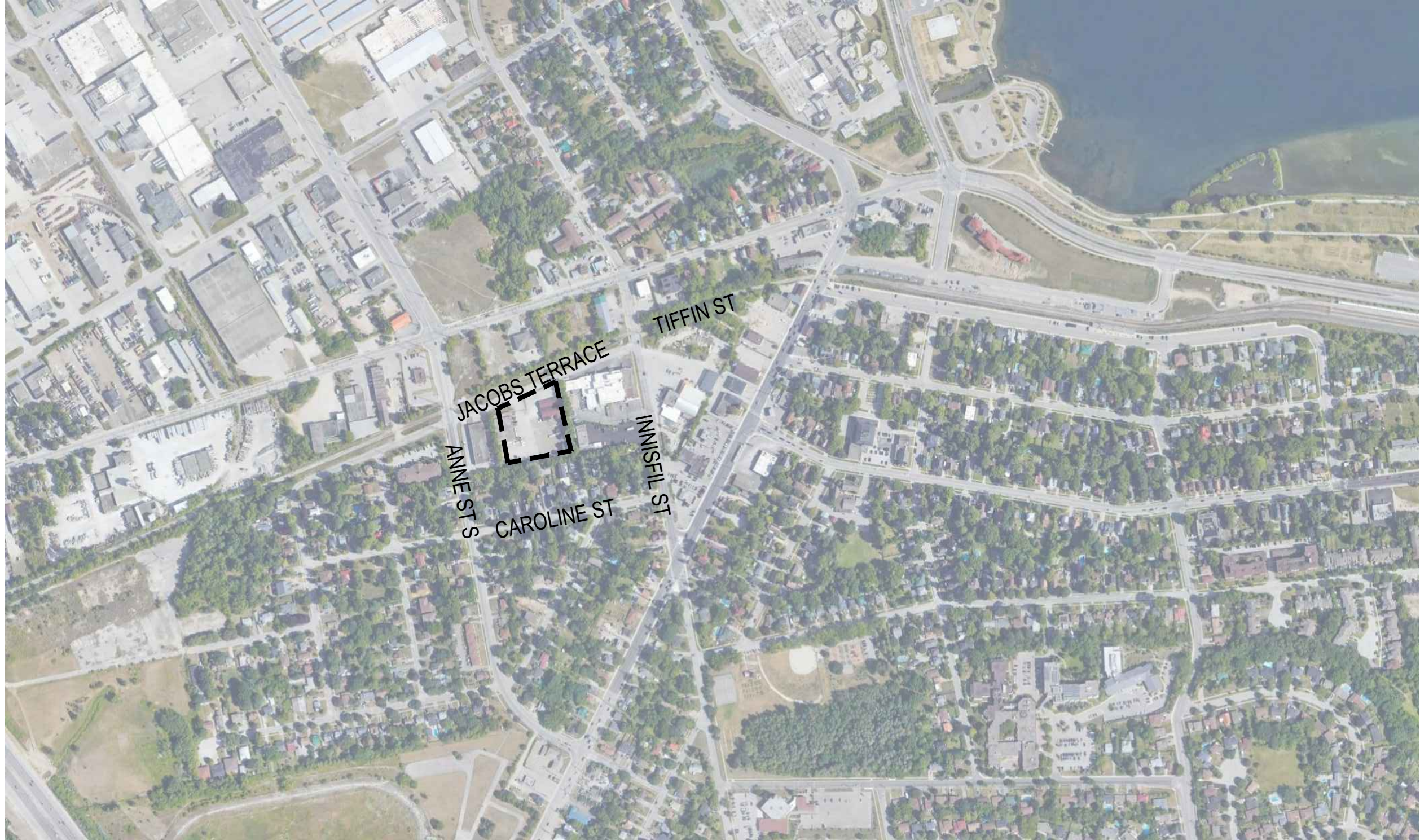


GENERAL NOTES:
1. ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1000mm ARE SHOWN AS A WHOLE NUMBER. ALL DIMENSIONS ARE GIVEN TO FACE OF CURB AND FACE OF FOUNDATION AND SITE WALLS, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PROVINCIAL OR LOCAL MUNICIPAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO PROVINCIAL AND LOCAL MUNICIPAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.
3. CONTRACTOR SHALL ARRANGE FOR UTILITY STAKING PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO CONSTRUCTION TO BECOME FAMILIAR WITH EXISTING CONDITIONS. IF ANY DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS, CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
4. EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
5. CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT, GRADING, STAKING, AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION. CONTRACTOR SHALL FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
7. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE.
8. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS BEFORE ASPHALT OR CONCRETE HAS CURED. DO NOT LEAVE ANY HOLES OPEN OVERNIGHT.
9. KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
10. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED MATERIALS FOR APPROVAL PRIOR TO PLACING ORDERS.
11. ALL WORK SHALL BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO PAYMENT APPROVAL.
12. CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT SITE CONDITIONS TO THE LANDSCAPE ARCHITECT, PRIOR TO OBTAINING APPROVAL OF SUBSTANTIAL COMPLETION.
13. AT ALL EDGES OF EXISTING SIDEWALK OR CURB AGAINST WHICH NEW CONCRETE IS TO BE PLACED, SAWCUT AND REMOVE EXISTING CONCRETE BACK TO THE NEAREST CONTRACTION JOINT TO PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.
14. INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE PAVEMENT, SLABS, OR FOOTINGS.
15. INSTALL EXPANSION JOINTS AT MAXIMUM 6 METER INTERVAL.

17 JACOBS TERRACE SPA LANDSCAPE DRAWING SET

BARRIE, ONTARIO

Sheet List Table	
Sheet Number	Sheet Title
C-001	COVER PAGE
EX-100	EXISTING CONDITIONS
L-100	LANDSCAPE PLAN - CURRENT ROW
L-101	LANDSCAPE PLAN - PROPOSED ROW
L-102	PLANTING SCHEDULE
LF-100	FENCING PLAN
L-103	LANDSCAPE AMENITY PLAN
LD-100	DETAIL SHEET
LD-101	DETAIL SHEET
LD-102	DETAIL SHEET
LD-103	DETAIL SHEET
LD-104	DETAIL SHEET
LD-105	DETAIL SHEET
LD-106	DETAIL SHEET

5	ISSUED FOR SPA	2023-10-16	LB
4	ISSUED FOR REZONING REV.2	2023-02-28	LB
3	ISSUED FOR REZONING REV.1	2022-08-26	LB
2	ISSUED FOR COORDINATION	2022-04-14	LB
1	ISSUED FOR REZONING	2021-08-06	LB
no.	revision	date	by

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
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signed _____ date _____

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TONLU
PROPERTIES

CLIENT

17 JACOBS TERRACE

BARRIE, ONTARIO

PROJECT

COVER PAGE

DRAWING	
DRAWN:	LB
CHECKED:	MC
SCALE:	AS SHOWN
DATE:	2023-03-06
PROJECT NO.:	21-114



C-001

SHEET NO.:

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STUDIO **tla**

RGC
RINOMATO GROUP OF COMPANIES

CLIENT

17 JACOBS TERRACE

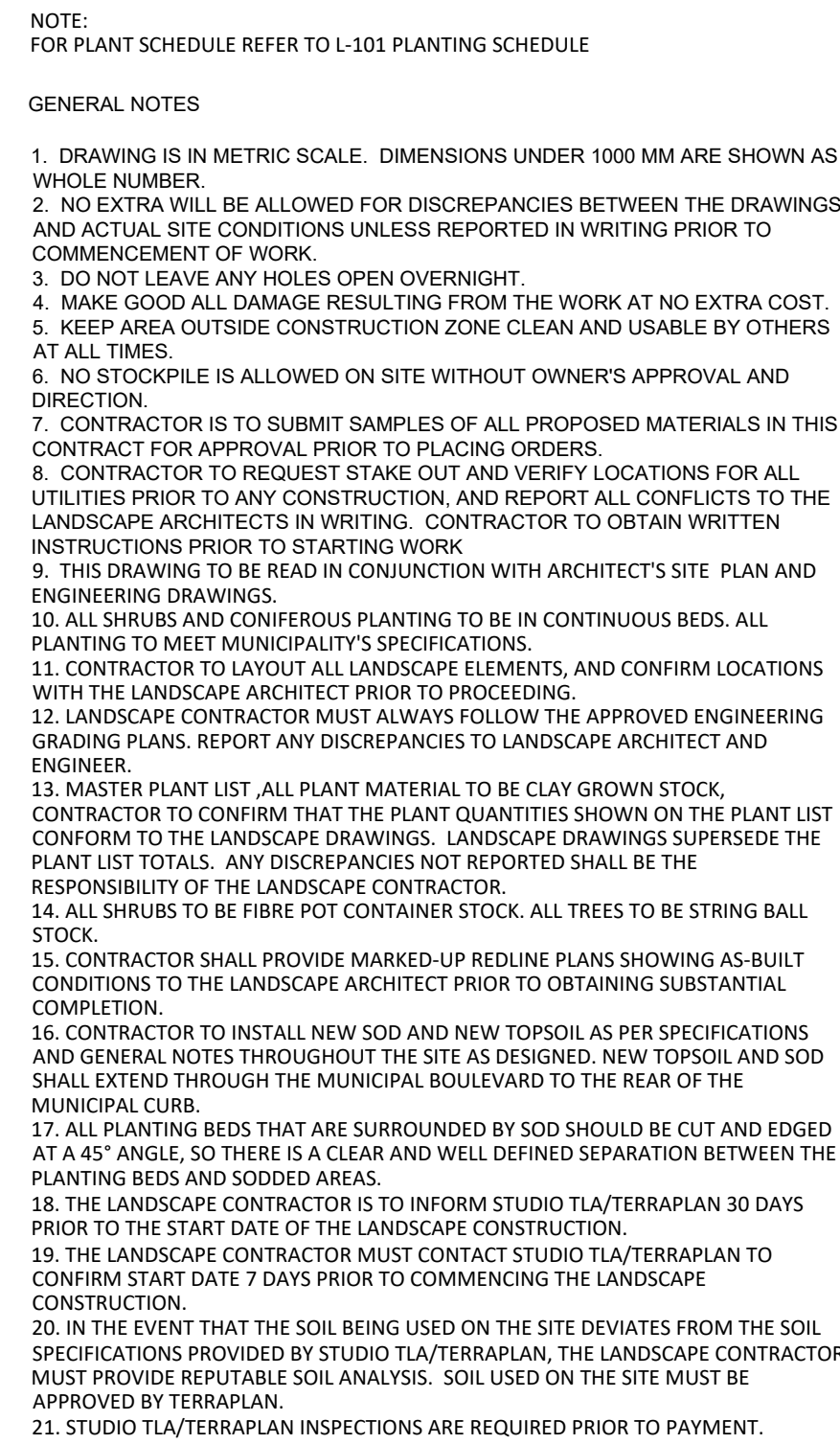
BARRIE, ONTARIO

PROJECT

EXISTING CONDITIONS

SHEET NO.: EX-100





- | | |
|---|--|
|  | CONCRETE PAVING |
|  | ACCENT / SPECIAL PAVING |
|  | HEAVY DUTY VEHICULAR UNIT PAVING |
|  | SOD |
|  | BENCH |
|  | BIKE RACK |
|  | TREE PROTECTION ZONE
REFER TO T.I.P.P |
|  | BOUNDARY FENCING |
|  | SNOW STORAGE |

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BARRIE, ONTARIO

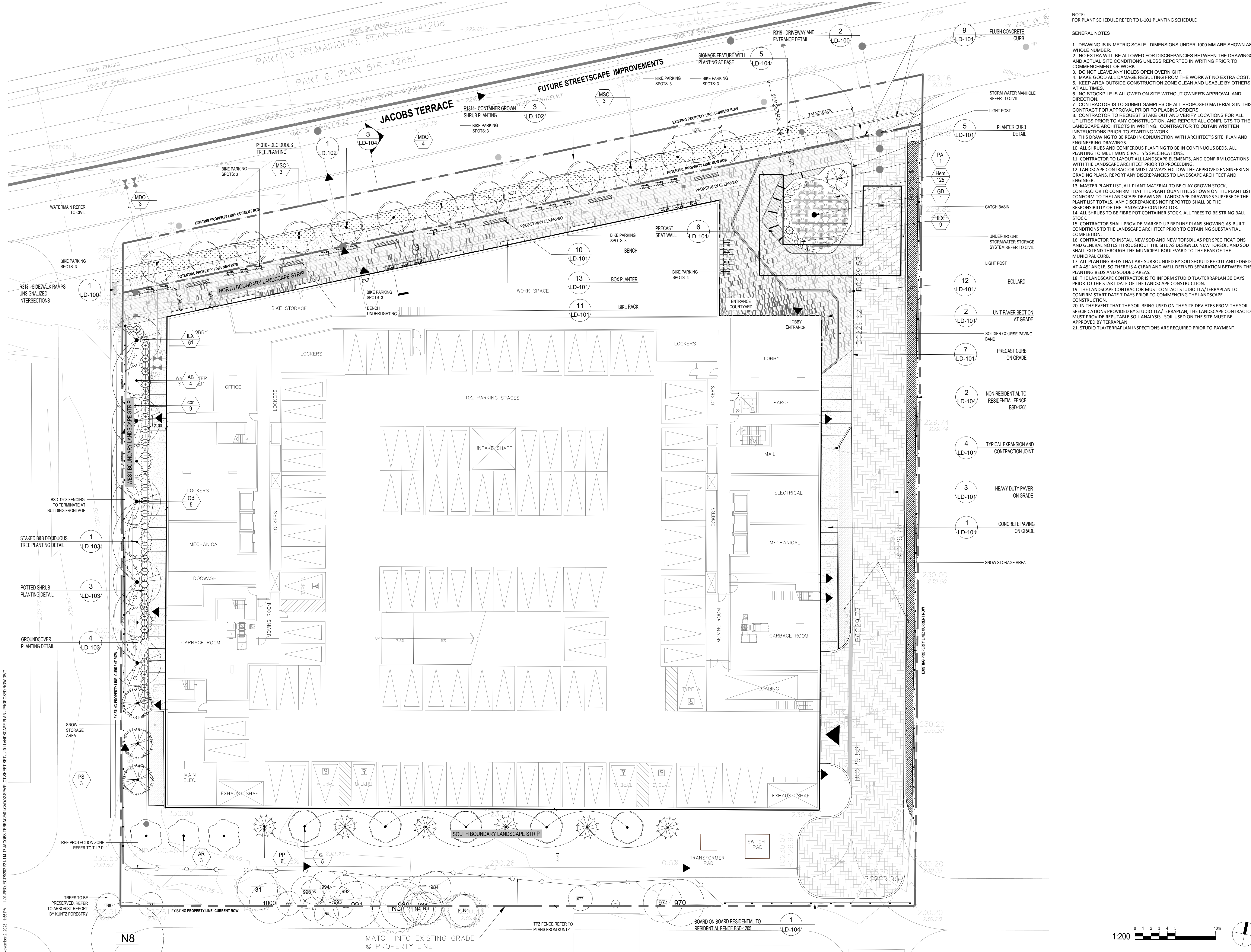
PROJECT

LANDSCAPE PLAN - CURRENT ROW

DRAWING	
DRAWN:	LB
CHECKED:	MC
SCALE:	AS SHOWN
DATE:	2023-03-06
PROJECT NO.:	21-114

L-100

SHEET NO.



- NOTE:
FOR PLANT SCHEDULE REFER TO L-101 PLANTING SCHEDULE
- GENERAL NOTES
- DRAWING IS IN METRIC SCALE. DIMENSIONS UNDER 1000 MM ARE SHOWN AS WHOLE NUMBER.
 - NO EXTRA WILL BE ALLOWED FOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS UNLESS REPORTED IN WRITING PRIOR TO COMMENCEMENT OF WORK.
 - DO NOT LEAVE ANY HOLES OPEN OVERNIGHT.
 - MAKE GOOD ALL DAMAGE RESULTING FROM THE WORK AT NO EXTRA COST.
 - KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
 - NO STOCKPILE IS ALLOWED ON SITE WITHOUT OWNER'S APPROVAL AND DIRECTION.
 - CONTRACTOR IS TO SUBMIT SAMPLES OF ALL PROPOSED MATERIALS IN THIS CONTRACT FOR APPROVAL PRIOR TO PLACING ORDERS.
 - CONTRACTOR TO REQUEST STAKE OUT AND VERIFY LOCATIONS FOR ALL UTILITIES PRIOR TO ANY CONSTRUCTION, AND REPORT ALL CONFLICTS TO THE LANDSCAPE ARCHITECTS IN WRITING. CONTRACTOR TO OBTAIN WRITTEN INSTRUCTIONS PRIOR TO STARTING WORK.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECT'S SITE PLAN AND ENGINEERING DRAWINGS.
 - ALL SHRUBS AND CONIFEROUS PLANTING TO BE IN CONTINUOUS BEDS. ALL PLANTING TO MEET MUNICIPALITY'S SPECIFICATIONS.
 - CONTRACTOR TO LAYOUT ALL LANDSCAPE ELEMENTS, AND CONFIRM LOCATIONS WITH THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
 - LANDSCAPE CONTRACTOR MUST ALWAYS FOLLOW THE APPROVED ENGINEERING GRADING PLANS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT AND ENGINEER.
 - MASTER PLANT LIST. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK. CONTRACTOR TO CONFIRM THAT THE PLANT QUANTITIES SHOWN ON THE PLANT LIST CONFORM TO THE LANDSCAPE DRAWINGS. LANDSCAPE DRAWINGS SUPERSEDE THE PLANT LIST TOTALS. ANY DISCREPANCIES NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - ALL SHRUBS TO BE FIBRE POT CONTAINER STOCK. ALL TREES TO BE STRING BALL STOCK.
 - CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT CONDITIONS TO THE LANDSCAPE ARCHITECT PRIOR TO OBTAINING SUBSTANTIAL COMPLETION.
 - CONTRACTOR TO INSTALL NEW SOD AND NEW TOPSOIL AS PER SPECIFICATIONS AND GENERAL NOTES THROUGHOUT THE SITE AS DESIGNED. NEW TOPSOIL AND SOD SHALL EXTEND THROUGH THE MUNICIPAL BOULEVARD TO THE REAR OF THE MUNICIPAL CURB.
 - ALL PLANTING BEDS THAT ARE SURROUNDED BY SOD SHOULD BE CUT AND EDGED AT A 45° ANGLE, SO THERE IS A CLEAR AND WELL DEFINED SEPARATION BETWEEN THE PLANTING BEDS AND SODDED AREAS.
 - THE LANDSCAPE CONTRACTOR IS TO INFORM STUDIO TLA/TERRAPLAN 30 DAYS PRIOR TO THE START DATE OF THE LANDSCAPE CONSTRUCTION.
 - THE LANDSCAPE CONTRACTOR MUST CONTACT STUDIO TLA/TERRAPLAN TO CONFIRM START DATE 7 DAYS PRIOR TO COMMENCING THE LANDSCAPE CONSTRUCTION.
 - IN THE EVENT THAT THE SOIL BEING USED ON THE SITE DEVIATES FROM THE SOIL SPECIFICATIONS PROVIDED BY STUDIO TLA/TERRAPLAN, THE LANDSCAPE CONTRACTOR MUST PROVIDE REPUTABLE SOIL ANALYSIS. SOIL USED ON THE SITE MUST BE APPROVED BY TERRAPLAN.
 - STUDIO TLA/TERRAPLAN INSPECTIONS ARE REQUIRED PRIOR TO PAYMENT.

NOT FOR CONSTRUCTION

LEGEND

- CONCRETE PAVING
- ACCENT / SPECIAL PAVING
- HEAVY DUTY VEHICULAR UNIT PAVING
- SOD
- BENCH
- BIKE RACK
- TREE PROTECTION ZONE REFER TO T.I.P.P.
- BOUNDARY FENCING
- SNOW STORAGE

TOTAL BIKE PARKING SPOTS - 28

no.	revision	date	by
5	ISSUED FOR SPA	2023-10-16	LB
4	ISSUED FOR REZONING REV.2	2023-02-28	LB
3	ISSUED FOR REZONING REV.1	2022-08-26	LB
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signed _____ date _____

STUDIO **tlā**

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RGC
RINOMATO GROUP OF COMPANIES

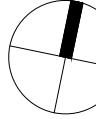
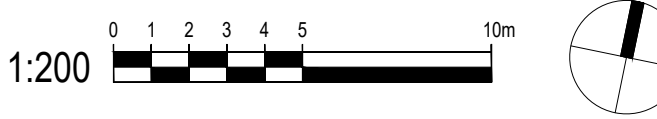
TONLU
PROPERTIES

CLIENT
17 JACOBS TERRACE
BARRIE, ONTARIO
PROJECT
LANDSCAPE PLAN - PROPOSED ROW

DRAWING
DRAWN: LB
CHECKED: MC
SCALE: AS SHOWN
DATE: 2023-03-06
PROJECT NO.: 21-114

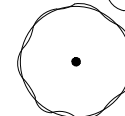
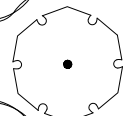
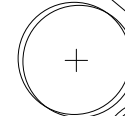
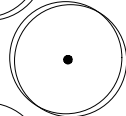
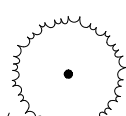
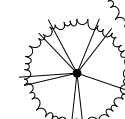
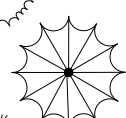
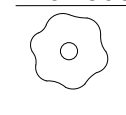
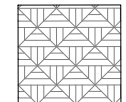


SHEET NO.: L-101



November 2, 2023 1:55 PM I:\01-PROJECTS\2021\21-114-17 JACOBS TERRACE\01-CADD\2-SWAMP\102-PLANTING SCHEDULE.DWG

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HT.	REMARKS	
	AR	3	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	B & B	70MM CAL			
	GB	5	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	B & B	70MM CAL		SALT TOLERANT	
	GD	1	GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	B & B	70MM CAL		NATIVE, SALT TOLERANT	
	MDO	7	MALUS X 'DOLGO'	DOLGO CRAB APPLE	B & B	60MM CAL			
	MSC	6	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	70MM CAL			
	QB	5	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	70MM CAL		NATIVE, WET TOLERANT	
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HT.	REMARKS	
	AB	4	ABIES BALSAMEA	BALSAM FIR	B & B		200 CM	NATIVE, WET TOLERANT	
	PA	1	PICEA ABIES 'AARBURG'	AARBURG WEEPING NORWAY SPRUCE	B & B		200 CM		
	PP	6	PICEA PUNGENS 'BABY BLUE'	BABY BLUE SPRUCE	B & B		200 CM	SALT TOLERANT	
	PS	3	PINUS STROBUS	WHITE PINE	B & B		200 CM	NATIVE	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	SPACING	REMARKS
	cor	9	CORNUS SERICEA	RED OSIER DOGWOOD	5 GAL.	60 CM		2m	SALT TOLERANT
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	SPACING	REMARKS
	ILX	70	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	5 GAL.		50CM	1m	SALT TOLERANT
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.				
	Hem	125	HEMEROCALLIS X 'PARDON ME'	PARDON ME DAYLILY	2 GAL.			600mm	SALT TOLERANT

City of Barrie Planting Density Requirements
Planting Density Formula Guidelines – Residential Developments Total Site Area (m2) / 200 = # of Deciduous Trees (60mm CAL) Total Site Area (m2) / 400 = # of Evergreen Trees (2m HT) Total Site Area (m2) / 100 = # of Deciduous Shrubs (0.6-1.2m HT) Total Site Area (m2) / 200 = # of Evergreen Shrubs (0.45m SPR/1.2m HT)
17 Jacobs Terrace - Total Planting Density - Required
Total Site Area = 9146.8m2 Total Site Area (m2) / 200 = 46 of Deciduous Trees (60mm CAL) Total Site Area (m2) / 400 = 23 of Evergreen Trees (2m HT) Total Site Area (m2) / 100 = 91 of Deciduous Shrubs (0.6-1.2m HT) Total Site Area (m2) / 200 = 46 of Evergreen Shrubs (0.45m SPR/1.2m HT)

Ground Floor Planting Density - Proposed	
Number of Deciduous Trees:	27
Number of Evergreen Trees:	14
Number of Deciduous Shrubs:	9
Number of Evergreen Shrubs:	70
Amenity Floor Planting Density - Proposed	
Number of Deciduous Trees:	12
Number of Evergreen Trees:	0
Number of Deciduous Shrubs:	49
Number of Evergreen Shrubs:	0
17 Jacobs Terrace - Total Planting Density - Proposed	
Total Number of Deciduous Trees:	39
Total Number of Evergreen Trees:	14
Total Number of Deciduous Shrubs:	58
Total Number of Evergreen Shrubs:	70

NOT FOR CONSTRUCTION

5	ISSUED FOR SPA	2023-10-16	LB
4	ISSUED FOR REZONING REV.2	2023-02-28	LB
3	ISSUED FOR REZONING REV.1	2022-08-26	LB
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1	ISSUED FOR REZONING	2021-08-06	LB
no.	revision	date	by

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signed _____ date _____

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TONLU
PROPERTIES

CLIENT
17 JACOBS TERRACE

PROJECT
BARRIE, ONTARIO

PLANTING SCHEDULE

DRAWING	
DRAWN: LB	
CHECKED: MC	
SCALE: AS SHOWN	
DATE: 2023-03-06	
PROJECT NO.: 21-114	



SHEET NO.: L-102

5	ISSUED FOR SPA	2023-10-16	LB
4	ISSUED FOR REZONING REV 2	2023-02-28	LB
3	ISSUED FOR REZONING REV 1	2022-08-26	LB
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2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418</
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TONLU
PROPERTIES

CLIENT	17 JACOBS TERRACE
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BARRIE, ONTARIO

PROJECT	
FENCING PLAN	

DRAWING	
DRAWN: I.P.	

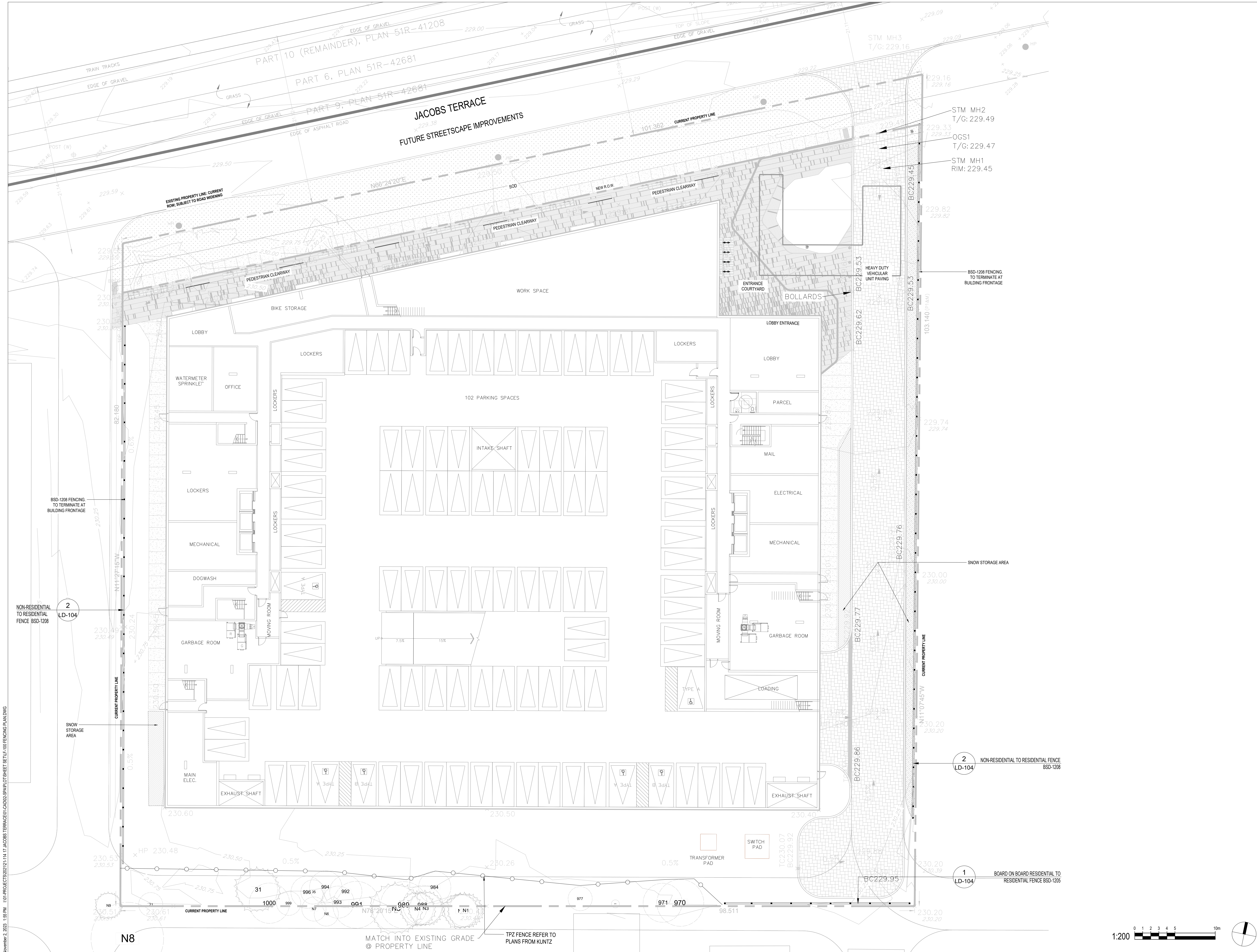
DRAWN:	ED
CHECKED:	MC
SCALE:	AS SHOWN

DATE:	2023-03-06
PROJECT NO :	21-114

	MEMBER ARCHITECTS AMERICAN INSTITUTE OF
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SHEET NO. LF-100

SHEET NO. _____

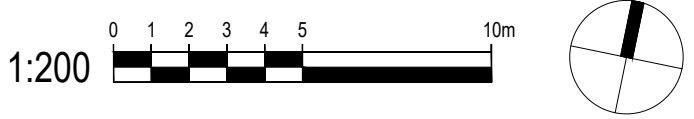




17 Jacobs Terrace - Total Planting Density - Proposed	
Total Number of Deciduous Trees:	39
Total Number of Evergreen Trees:	14
Total Number of Deciduous Shrubs:	58
Total Number of Evergreen Shrubs:	70

NOTE:
FOR PLANT SCHEDULE REFER TO L-101 PLAN

PLANT SCHEDULE									
DECIDUOUS TREES									
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HT.		REMARKS
	AMC	7	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	15 GAL.		250 CM		NATIVE, TREEFORM
	BPG	5	BETULA Papyrifera	PAPER BIRCH	15 GAL.		250 CM		NATIVE, MULTISTEM
DECIDUOUS SHRUBS									
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	SPACING	REMARKS
	Cie	26	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET	5 GAL.	60 CM		1m	SALT TOLERANT
	Hyd	23	HYDRANGEA MACROPHYLLA 'TWIST-N-SHOUT'	TWIST-N-SHOUT HYDRANGEA	5 GAL.	60 CM		2m	
GRASSES									
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.				
	Cal	223	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.			500mm	
PERENNIALS									
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.				
	Gai	250	GAILLARDIA ARISTATA	BLANKET FLOWER	2 GAL.			500mm	NATIVE, DROUGHT TOLERANT
	Lia	639	LIATRIS SPICATA	BLAZING STAR	2 GAL.			500mm	NATIVE, DROUGHT TOLERANT



signed _____ date _____

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CLIENT _____

BARRIE, ONTARIO

PROJECT	
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DETAIL SHEET

DRAWING

DRAWN: LB

CHECKED: MC

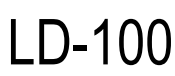
SCALE: AS SH

DATE: 2023-03-01

PROJECT NO.: 21-114

ID

SHEET NO.:



[illegible]

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PROPERTIES

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DATE: 2023-03-06	
PROJECT NO.: 21-114	

[illegible]

product and inspiration for our work. We have been fortunate to work with some of the most innovative and creative people in the industry, and we are proud to have been a part of their success.



14 SITE FURNITURE
N.T.S.



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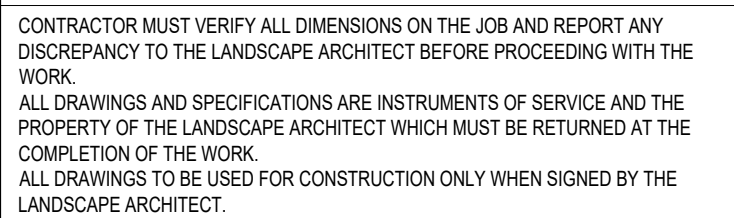
CLIENT	17 JACOBS TERRACE
PROJECT	BARRIE, ONTARIO
DETAIL SHEET	
DRAWING	

LD-102





5 SOIL DEPTH MINIMUMS



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PROPERTIES

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DRAWING

DRAWN: I B

CHECKED: MC

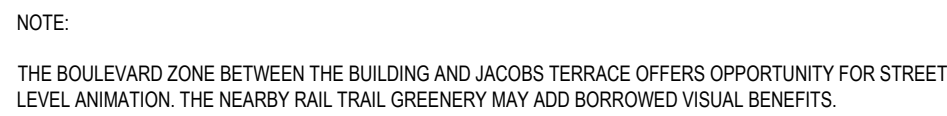
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DATE: 2023-03

PROJECT NO.: 21-114

ID

SHEET NO.:



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RINOMATO GROUP OF COMPANIES

TONLU
PROPERTIES

CLIENT

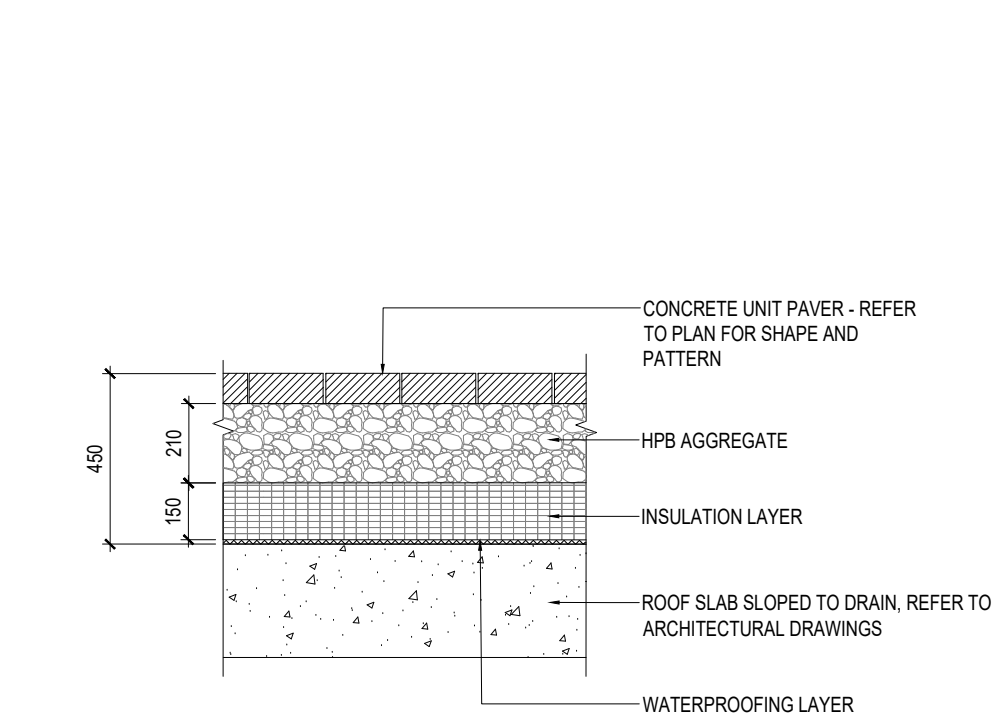
17 JACOBS TERRACE

BARRIE, ONTARIO

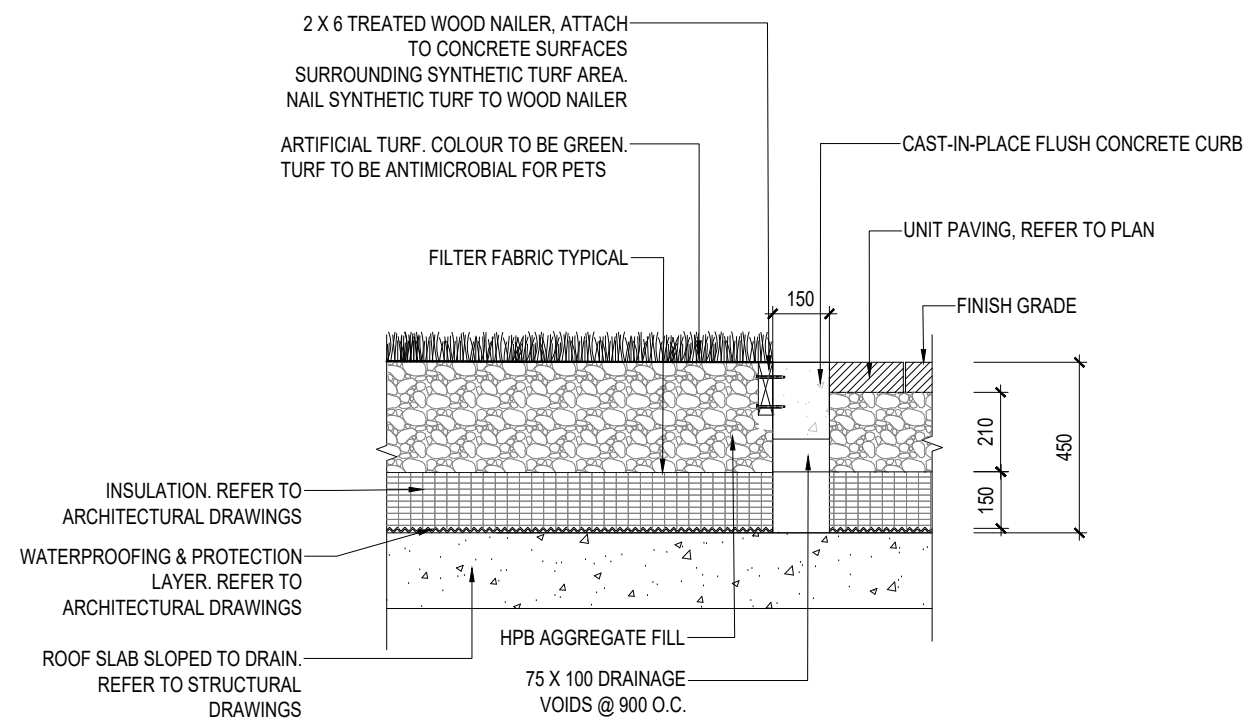
DETAIL SHEET

DRAWING	
DRAWN:	LB
CHECKED:	MC
SCALE:	AS SHOWN
DATE:	2023-03-06
PROJECT NO.:	21-114

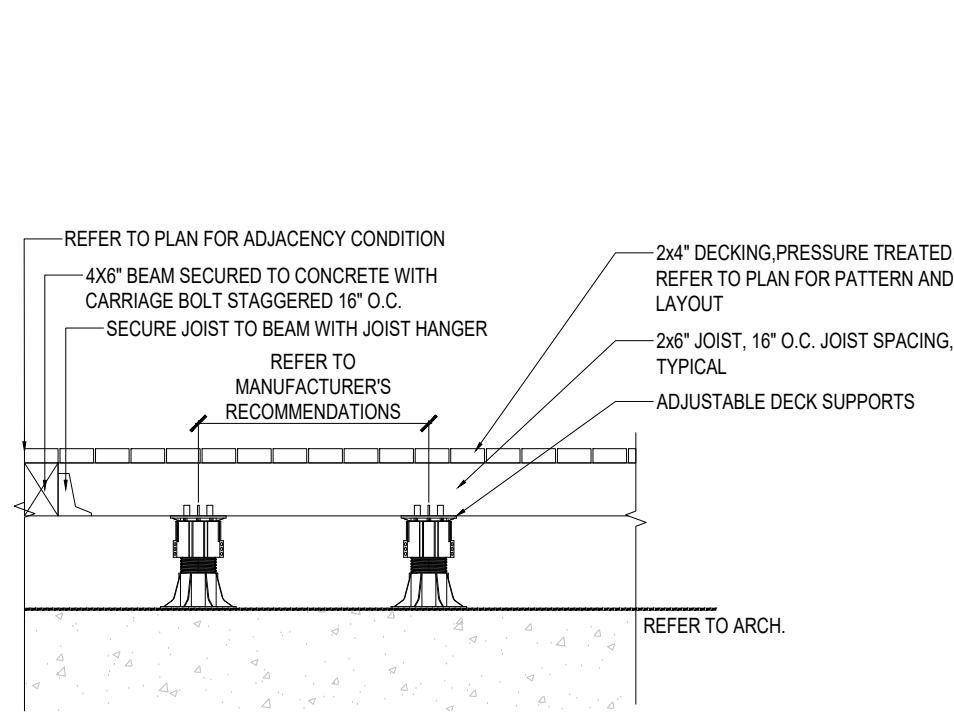




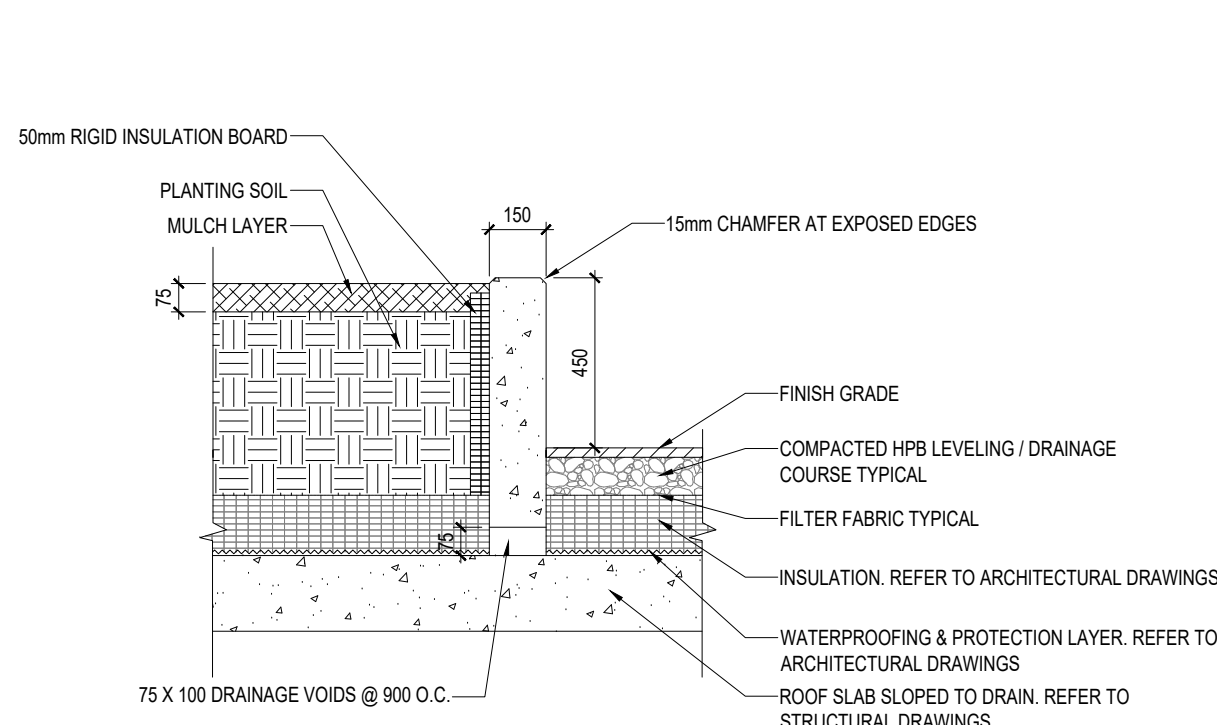
1 UNIT PAVER ON ROOF SLAB SECTION
SCALE=1:20



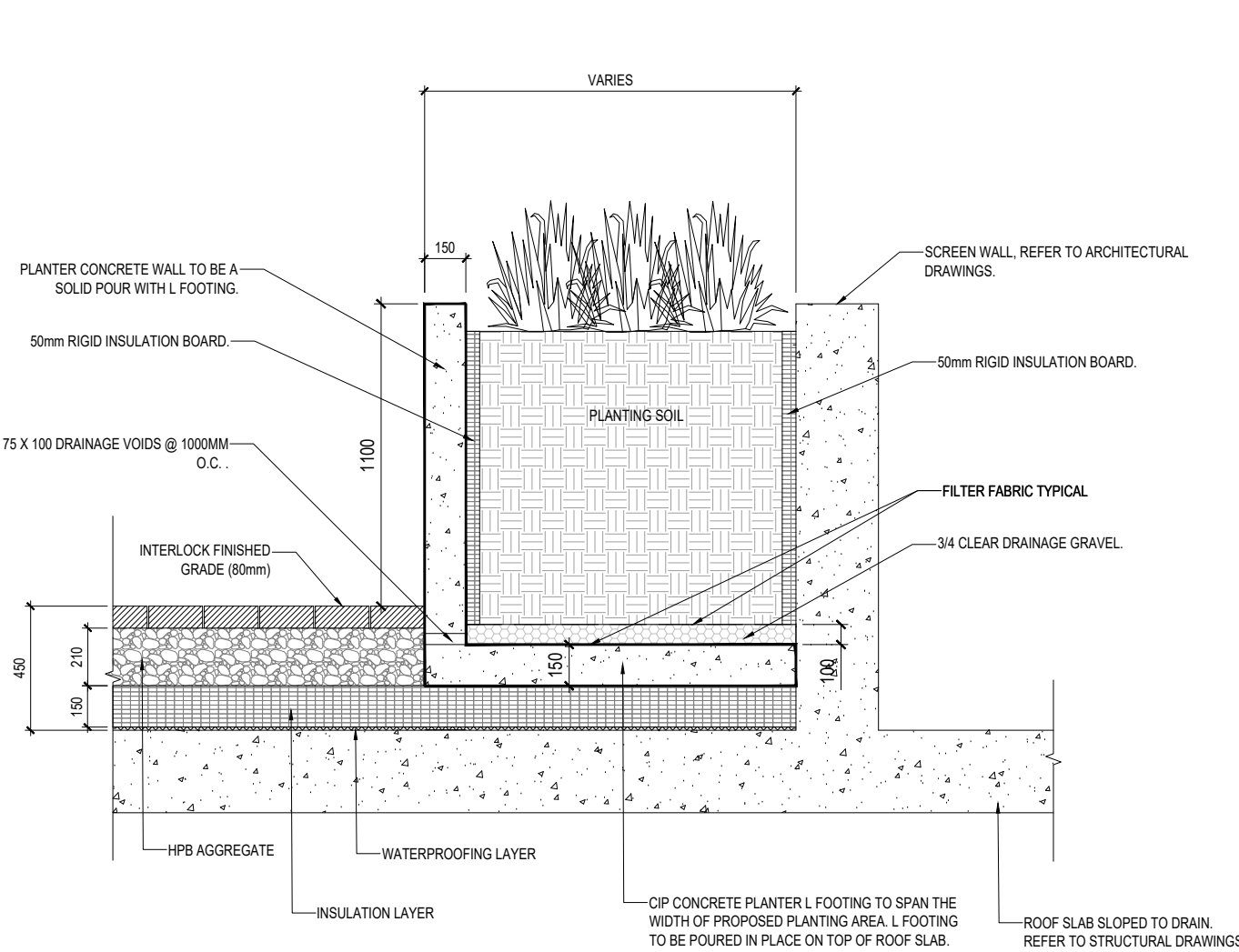
2 ARTIFICIAL TURF ON SLAB SECTION
SCALE=1:20



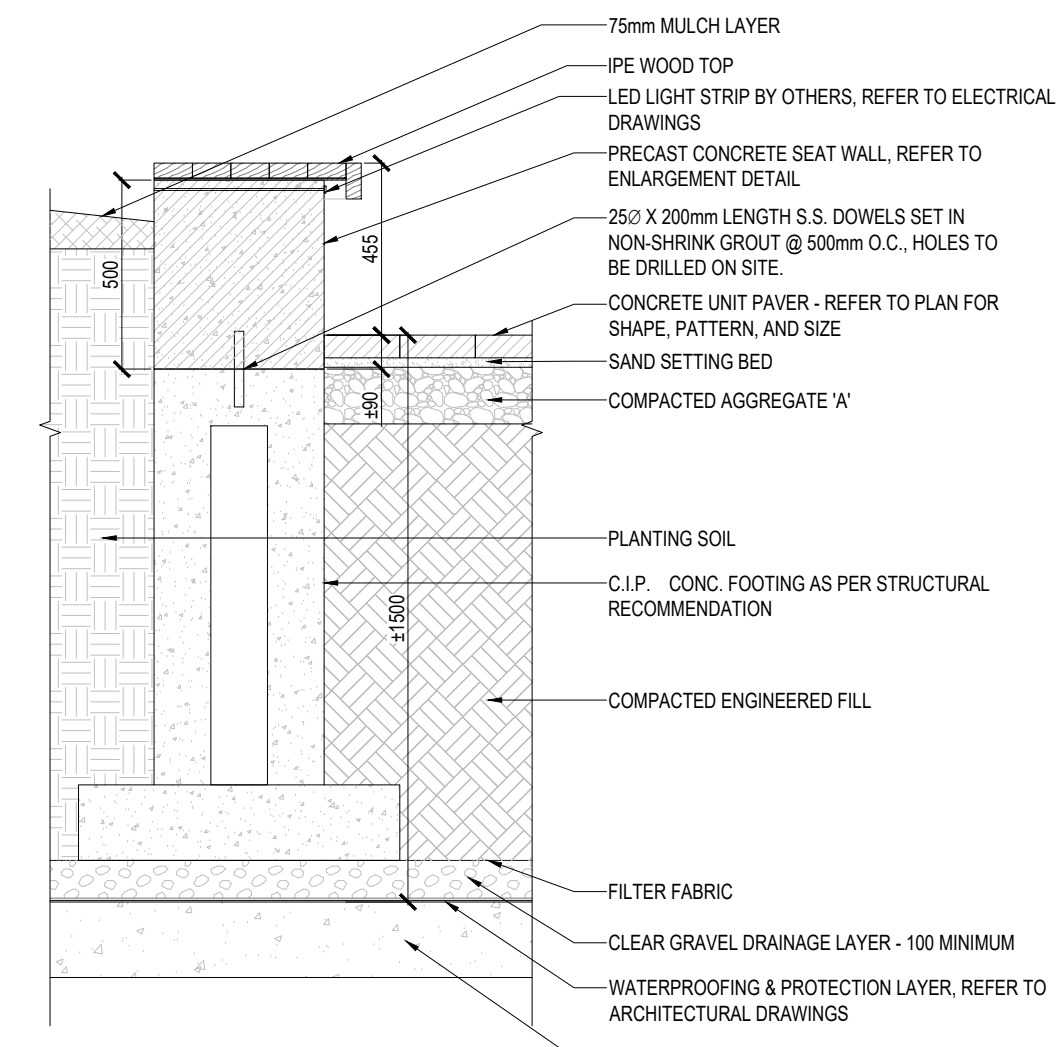
3 WOOD DECK ON PEDESTALS SECTION
1:20



4 SEAT-HEIGHT PLANTER WALL ON SLAB
1:20



5 CONCRETE PLANTER ON SLAB
N.T.S.



6 PRECAST SEATWALL ON SLAB
1:20

HAUSER
SINCE 1949

info@hauserstores.com
800-268-7328 ext. 232
hauserstores.com

7 DINING TABLE OR APPROVED EQUAL
N.T.S.



Gloster Sway Arm Chair - Anthracite

HSGL8203-MA



PRODUCT SPECS

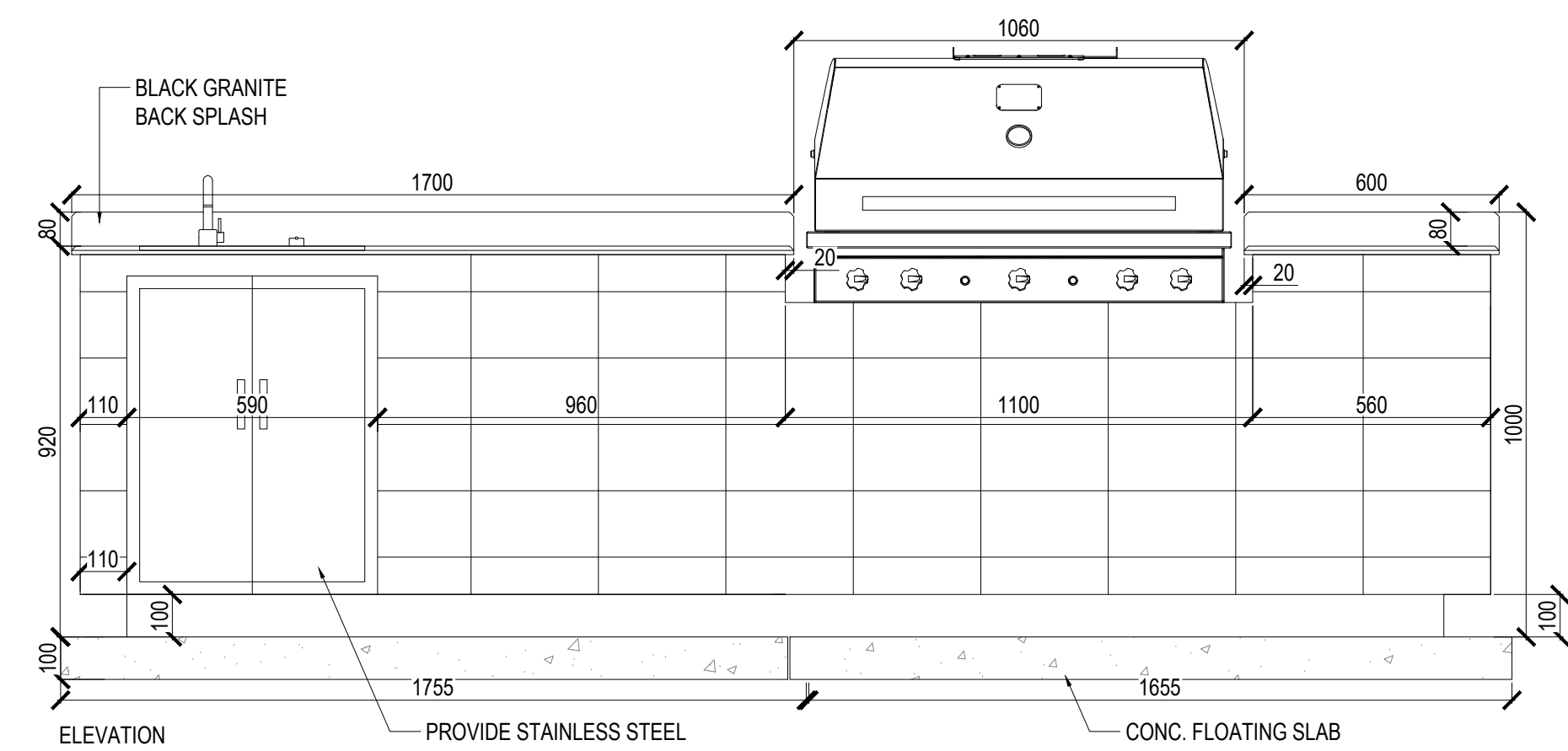
General Dimensions	25.5" W X 24" D X 32.5" H
Seat Height	18.5"
Weight	12lb
Fabric	Batylene PVC Coated Polyester Yarn - Durable, UV-Resistant And Water-Repellent Fabric
Frame	Natural Teak, Powder-Coated Aluminum
Style	Contemporary



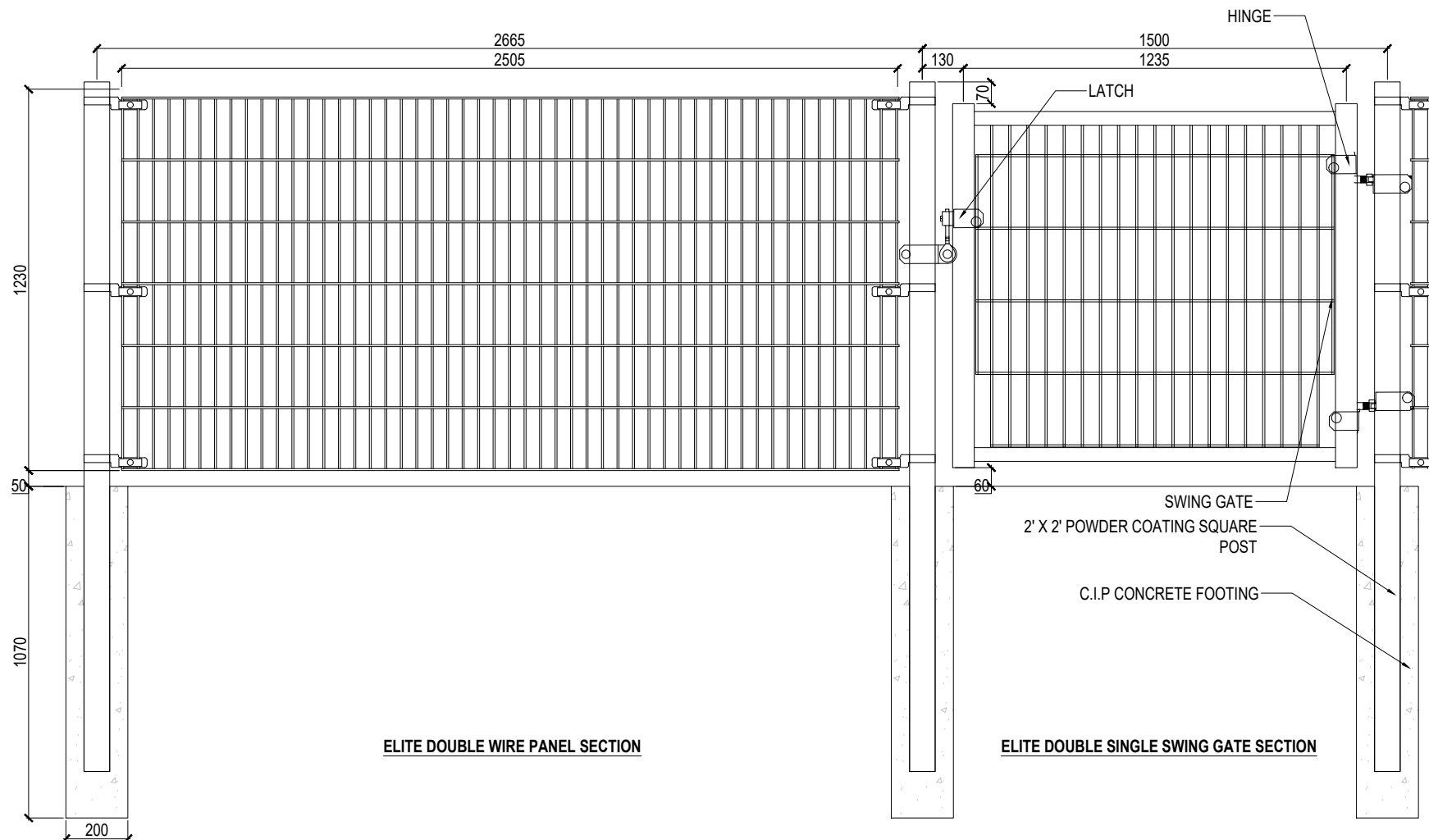
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hauserstores.com

8 ARM CHAIR OR APPROVED EQUAL
N.T.S.



9 OUTDOOR KITCHEN
SCALE 1:15



10 FENCE & GATE
1:20

Pergola
CHS-2010-16-AL-26x7.25 - Pergola, Aluminum Frame & Slat
Our 'Pergola' features all aluminum construction, 4" x 6" posts with built-in surface mount plates and concealed covers, and 3" x 1" horizontal roof slats. Shown here in our 'Silver Age' powdercoat finish. The frame has been designed to accept a variety of lighting and heat options. Custom sizes are also available.

Width: 96" (243.8 cm)
Depth: 96" (243.8 cm)
Height: 87" (221.0 cm)



HAUSER
CONTRACT

sales@hauser.ca
800-268-7328
hauser.ca

11 PERGOLA
NO SCALE

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PROPERTIES

CLIENT
17 JACOBS TERRACE
BARRIE, ONTARIO

PROJECT
DETAIL SHEET

DRAWING
DRAWN: LB
CHECKED: MC
SCALE: AS SHOWN
DATE: 2023-03-06
PROJECT NO.: 21-114



LD-105
SHEET NO.:



1 AMENITY SECTION DRAWING 1-1
1:75

5	ISSUED FOR SPA	2023-10-16	LB
4	ISSUED FOR REZONING REV.2	2023-02-28	LB
3	ISSUED FOR REZONING REV.1	2022-08-26	LB
2	ISSUED FOR COORDINATION	2022-04-14	LB
1	ISSUED FOR REZONING	2021-08-06	LB
no.	revision	date	by

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DETAIL SHEET

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DATE: 2023-03-06	
PROJECT NO.: 21-114	

SHEET NO.: LD-106

