+ 1 hr.
13:04	+ 1 hr.
14:04	+ 1 hr.
15:04	+ 1 hr.
16:04	+ 1 hr.
17:04	+ 1 hr.
18:04	+ 1 hr.
19:04	+ 1 hr.
19:37	Set - 1.5 hr.
21:07	Set

Shadow Study on SEPTEMBER 21

Sun Shadow Timing: SEPTEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:05	Rise
8:35	Rise + 1.5 hr.
9:35	+ 1 hr.
10:35	+ 1 hr.
11:35	+ 1 hr.
12:35	+ 1 hr.
13:35	+ 1 hr.
14:35	+ 1 hr.
15:35	+ 1 hr.
16:35	+ 1 hr.
17:35	+ 1 hr.
17:48	Set - 1.5 hr.
19:18	Set

Shadow Study on DECEMBER 21

Sun Shadow Timing: DECEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:52	Rise
9:22	Rise + 1.5 hr.
10:22	+ 1 hr.
11:22	+ 1 hr.
12:22	+ 1 hr.
13:22	+ 1 hr.
14:22	+ 1 hr.
15:12	Set - 1.5 hr.
16:42	Set

Shadow Study Standards 14
NTS dA5.01

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Revisions:		
No.:	Revision:	Date:

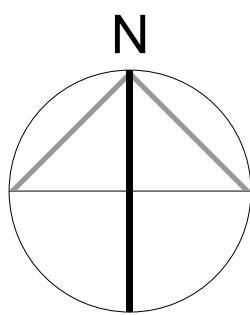
1	REZONING & OPA SUBMISSION	NOV 28,2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Sun Shadow Study - April 21

Scale:	
Drawn by:	A.P.
Checked by:	R.P.
Project No.:	23-072
Date:	NOV 28,2023
Drawing No.:	



dA5.01



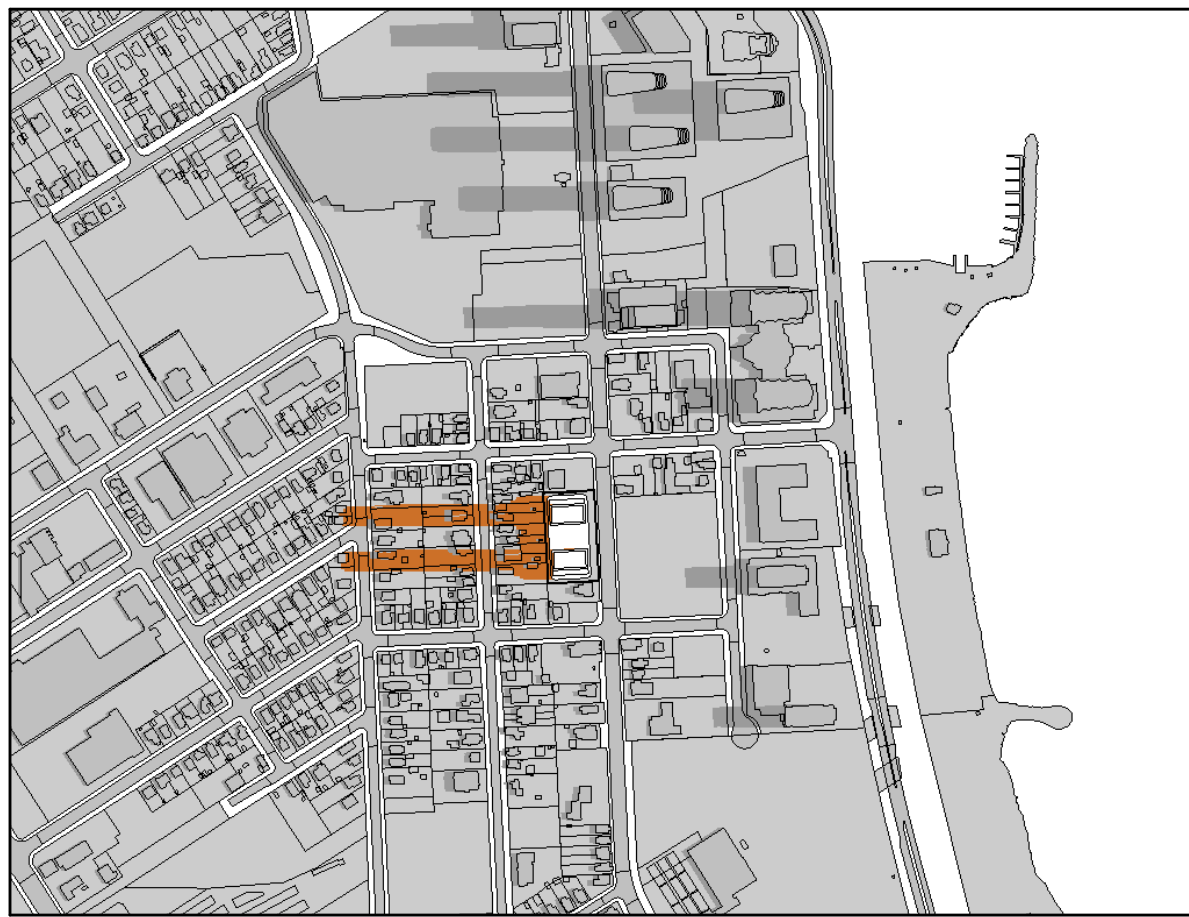
June 21 - 5:34am (DST) 1
NTS dA5.02



June 21 - 7:04am (DST) 2
NTS dA5.02



June 21 - 8:04am (DST) 3
NTS dA5.02



June 21 - 9:04am (DST) 4
NTS dA5.02



June 21 - 10:04am (DST) 5
NTS dA5.02



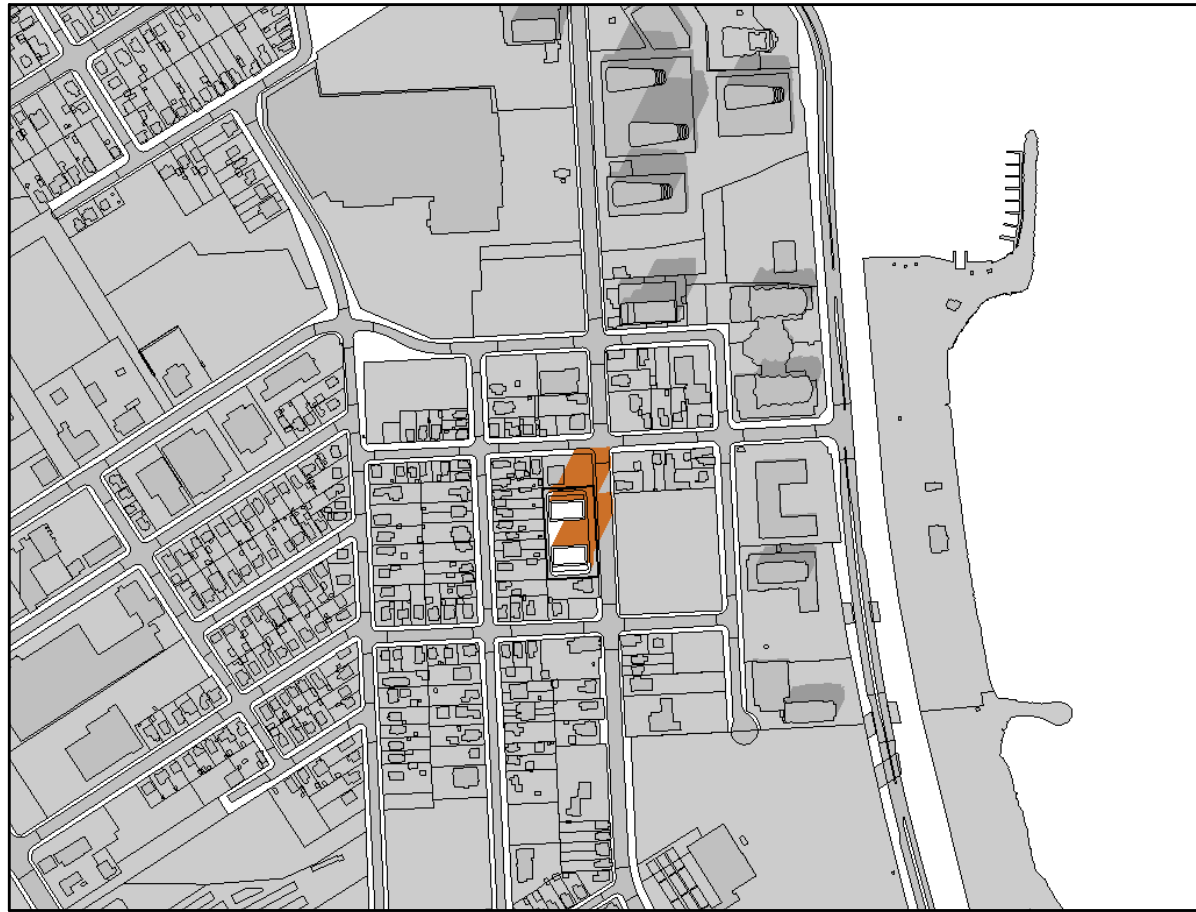
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NTS dA5.02



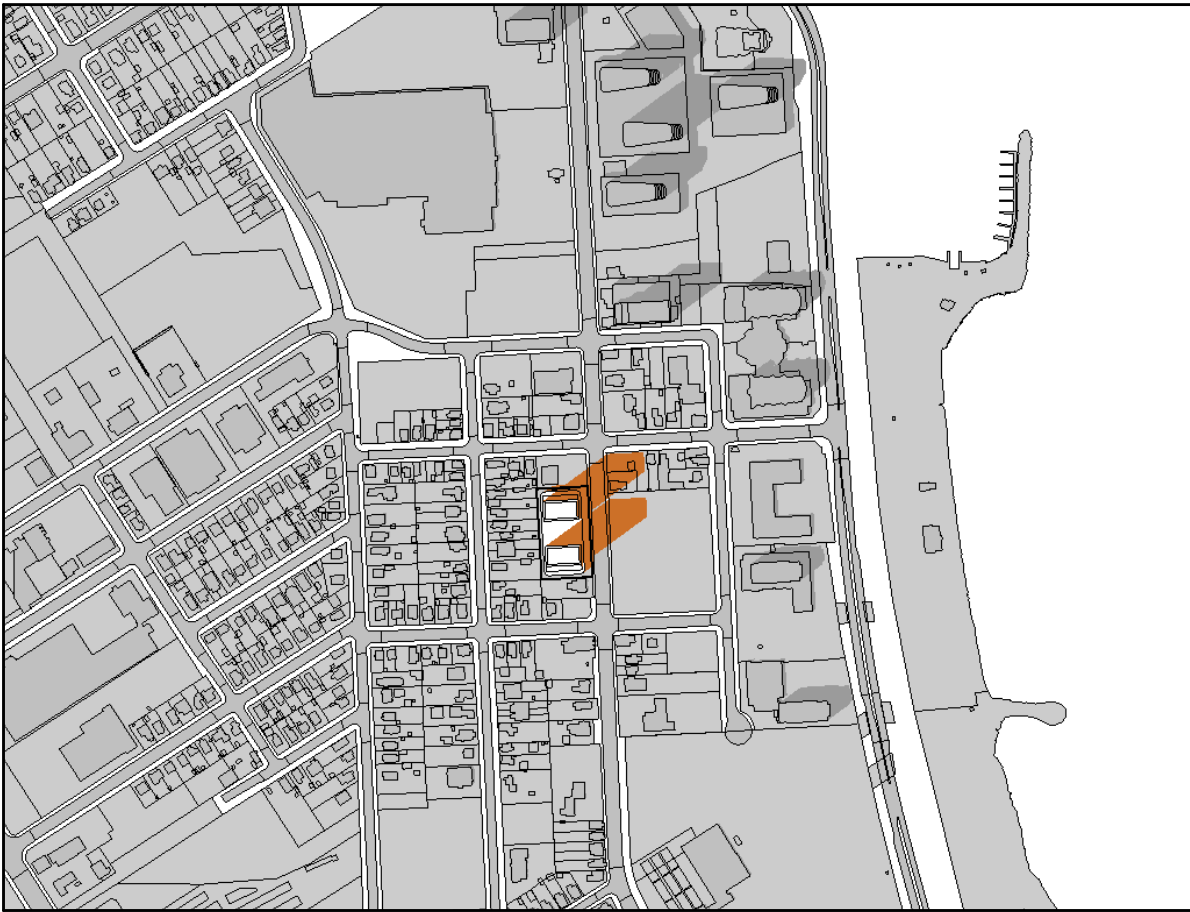
June 21 - 12:04pm (DST) 7
NTS dA5.02



June 21 - 1:04pm (DST) 8
NTS dA5.02



June 21 - 2:04pm (DST) 9
NTS dA5.02



June 21 - 3:04pm (DST) 10
NTS dA5.02



June 21 - 4:04pm (DST) 11
NTS dA5.02



June 21 - 5:04pm (DST) 12
NTS dA5.02



June 21 - 6:04pm (DST) 13
NTS dA5.02



June 21 - 7:04pm (DST) 14
NTS dA5.02



June 21 - 7:37pm (DST) 13
NTS dA5.02



June 21 - 9:07pm (DST) 14
NTS dA5.02

Sun Angles:

Sun Angles are based on the Latitude and Longitude of Barrie, Ontario, Canada as defined in the software.

Latitude:
Longitude:

Time Zone: Eastern
Standard Time: UT - 5 hours
Daylight Time: UT - 4 hours

UT denotes Universal Time
i.e. Greenwich Mean Time

Software Used:
Autodesk Revit Architectural 2021

Shadow Study on APRIL 21

Sun Shadow Timing: APRIL 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
6:25	Rise
7:55	Rise + 1.5 hr.
8:55	+ 1 hr.
9:55	+ 1 hr.
10:55	+ 1 hr.
11:55	+ 1 hr.
12:55	+ 1 hr.
13:55	+ 1 hr.
14:55	+ 1 hr.
15:55	+ 1 hr.
16:55	+ 1 hr.
17:55	+ 1 hr.
18:55	+ 1 hr.
18:41	Set - 1.5 hr.
20:11	Set

Shadow Study on JUNE 21

Sun Shadow Timing: JUNE 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
5:34	Rise
7:04	Rise + 1.5 hr.
8:04	+ 1 hr.
9:04	+ 1 hr.
10:04	+ 1 hr.
11:04	+ 1 hr.
12:04	+ 1 hr.
13:04	+ 1 hr.
14:04	+ 1 hr.
15:04	+ 1 hr.
16:04	+ 1 hr.
17:04	+ 1 hr.
18:04	+ 1 hr.
19:04	+ 1 hr.
19:37	Set - 1.5 hr.
21:07	Set

Shadow Study on SEPTEMBER 21

Sun Shadow Timing: SEPTEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:05	Rise
8:35	Rise + 1.5 hr.
9:35	+ 1 hr.
10:35	+ 1 hr.
11:35	+ 1 hr.
12:35	+ 1 hr.
13:35	+ 1 hr.
14:35	+ 1 hr.
15:35	+ 1 hr.
16:35	+ 1 hr.
17:35	+ 1 hr.
17:48	Set - 1.5 hr.
19:18	Set

Shadow Study on DECEMBER 21

Sun Shadow Timing: DECEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:52	Rise
9:22	Rise + 1.5 hr.
10:22	+ 1 hr.
11:22	+ 1 hr.
12:22	+ 1 hr.
13:22	+ 1 hr.
14:22	+ 1 hr.
15:12	Set - 1.5 hr.
16:42	Set

Shadow Study Standards 15

NTS dA5.02

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Date:



KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto ON M3J 0H1

Revisions:
No.: Revision: Date:

1	REZONING & OPA SUBMISSION	NOV 28,2023
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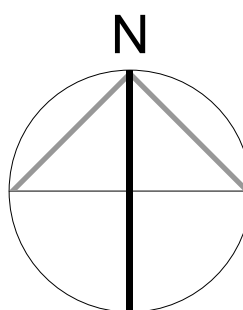
No.: Issued For: Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Sun Shadow Study - June 21

Scale:



Drawn by:
A.P.
Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28,2023
Drawing No.:

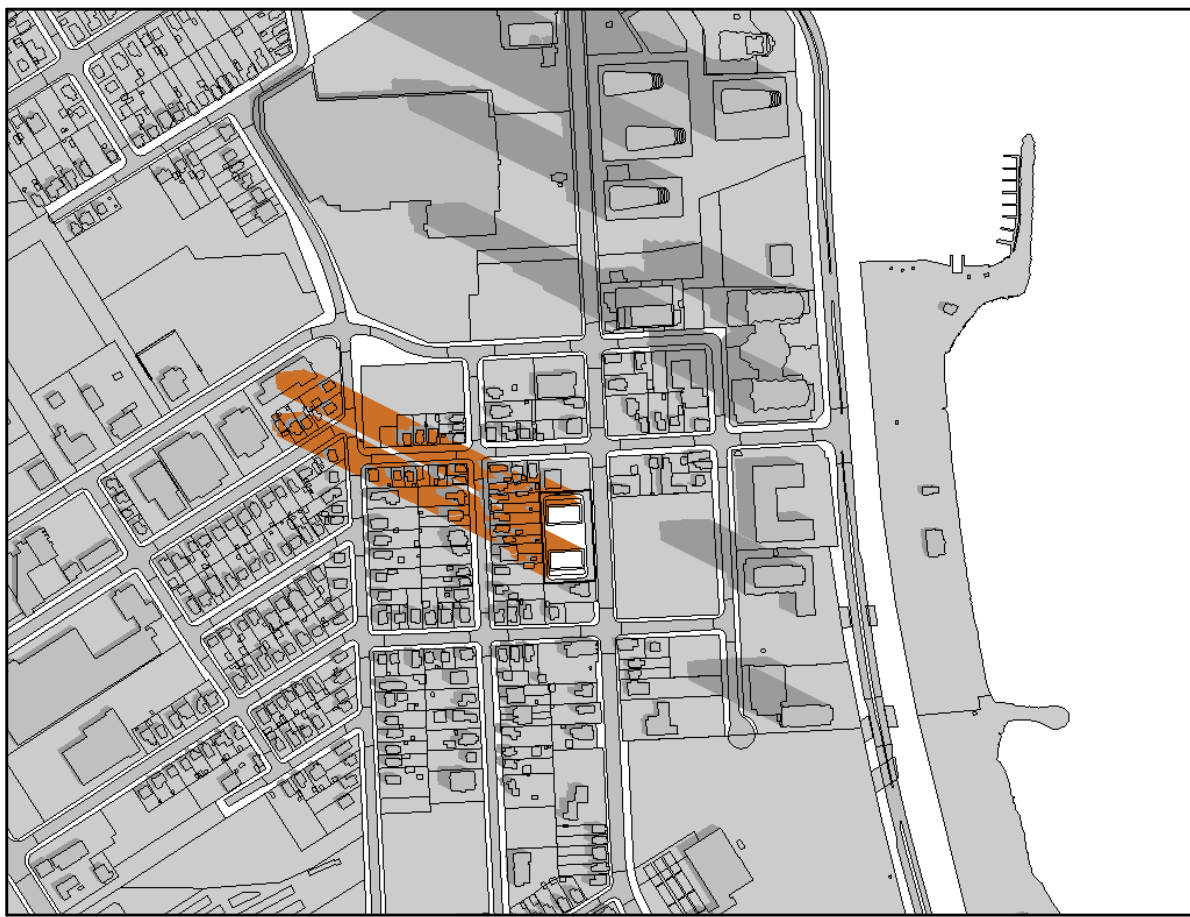
dA5.02



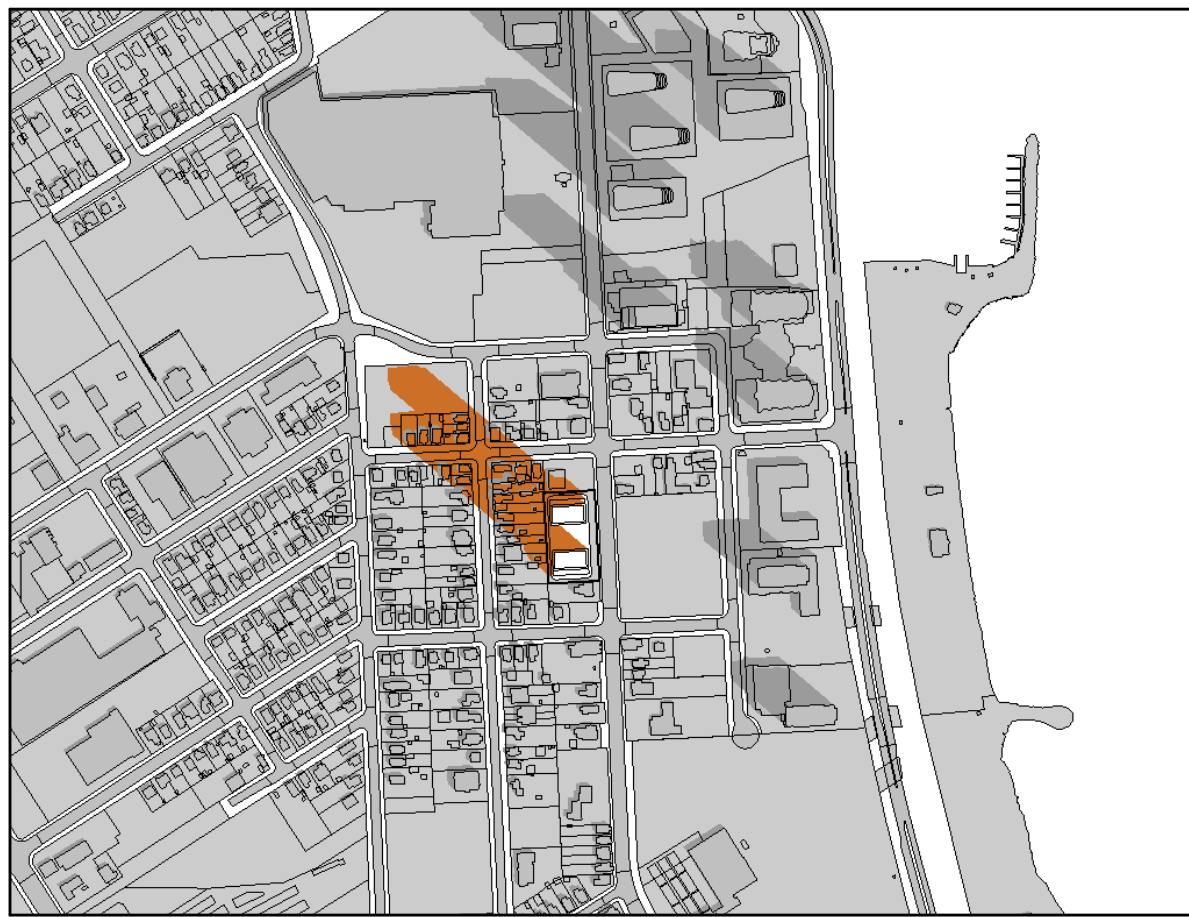
September 21 - 7:05am (DST) 1
NTS dA5.03



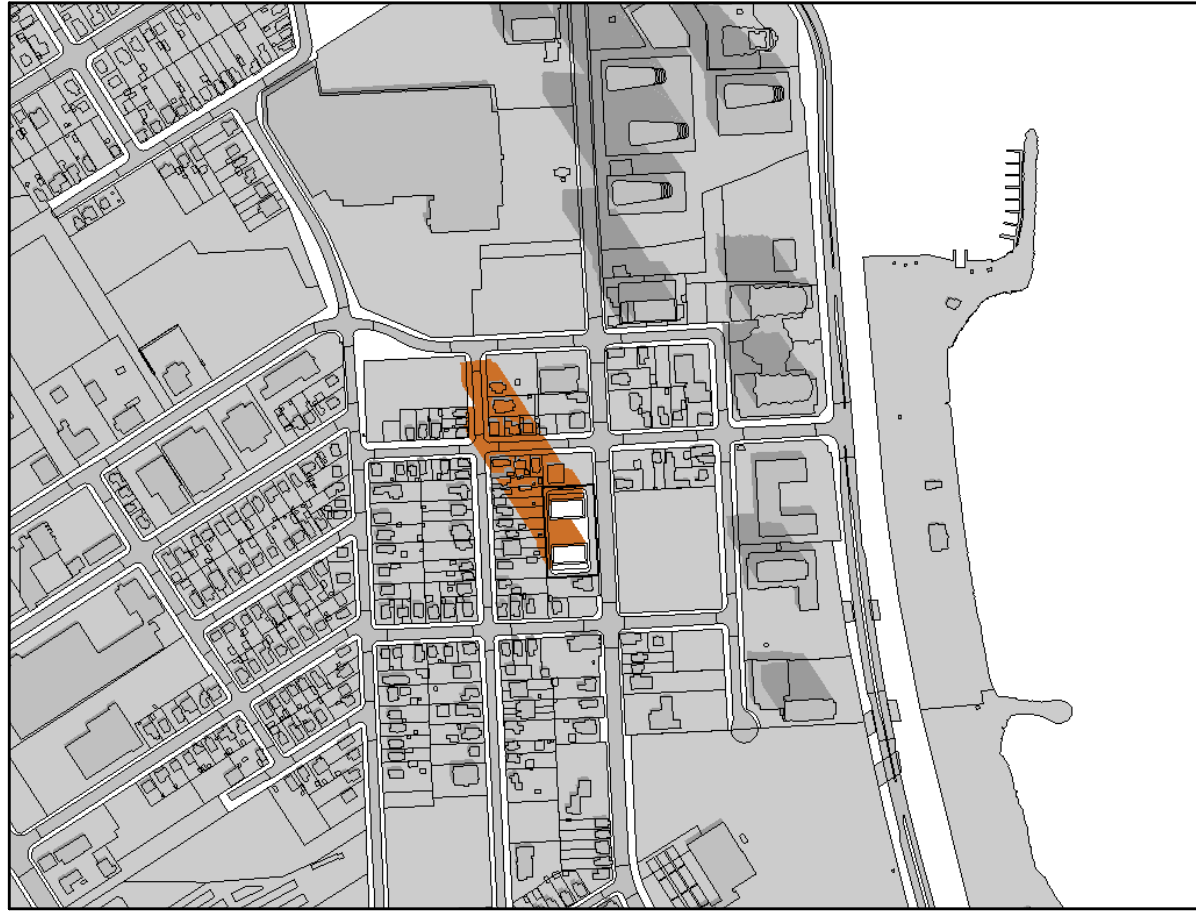
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NTS dA5.03



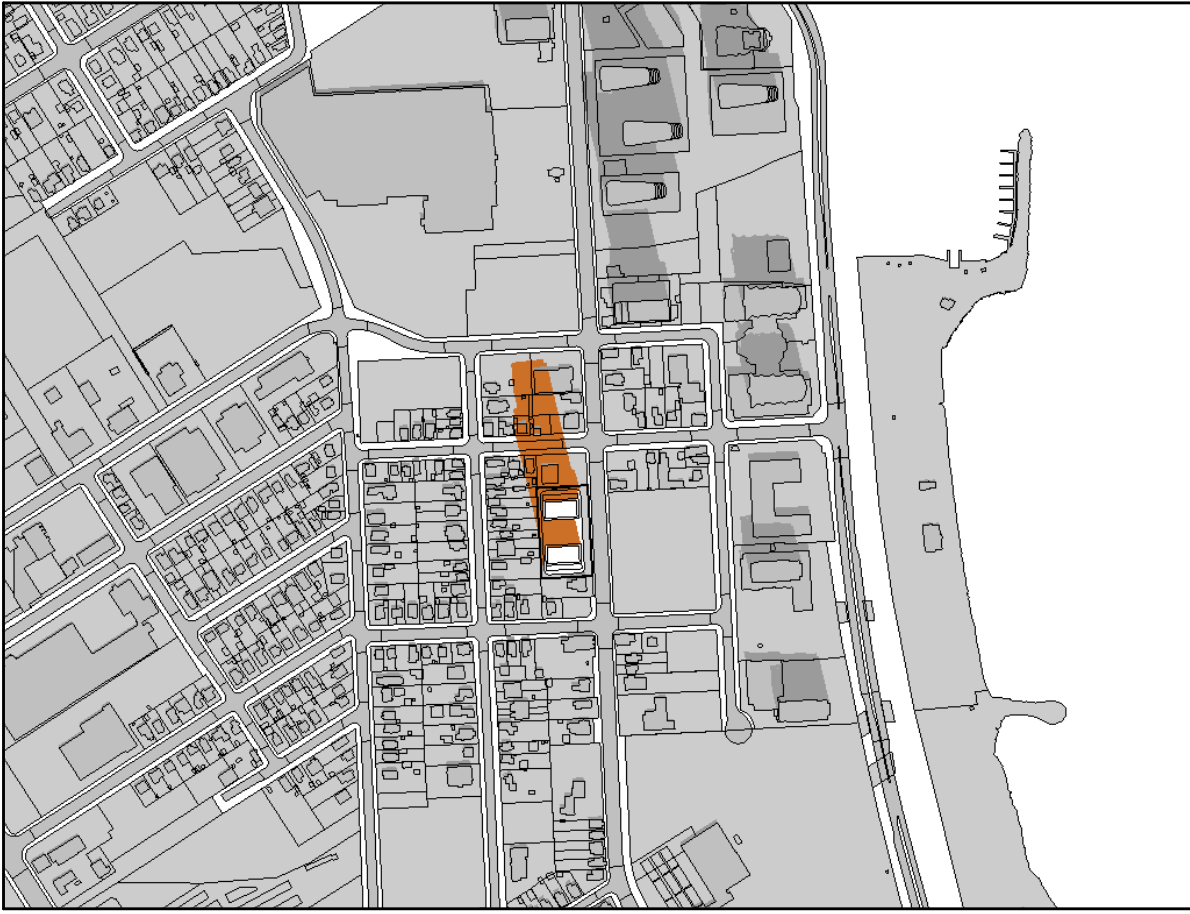
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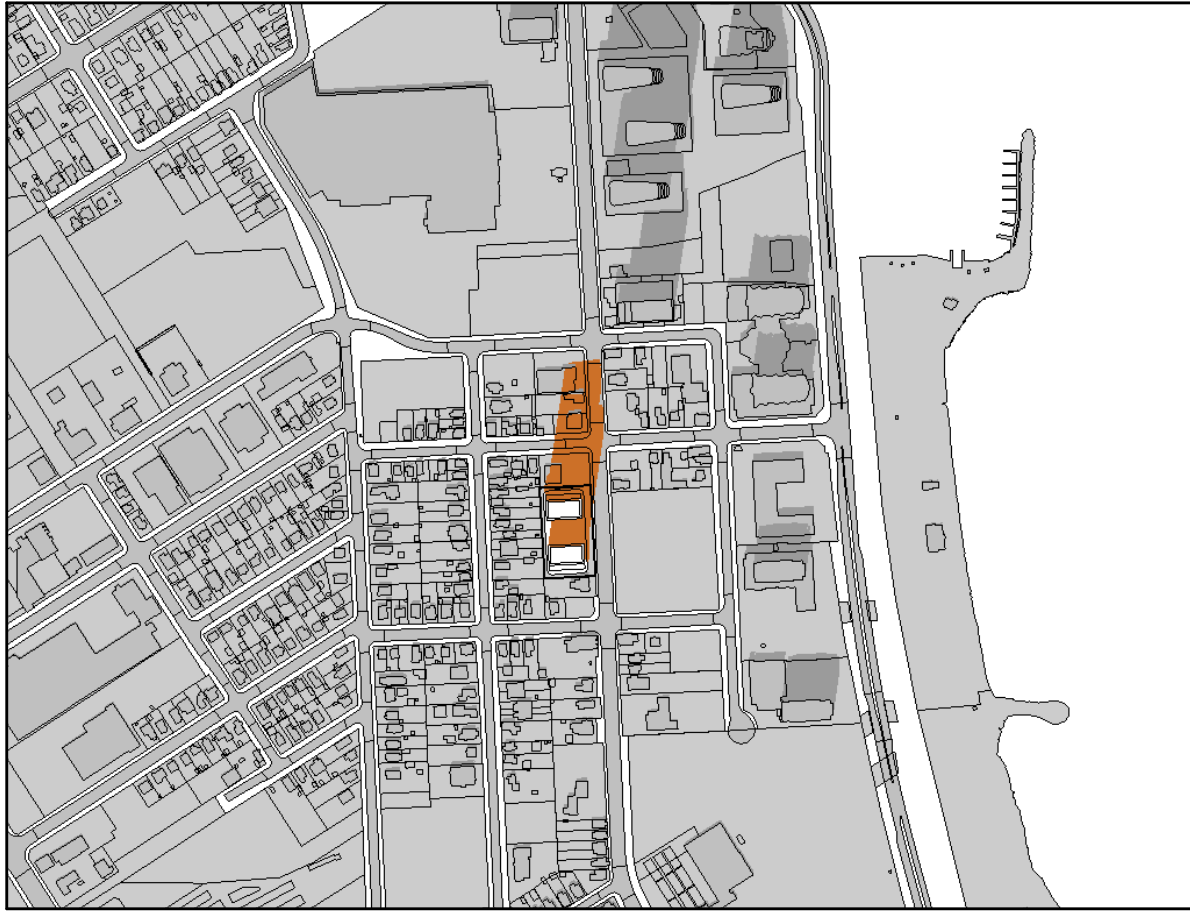
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NTS dA5.03



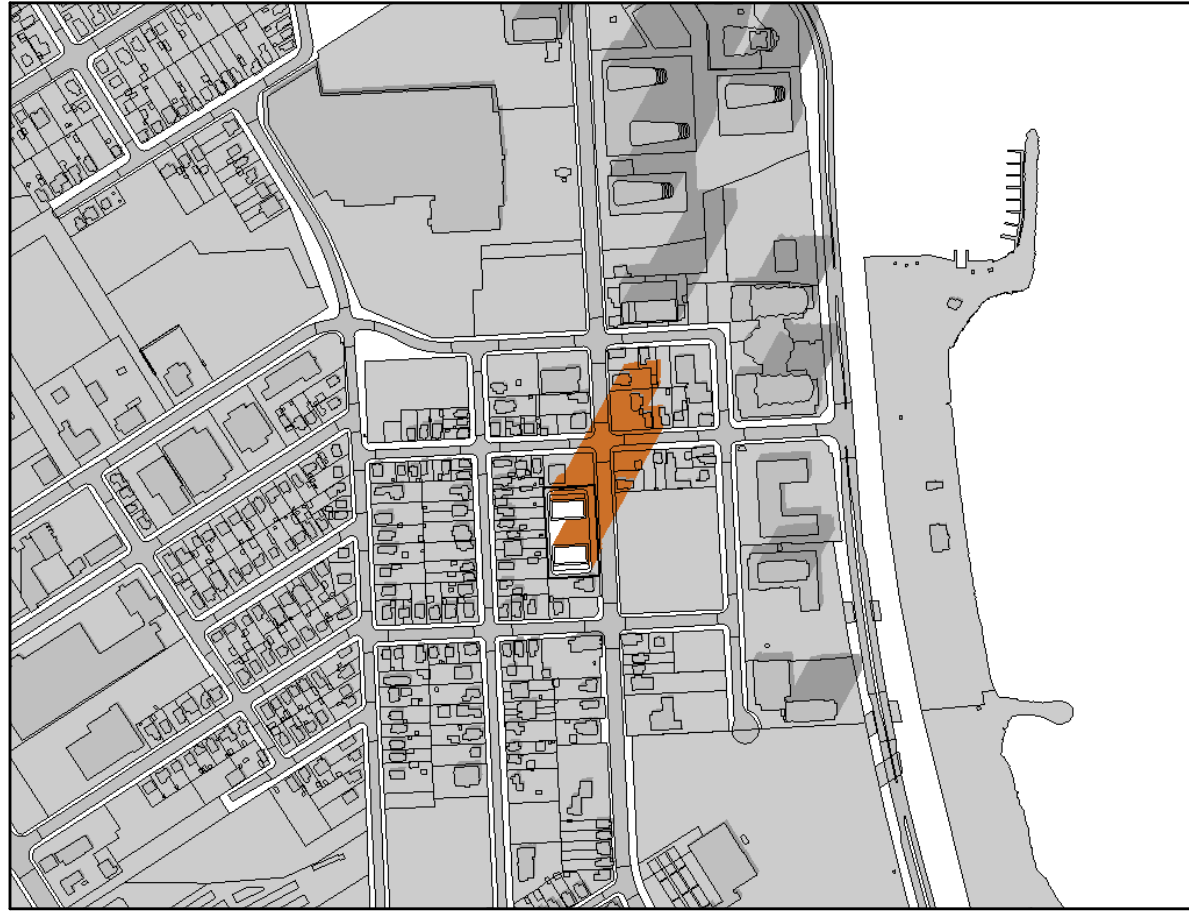
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NTS dA5.03



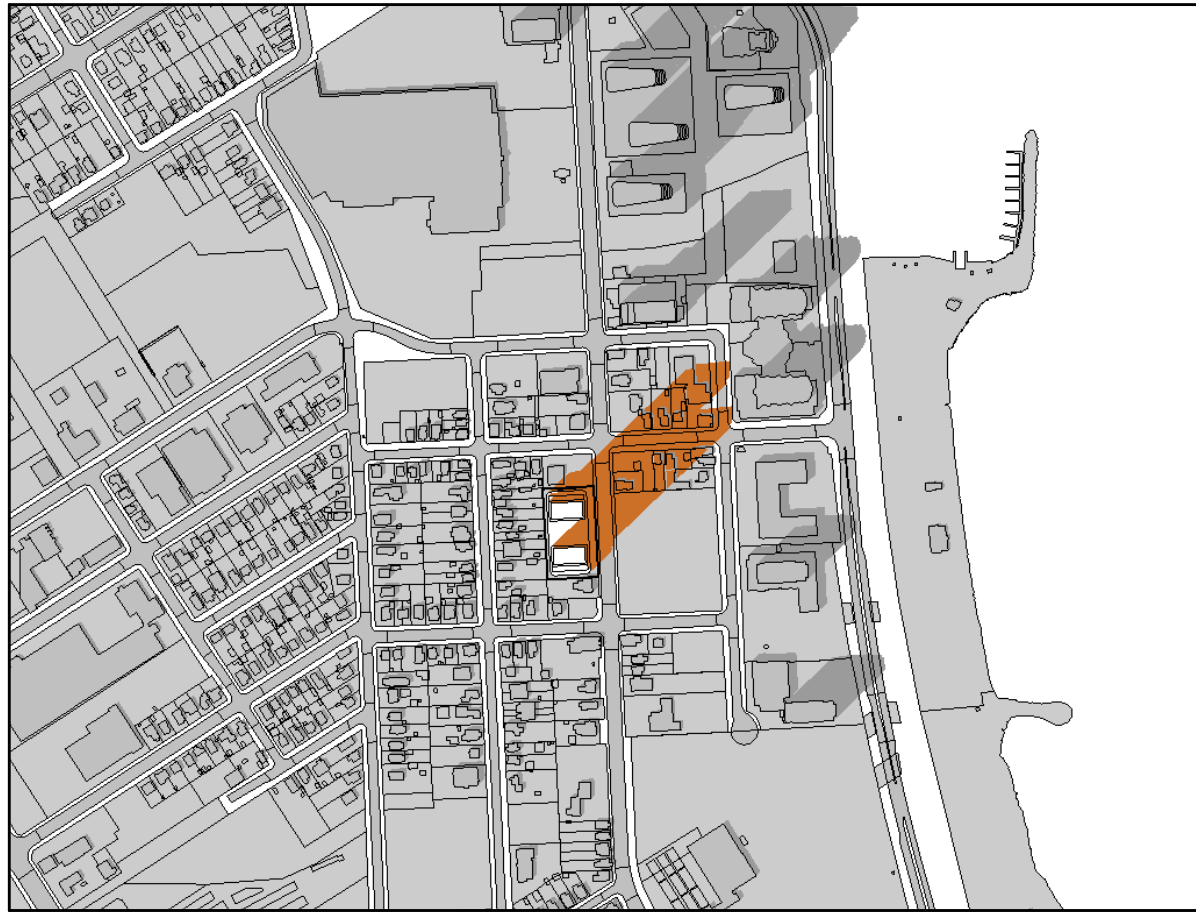
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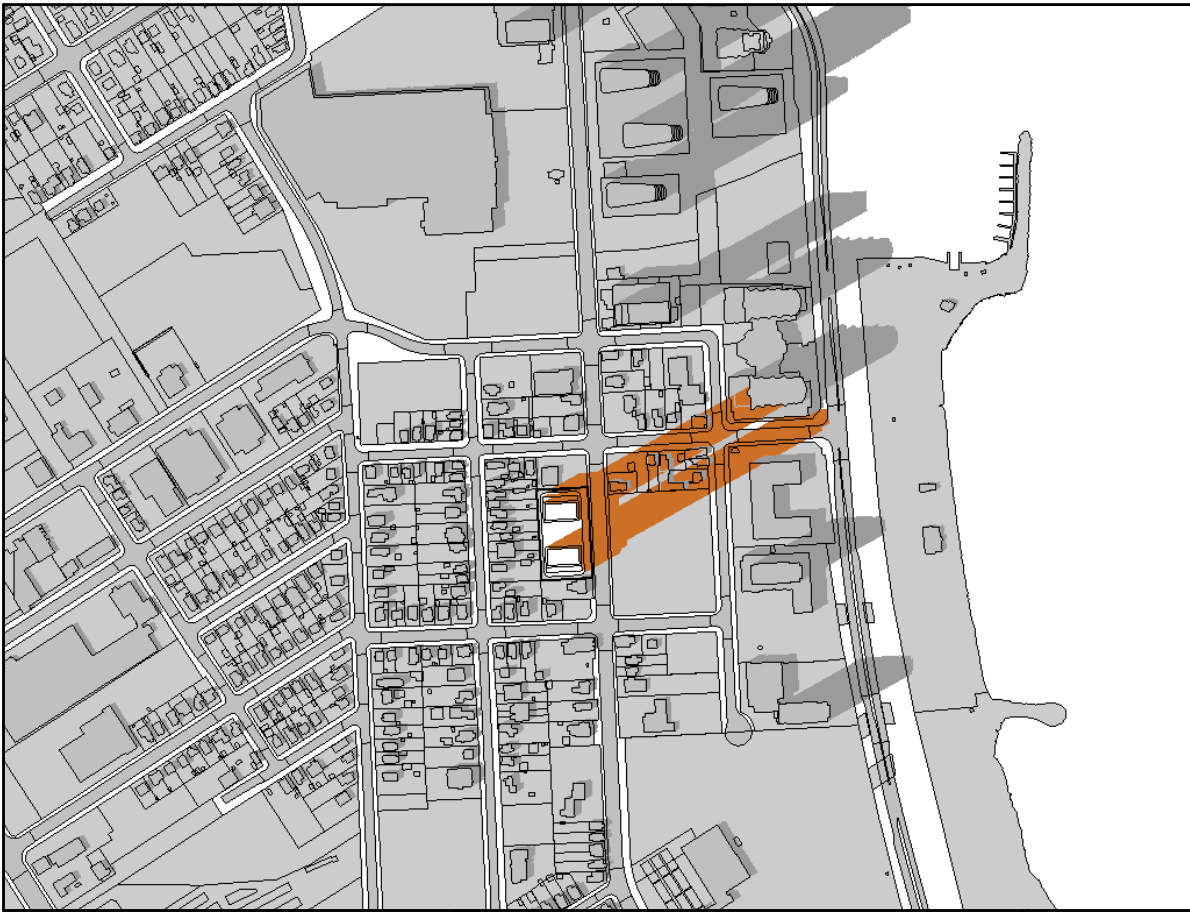
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NTS dA5.03



September 21 - 2:35pm (DST) 8
NTS dA5.03



September 21 - 3:35pm (DST) 9
NTS dA5.03



September 21 - 4:35pm (DST) 10
NTS dA5.03



September 21 - 5:35pm (DST) 11
NTS dA5.03



September 21 - 5:48pm (DST) 12
NTS dA5.03



September 21 - 7:18pm (DST) 13
NTS dA5.03

Sun Angles:

Sun Angles are based on the Latitude and Longitude of Barrie, Ontario, Canada as defined in the software.

Latitude:
Longitude:

Time Zone: Eastern
Standard Time: UT - 5 hours
Daylight Time: UT - 4 hours

UT denotes Universal Time
i.e. Greenwich Mean Time

Software Used:
Autodesk Revit Architectural 2021

Shadow Study on APRIL 21

Sun Shadow Timing: APRIL 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
6:25	Rise
7:55	Rise + 1.5 hr.
8:55	+ 1 hr.
9:55	+ 1 hr.
10:55	+ 1 hr.
11:55	+ 1 hr.
12:55	+ 1 hr.
13:55	+ 1 hr.
14:55	+ 1 hr.
15:55	+ 1 hr.
16:55	+ 1 hr.
17:55	+ 1 hr.
18:55	+ 1 hr.
18:41	Set - 1.5 hr.
20:11	Set

Shadow Study on JUNE 21

Sun Shadow Timing: JUNE 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
5:34	Rise
7:04	Rise + 1.5 hr.
8:04	+ 1 hr.
9:04	+ 1 hr.
10:04	+ 1 hr.
11:04	+ 1 hr.
12:04	+ 1 hr.
13:04	+ 1 hr.
14:04	+ 1 hr.
15:04	+ 1 hr.
16:04	+ 1 hr.
17:04	+ 1 hr.
18:04	+ 1 hr.
19:04	+ 1 hr.
19:37	Set - 1.5 hr.
21:07	Set

Shadow Study on SEPTEMBER 21

Sun Shadow Timing: SEPTEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:05	Rise
8:35	Rise + 1.5 hr.
9:35	+ 1 hr.
10:35	+ 1 hr.
11:35	+ 1 hr.
12:35	+ 1 hr.
13:35	+ 1 hr.
14:35	+ 1 hr.
15:35	+ 1 hr.
16:35	+ 1 hr.
17:35	+ 1 hr.
17:48	Set - 1.5 hr.
19:18	Set

Shadow Study on DECEMBER 21

Sun Shadow Timing: DECEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:52	Rise
9:22	Rise + 1.5 hr.
10:22	+ 1 hr.
11:22	+ 1 hr.
12:22	+ 1 hr.
13:22	+ 1 hr.
14:22	+ 1 hr.
15:12	Set - 1.5 hr.
16:42	Set

Shadow Study Standards 15
NTS dA5.03

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Date:



KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto ON M3J 0H1

Revisions:

No.: Revision: Date:

1	REZONING & OPA SUBMISSION	NOV 28, 2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Sun Shadow Study - September 21

Scale:

Drawn by:

A.P.

Checked by:

R.P.

Project No.:

23-072

Date:

NOV 28, 2023

Drawing No.:

dA5.03



December 21 - 7:52am (DST) 1
NTS dA5.04



December 21 - 9:22am (DST) 2
NTS dA5.04



December 21 - 10:22am (DST) 3
NTS dA5.04



December 21 - 11:22am (DST) 4
NTS dA5.04



December 21 - 12:22pm (DST) 5
NTS dA5.04



December 21 - 1:22pm (DST) 6
NTS dA5.04



December 21 - 2:22pm (DST) 7
NTS dA5.04



December 21 - 3:12pm (DST) 8
NTS dA5.04



December 21 - 4:42pm (DST) 9
NTS dA5.04

Sun Angles:

Sun Angles are based on the Latitude and Longitude of Barrie, Ontario, Canada as defined in the software.

Latitude:
Longitude:

Time Zone: Eastern
Standard Time: UT - 5 hours
Daylight Time: UT - 4 hours

UT denotes Universal Time
i.e. Greenwich Mean Time

Software Used:
Autodesk Revit Architectural 2021

Shadow Study on APRIL 21

Sun Shadow Timing: APRIL 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
6:25	Rise
7:55	Rise + 1.5 hr.
8:55	+ 1 hr.
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14:55	+ 1 hr.
15:55	+ 1 hr.
16:55	+ 1 hr.
17:55	+ 1 hr.
18:55	+ 1 hr.
18:41	Set - 1.5 hr.
20:11	Set

Shadow Study on JUNE 21

Sun Shadow Timing: JUNE 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
5:34	Rise
7:04	Rise + 1.5 hr.
8:04	+ 1 hr.
9:04	+ 1 hr.
10:04	+ 1 hr.
11:04	+ 1 hr.
12:04	+ 1 hr.
13:04	+ 1 hr.
14:04	+ 1 hr.
15:04	+ 1 hr.
16:04	+ 1 hr.
17:04	+ 1 hr.
18:04	+ 1 hr.
19:04	+ 1 hr.
19:37	Set - 1.5 hr.
21:07	Set

Shadow Study on SEPTEMBER 21

Sun Shadow Timing: SEPTEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:05	Rise
8:35	Rise + 1.5 hr.
9:35	+ 1 hr.
10:35	+ 1 hr.
11:35	+ 1 hr.
12:35	+ 1 hr.
13:35	+ 1 hr.
14:35	+ 1 hr.
15:35	+ 1 hr.
16:35	+ 1 hr.
17:35	+ 1 hr.
17:48	Set - 1.5 hr.
19:18	Set

Shadow Study on DECEMBER 21

Sun Shadow Timing: DECEMBER 21
from 1.5 hours after sunrise to 1.5 hours before sunset

LOCAL TIME EDT	COMMENTS
7:52	Rise
9:22	Rise + 1.5 hr.
10:22	+ 1 hr.
11:22	+ 1 hr.
12:22	+ 1 hr.
13:22	+ 1 hr.
14:22	+ 1 hr.
15:12	Set - 1.5 hr.
16:42	Set

Shadow Study Standards 15
NTS dA5.04

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Toronto ON M3J 0H1

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No.: Revision: Date:

1	REZONING & OPA SUBMISSION	NOV 28, 2023
No.:	Issued For:	Date:

Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Sun Shadow Study - December 21

Scale:

Drawn by:

A.P.

Checked by:

R.P.

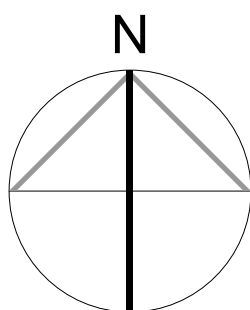
Project No.:

23-072

Date:

NOV 28, 2023

Drawing No.:



dA5.04



VIEW LOOKING NORTH WEST
NTS 1
dA6.01



VIEW FROM LAKE SIMCOE LOOKING NORTH WEST
NTS 3
dA6.01



VIEW FROM LAKE SIMCOE LOOKING WEST
NTS 2
dA6.01

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20 De Boers Drive Suite 400
Toronto ON M3J 0H1

Revisions:

No.:	Revision:	Date:
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1	REZONING & OPA SUBMISSION	NOV 28, 2023
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No.:	Issued For:	Date:
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Client:
CROWN (BRADFORD) DEVELOPMENTS INC.

126 Bradford St, Barrie, ON L4N 3B3
Proposed Residential Development

Drawing Title:
Perspectives

Scale:

Drawn by:
A.P.
Checked by:
R.P.
Project No.:
23-072
Date:
NOV 28, 2023
Drawing No.:

dA6.01

Print Date: 2023-11-28 14:31:19 Path: C:\New\2023\2007801_126 Bradford St_202303-approval.dwg