



GENERAL NOTES

- 1. ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1000mm ARE SHOWN AS A WHOLE NUMBER. ALL DIMENSIONS ARE GIVEN TO FACE OF CURB AND FACE OF FOUNDATION AND SITE WALLS, UNLESS OTHERWISE INDICATED.
- 2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PROVINCIAL OR LOCAL MUNICIPAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO PROVINCIAL AND LOCAL MUNICIPAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.

 3. CONTRACTOR SHALL ARRANGE FOR UTILITY STAKING PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR
- TO CONSTRUCTION TO BECOME FAMILIAR WITH EXISTING CONDITIONS. IF ANY DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS, CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

 4. EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY
- 4. EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- 5. CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT, GRADING, STAKING, AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION. CONTRACTOR SHALL FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL
- NECESSARY REPAIRS AT NO COST TO THE OWNER.

 7. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE.

 8. DROVIDE RAPPIERS OR OTHER PROTECTION TO KEED VEHICLE AR AND REDESTRIAN TRA
- 8. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS BEFORE ASPHALT OR CONCRETE HAS CURED. DO NOT LEAVE ANY HOLES OPEN OVERNIGHT.
- SEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED MATERIALS FOR APPROVAL PRIOR TO PLACING ORDERS.
 ALL WORK SHALL BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO PAYMENT APPROVAL.
- 12. CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT SITE CONDITIONS TO THE LANDSCAPE ARCHITECT, PRIOR TO OBTAINING APPROVAL OF SUBSTANTIAL COMPLETION.
- APPROVAL OF SUBSTANTIAL COMPLETION.

 13. AT ALL EDGES OF EXISTING SIDEWALK OR CURB AGAINST WHICH NEW CONCRETE IS TO BE PLACED, SAWCUT AND REMOVE EXISTING CONCRETE BACK TO THE
- NEAREST CONTRACTION JOINT TO PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.

 14. INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE PAVEMENT, SLABS, OR FOOTINGS.
- 15. INSTALL EXPANSION JOINTS AT MAXIMUM 6 METER INTERVAL.

17 JACOBS TERRACE SPA LANDSCAPE DRAWING SET

BARRIE, ONTARIO

| Sheet List Table | | | | |
|------------------|-------------------------------|--|--|--|
| Sheet Number | Sheet Title | | | |
| C-001 | COVER PAGE | | | |
| EX-100 | EXISTING CONDITIONS | | | |
| L-100 | LANDSCAPE PLAN - CURRENT ROW | | | |
| L-101 | LANDSCAPE PLAN - PROPOSED ROW | | | |
| L-102 | PLANTING SCHEDULE | | | |
| LF-100 | FENCING PLAN | | | |
| L-103 | LANDSCAPE AMENITY PLAN | | | |
| LD-100 | DETAIL SHEET | | | |
| LD-101 | DETAIL SHEET | | | |
| LD-102 | DETAIL SHEET | | | |
| LD-103 | DETAIL SHEET | | | |
| LD-104 | DETAIL SHEET | | | |
| LD-105 | DETAIL SHEET | | | |
| LD-106 | DETAIL SHEET | | | |
| | | | | |

NOT FOR CONSTRUCTION

| 5 | ISSUED FOR SPA | 2023-10-16 | LB |
|-----|---------------------------|------------|----|
| 4 | ISSUED FOR REZONING REV.2 | 2023-02-28 | LB |
| 3 | ISSUED FOR REZONING REV.1 | 2022-08-26 | LB |
| 2 | ISSUED FOR COORDINATION | 2022-04-14 | LB |
| 1 | ISSUED FOR REZONING | 2021-08-06 | LB |
| no. | revision | date | by |

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY
DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE
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PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE

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ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed

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CLIEN

17 JACOBS TERRACE

BARRIE, ONTARIO

COVER PAGE

DRAWING

DRAWN: LB

CHECKED: MC

SCALE: AS SHOWN

DATE: 2023-03-06

PROJECT NO.: 21-114



C-001



NOT FOR CONSTRUCTION

REFER TO DRAWING 21-031BT01 BY KRCMAR

| 5 | ISSUED FOR SPA | 2023-10-16 | LB |
|---|---------------------------|------------|----|
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TONLU PROPERTIES

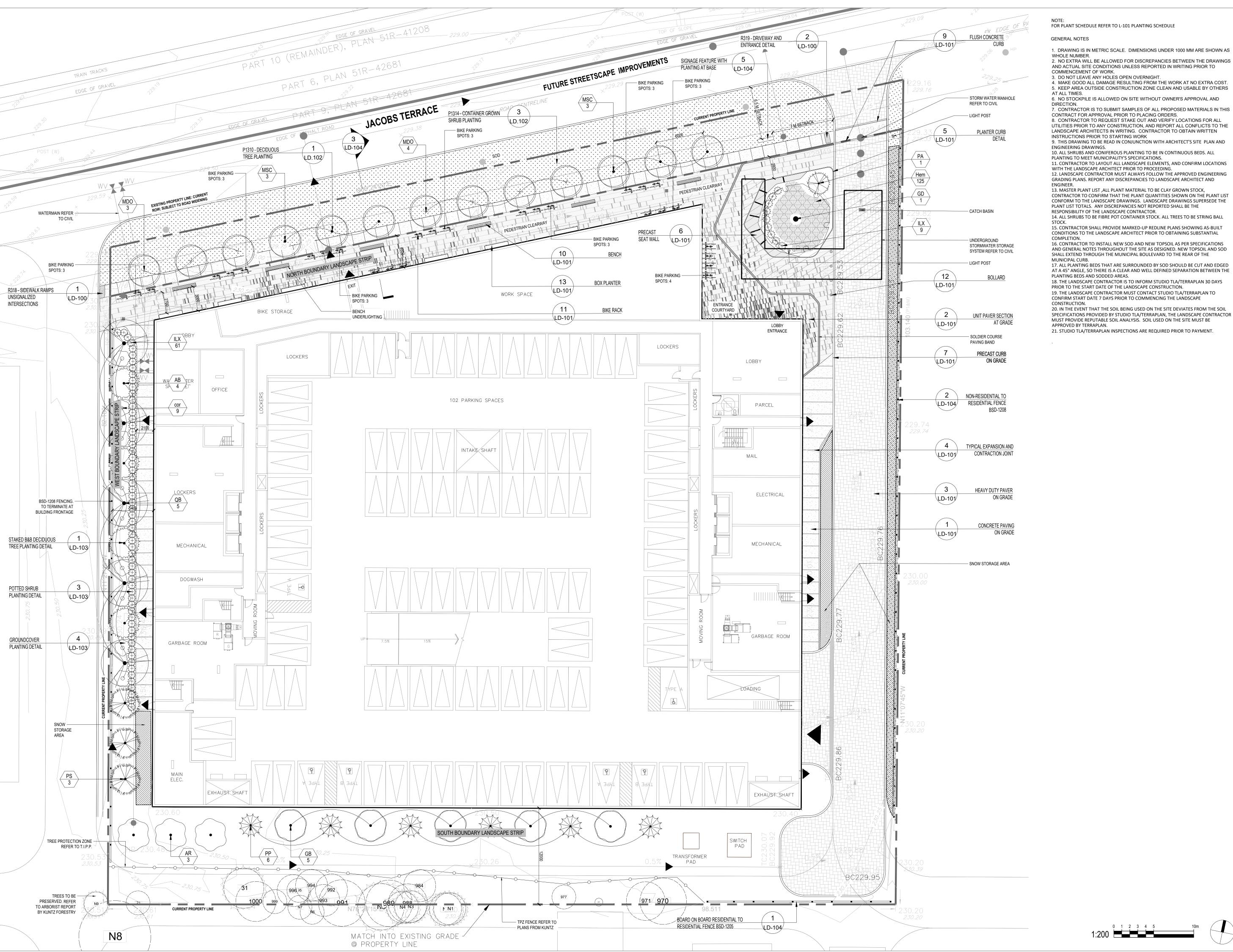
17 JACOBS TERRACE

BARRIE, ONTARIO

EXISTING CONDITIONS

AS SHOWN PROJECT NO.: 21-114

EX-100



NOT FOR CONSTRUCTION NOTE: FOR PLANT SCHEDULE REFER TO L-101 PLANTING SCHEDULE

LEGEND

CONCRETE PAVING

ACCENT / SPECIAL PAVING

TREE PROTECTION ZONE REFER TO T.I.P.P

BOUNDARY FENCING

15. CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT CONDITIONS TO THE LANDSCAPE ARCHITECT PRIOR TO OBTAINING SUBSTANTIAL 16. CONTRACTOR TO INSTALL NEW SOD AND NEW TOPSOIL AS PER SPECIFICATIONS

AND GENERAL NOTES THROUGHOUT THE SITE AS DESIGNED. NEW TOPSOIL AND SOD SHALL EXTEND THROUGH THE MUNICIPAL BOULEVARD TO THE REAR OF THE 17. ALL PLANTING BEDS THAT ARE SURROUNDED BY SOD SHOULD BE CUT AND EDGED

AT A 45° ANGLE, SO THERE IS A CLEAR AND WELL DEFINED SEPARATION BETWEEN THE PLANTING BEDS AND SODDED AREAS. 18. THE LANDSCAPE CONTRACTOR IS TO INFORM STUDIO TLA/TERRAPLAN 30 DAYS PRIOR TO THE START DATE OF THE LANDSCAPE CONSTRUCTION.

CONFIRM START DATE 7 DAYS PRIOR TO COMMENCING THE LANDSCAPE 20. IN THE EVENT THAT THE SOIL BEING USED ON THE SITE DEVIATES FROM THE SOIL SPECIFICATIONS PROVIDED BY STUDIO TLA/TERRAPLAN, THE LANDSCAPE CONTRACTOR

MUST PROVIDE REPUTABLE SOIL ANALYSIS. SOIL USED ON THE SITE MUST BE APPROVED BY TERRAPLAN. 21. STUDIO TLA/TERRAPLAN INSPECTIONS ARE REQUIRED PRIOR TO PAYMENT. HEAVY DUTY VEHICULAR UNIT PAVING BENCH BIKE RACK

SNOW STORAGE



CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE

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PROPERTIES

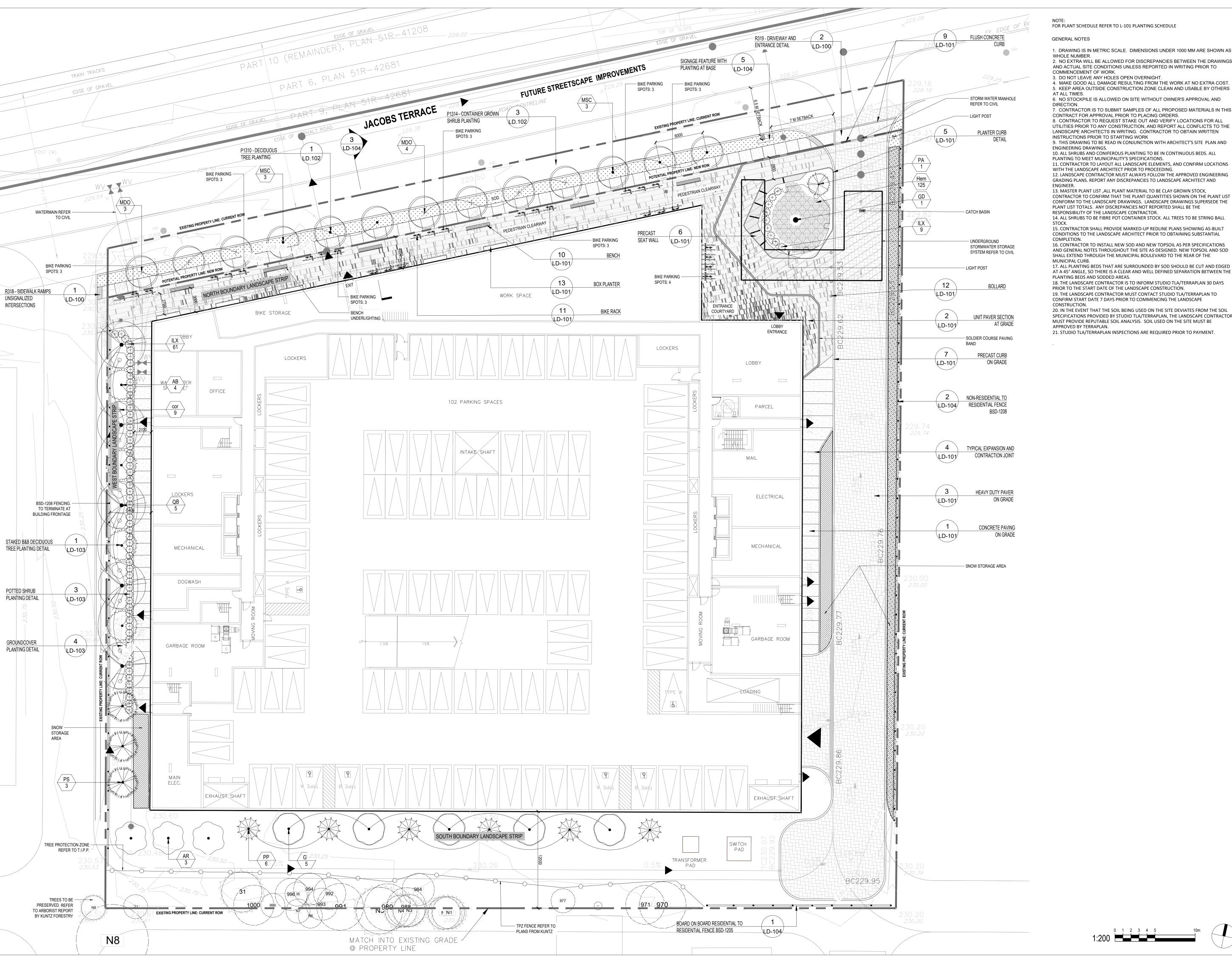
17 JACOBS TERRACE

BARRIE, ONTARIO

LANDSCAPE PLAN - CURRENT ROW

CHECKED: AS SHOWN

PROJECT NO.: 21-114



NOTE: FOR PLANT SCHEDULE REFER TO L-101 PLANTING SCHEDULE

1. DRAWING IS IN METRIC SCALE. DIMENSIONS UNDER 1000 MM ARE SHOWN AS WHOLE NUMBER. 2. NO EXTRA WILL BE ALLOWED FOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS UNLESS REPORTED IN WRITING PRIOR TO

3. DO NOT LEAVE ANY HOLES OPEN OVERNIGHT. 4. MAKE GOOD ALL DAMAGE RESULTING FROM THE WORK AT NO EXTRA COST. 5. KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS

6. NO STOCKPILE IS ALLOWED ON SITE WITHOUT OWNER'S APPROVAL AND 7. CONTRACTOR IS TO SUBMIT SAMPLES OF ALL PROPOSED MATERIALS IN THIS

8. CONTRACTOR TO REQUEST STAKE OUT AND VERIFY LOCATIONS FOR ALL UTILITIES PRIOR TO ANY CONSTRUCTION, AND REPORT ALL CONFLICTS TO THE LANDSCAPE ARCHITECTS IN WRITING. CONTRACTOR TO OBTAIN WRITTEN INSTRUCTIONS PRIOR TO STARTING WORK 9. THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECT'S SITE PLAN AND

10. ALL SHRUBS AND CONIFEROUS PLANTING TO BE IN CONTINUOUS BEDS. ALL PLANTING TO MEET MUNICIPALITY'S SPECIFICATIONS. 11. CONTRACTOR TO LAYOUT ALL LANDSCAPE ELEMENTS, AND CONFIRM LOCATIONS WITH THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. 12. LANDSCAPE CONTRACTOR MUST ALWAYS FOLLOW THE APPROVED ENGINEERING GRADING PLANS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT AND

13. MASTER PLANT LIST ,ALL PLANT MATERIAL TO BE CLAY GROWN STOCK, CONTRACTOR TO CONFIRM THAT THE PLANT QUANTITIES SHOWN ON THE PLANT LIST CONFORM TO THE LANDSCAPE DRAWINGS. LANDSCAPE DRAWINGS SUPERSEDE THE PLANT LIST TOTALS. ANY DISCREPANCIES NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

14. ALL SHRUBS TO BE FIBRE POT CONTAINER STOCK. ALL TREES TO BE STRING BALL 15. CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT CONDITIONS TO THE LANDSCAPE ARCHITECT PRIOR TO OBTAINING SUBSTANTIAL

16. CONTRACTOR TO INSTALL NEW SOD AND NEW TOPSOIL AS PER SPECIFICATIONS AND GENERAL NOTES THROUGHOUT THE SITE AS DESIGNED. NEW TOPSOIL AND SOD SHALL EXTEND THROUGH THE MUNICIPAL BOULEVARD TO THE REAR OF THE

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21. STUDIO TLA/TERRAPLAN INSPECTIONS ARE REQUIRED PRIOR TO PAYMENT.

NOT FOR CONSTRUCTION

LEGEND

CONCRETE PAVING

ACCENT / SPECIAL PAVING HEAVY DUTY VEHICULAR UNIT PAVING

BENCH

BIKE RACK

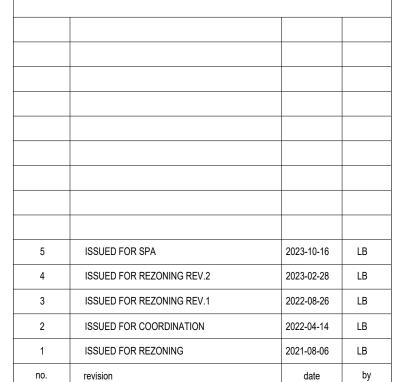
TREE PROTECTION ZONE

BOUNDARY FENCING

REFER TO T.I.P.P

SNOW STORAGE

TOTAL BIKE PARKING SPOTS - 28



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PROPERTIES

17 JACOBS TERRACE

BARRIE, ONTARIO

LANDSCAPE PLAN - PROPOSED ROW

CHECKED: AS SHOWN PROJECT NO.: 21-114

| PLANT SCH | PLANT SCHEDULE | | | | | | | | |
|--|----------------|------------|----------------------------------|-------------------------------|--------|------------|--------|---------|-----------------------|
| DECIDUOUS TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | CAL. | HT. | | REMARKS |
| • | AR | 3 | ACER RUBRUM 'ARMSTRONG' | ARMSTRONG MAPLE | B & B | 70MM CAL | | | |
| • | GB | 5 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY GINKGO | B & B | 70MM CAL | | | SALT TOLERANT |
| | GD | 1 | GYMNOCLADUS DIOICUS | KENTUCKY COFFEE TREE | B & B | 70MM CAL | | | NATIVE, SALT TOLERANT |
| + | MDO | 7 | MALUS X 'DOLGO' | DOLGO CRAB APPLE | B & B | 60MM CAL | | | |
| • | MSC | 6 | MALUS X 'SPRING SNOW' | SPRING SNOW CRAB APPLE | В&В | 70MM CAL | | | |
| | QB | 5 | QUERCUS BICOLOR | SWAMP WHITE OAK | B & B | 70MM CAL | | | NATIVE, WET TOLERANT |
| EVERGREEN TREES | CODE | <u>QTY</u> | BOTANICAL NAME | COMMON NAME | CONT. | CAL. | HT. | | REMARKS |
| • | AB | 4 | ABIES BALSAMEA | BALSAM FIR | B & B | | 200 CM | | NATIVE, WET TOLERANT |
| James Carlotte Carlot | PA | 1 | PICEA ABIES `AARBURG` | AARBURG WEEPING NORWAY SPRUCE | B & B | | 200 CM | | |
| | PP | 6 | PICEA PUNGENS 'BABY BLUE' | BABY BLUE SPRUCE | B & B | | 200 CM | | SALT TOLERANT |
| The state of the s | PS | 3 | PINUS STROBUS | WHITE PINE | B & B | | 200 CM | | NATIVE |
| DECIDUOUS SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | <u>HT.</u> | SPR. | SPACING | <u>REMARKS</u> |
| | cor | 9 | CORNUS SERICEA | RED OSIER DOGWOOD | 5 GAL. | 60 CM | | 2m | SALT TOLERANT |
| EVERGREEN SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | <u>HT.</u> | SPR. | SPACING | REMARKS |
| 3+x | ILX | 70 | ILEX GLABRA 'COMPACTA' | COMPACT INKBERRY | 5 GAL. | | 50CM | 1m | SALT TOLERANT |
| PERENNIALS | CODE | <u>QTY</u> | BOTANICAL NAME | COMMON NAME | CONT. | | | | |

PARDON ME DAYLILY

Hem 125 HEMEROCALLIS X `PARDON ME`

City of Barrie Planting Density Requirements

Planting Density Formula Guidelines – Residential Developments

Total Site Area (m2) / 200 = # of Deciduous Trees (60mm CAL) Total Site Area (m2) / 400 = # of Evergreen Trees (2m HT) Total Site Area (m2) / 100 = # of Deciduous Shrubs (0.6-1.2m HT) Total Site Area (m2) / 200 = # of Evergreen Shrubs (0.45m SPR/1.2m HT)

17 Jacobs Terrace - Total Planting Density - Required

Total Site Area = 9146.8m2

Number of Evergreen Trees: Number of Deciduous Shrubs: Number of Evergreen Shrubs:

600mm SALT TOLERANT

Total Site Area (m2) / 200 = 46 of Deciduous Trees (60mm CAL)

Total Site Area (m2) / 400 = 23 of Evergreen Trees (2m HT)

Total Site Area (m2) / 100 = 91 of Deciduous Shrubs (0.6-1.2m HT) Total Site Area (m2) / 200 = 46 of Evergreen Shrubs (0.45m SPR/1.2m HT)

| Ground Floor Planting Density - Proposed | | | | | |
|---|----|--|--|--|--|
| Number of Deciduous Trees: 27 | | | | | |
| Number of Evergreen Trees: | 14 | | | | |
| Number of Deciduous Shrubs: | 9 | | | | |
| Number of Evergreen Shrubs: | 70 | | | | |
| Amenity Floor Planting Density - Proposed | | | | | |
| Number of Deciduous Trees: | 12 | | | | |

17 Jacobs Terrace - Total Planting Density - Proposed

| Total Number of Deciduous Trees: | 39 |
|-----------------------------------|----|
| Total Number of Evergreen Trees: | 14 |
| Total Number of Deciduous Shrubs: | 58 |
| Total Number of Evergreen Shrubs: | 70 |

NOT FOR CONSTRUCTION

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PROPERTIES

17 JACOBS TERRACE

BARRIE, ONTARIO

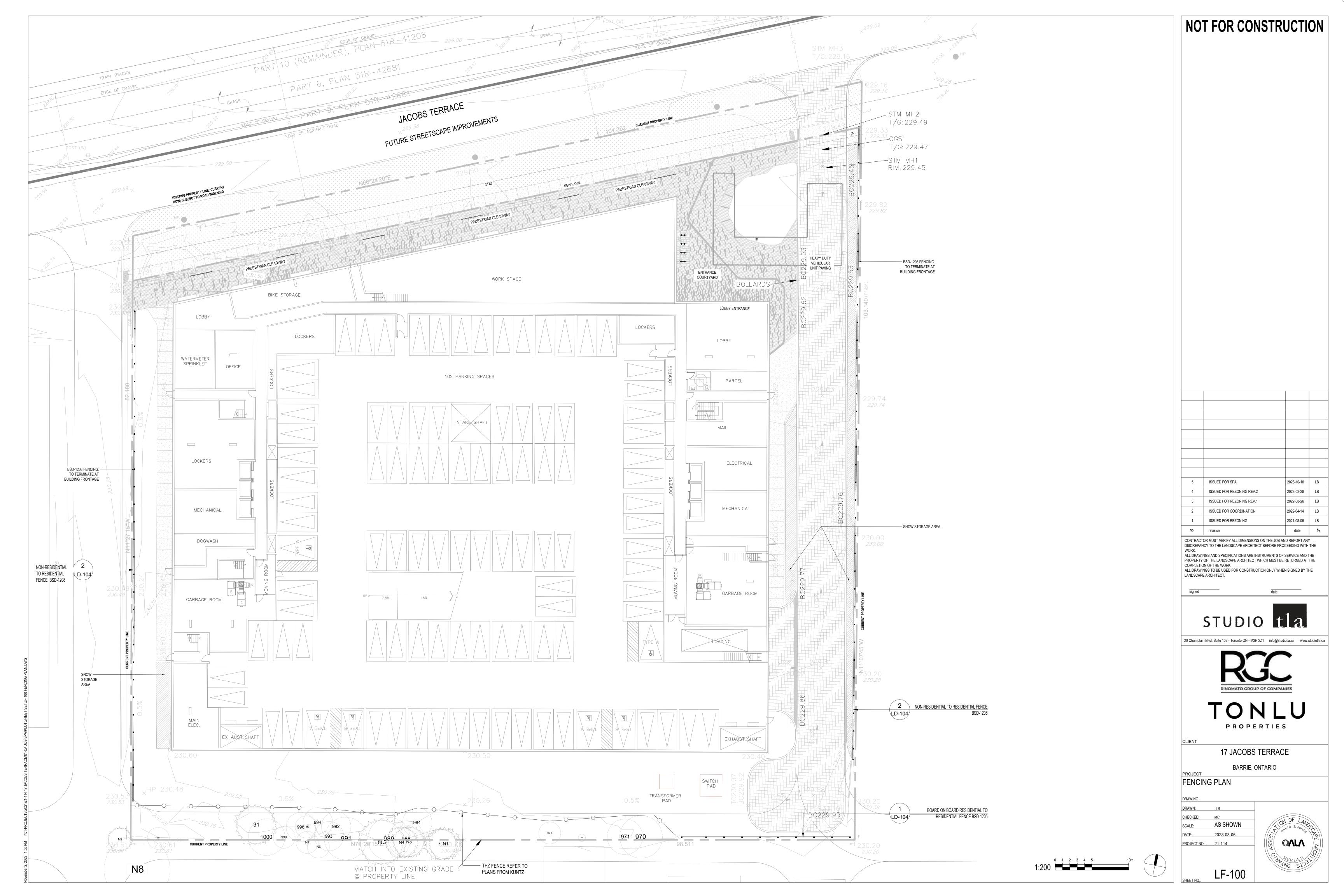
PLANTING SCHEDULE

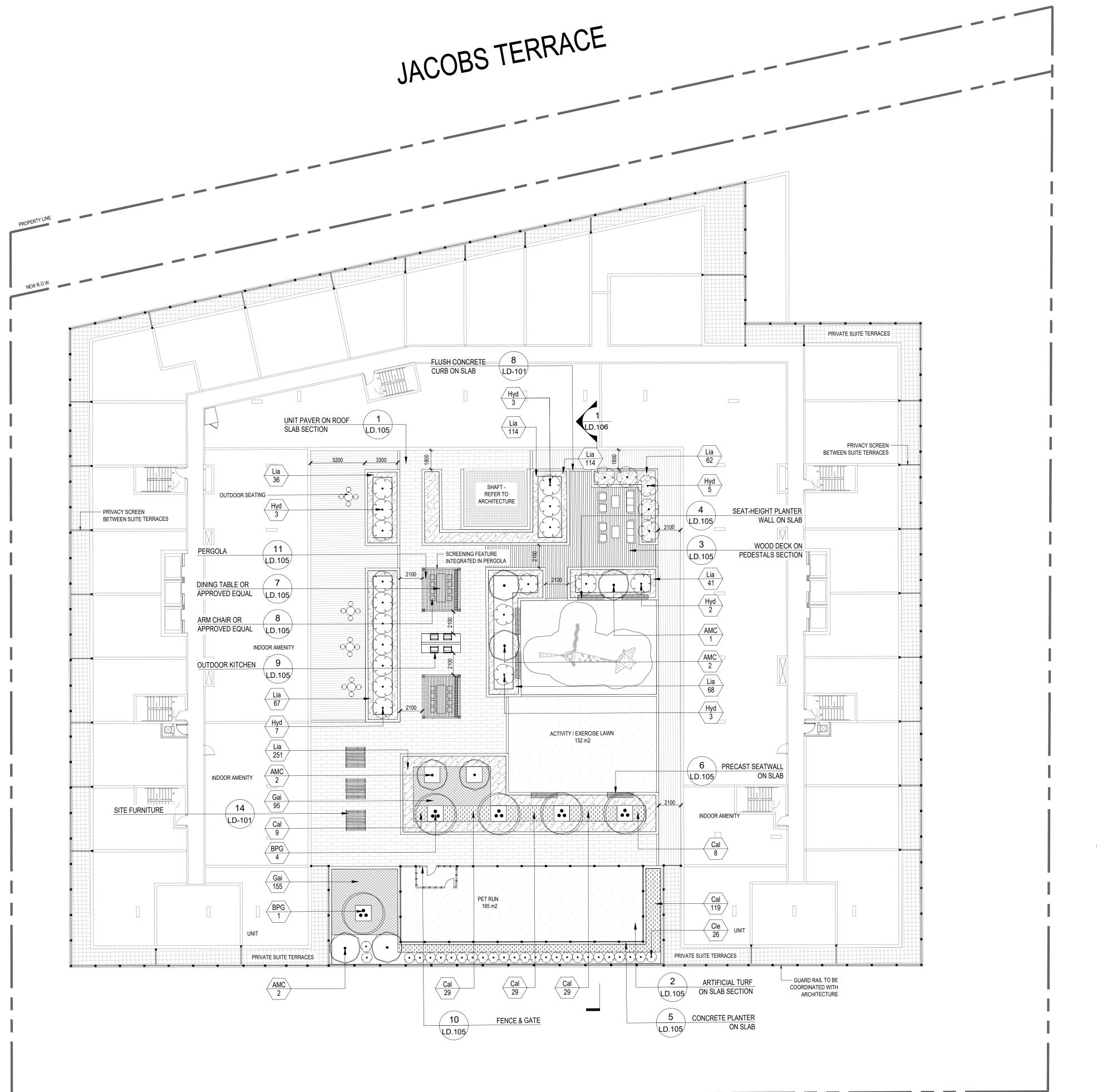
PROJECT

AS SHOWN

PROJECT NO.: 21-114







City of Barrie Planting Density Requirements

Planting Density Formula Guidelines – Residential Developments

Total Site Area (m2) / 200 = # of Deciduous Trees (60mm CAL)

Total Site Area (m2) / 400 = # of Evergreen Trees (2m HT)

Total Site Area (m2) / 100 = # of Deciduous Shrubs (0.6-1.2m HT)

Total Site Area (m2) / 200 = # of Evergreen Shrubs (0.45m SPR/1.2m HT)

17 Jacobs Terrace - Total Planting Density - Required

Total Site Area = 9146.8m2

Total Site Area (m2) / 200 = 46 of Deciduous Trees (60mm CAL)

Total Site Area (m2) / 400 = 23 of Evergreen Trees (2m HT)

Total Site Area (m2) / 100 = 91 of Deciduous Shrubs (0.6-1.2m HT)

Total Site Area (m2) / 200 = 46 of Evergreen Shrubs (0.45m SPR/1.2m HT)

| Ground Floor Planting Density - Proposed | | | | | | |
|--|--------------------------|--|--|--|--|--|
| Number of Deciduous Trees: | 27 | | | | | |
| Number of Evergreen Trees: | 14 | | | | | |
| Number of Deciduous Shrubs: | 9 | | | | | |
| Number of Evergreen Shrubs: | 70 | | | | | |
| Amenity Floor Planting | Density - Proposed | | | | | |
| Number of Deciduous Trees: | 12 | | | | | |
| Number of Evergreen Trees: | 0 | | | | | |
| Number of Deciduous Shrubs: | 49 | | | | | |
| Number of Evergreen Shrubs: | 0 | | | | | |
| 17 Jacobs Terrace - Total Pla | nting Density - Proposed | | | | | |
| Total Number of Deciduous Trees: | 39 | | | | | |
| Total Number of Evergreen Trees: | 14 | | | | | |
| Total Number of Deciduous Shrubs: | 58 | | | | | |

NOTE: FOR PLANT SCHEDULE REFER TO L-101 PLAN

Total Number of Evergreen Shrubs:

| | PLANT SCHEDULE | | | | | | | | | |
|----|------------------|------|------------|--|-------------------------|---------|------------|--------|---------|--------------------------|
| | DECIDUOUS TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | CAL. | HT. | | REMARKS |
| | \bigcirc | AMC | 7 | AMELANCHIER CANADENSIS | CANADIAN SERVICEBERRY | 15 GAL. | | 250 CM | | NATIVE, TREEFORM |
| (. | | BPG | 5 | BETULA PAPYRIFERA | PAPER BIRCH | 15 GAL. | | 250 CM | | NATIVE, MULTISTEM |
| _ | DECIDUOUS SHRUBS | CODE | <u>QTY</u> | BOTANICAL NAME | COMMON NAME | CONT. | <u>HT.</u> | SPR. | SPACING | REMARKS |
| | | Cle | 26 | CLETHRA ALNIFOLIA 'HUMMINGBIRD' | SUMMERSWEET | 5 GAL. | 60 CM | | 1m | SALT TOLERANT |
| | | Hyd | 23 | HYDRANGEA MACROPHYLLA 'TWIST-N-SHOUT' | TWIST-N-SHOUT HYDRANGEA | 5 GAL. | 60 CM | | 2m | |
| | <u>GRASSES</u> | CODE | <u>QTY</u> | BOTANICAL NAME | COMMON NAME | CONT. | | | | |
| | | Cal | 223 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | FEATHER REED GRASS | 2 GAL. | | | 500mm | |
| | PERENNIALS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | | | | |
| | | Gai | 250 | GAILLARDIA ARISTATA | BLANKET FLOWER | 2 GAL. | | | 500mm | NATIVE, DROUGHT TOLERANT |
| | b | Lia | 639 | LIATRIS SPICATA | BLAZING STAR | 2 GAL. | | | 500mm | NATIVE, DROUGHT TOLERANT |





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17 JACOBS TERRACE

BARRIE, ONTARIO

LANDSCAPE AMENITY PLAN

DRAWING
DRAWN: LB

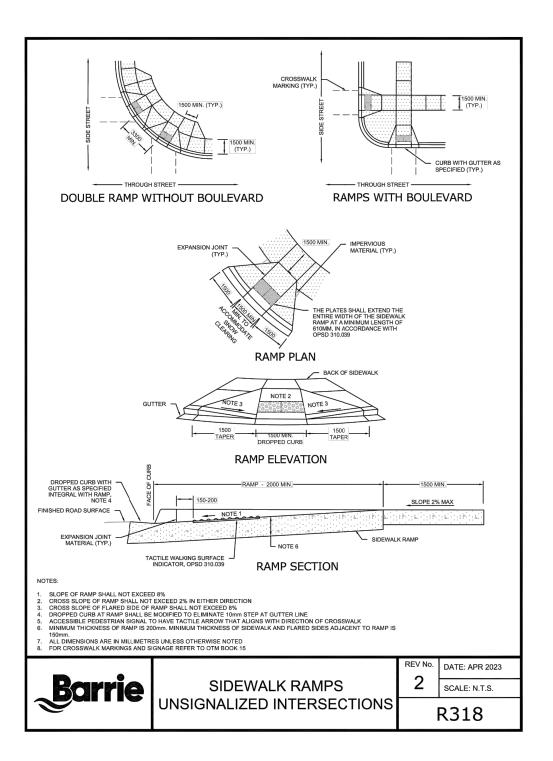
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 SCALE:
 AS SHOWN

 DATE:
 2023-03-06

 PROJECT NO.:
 21-114

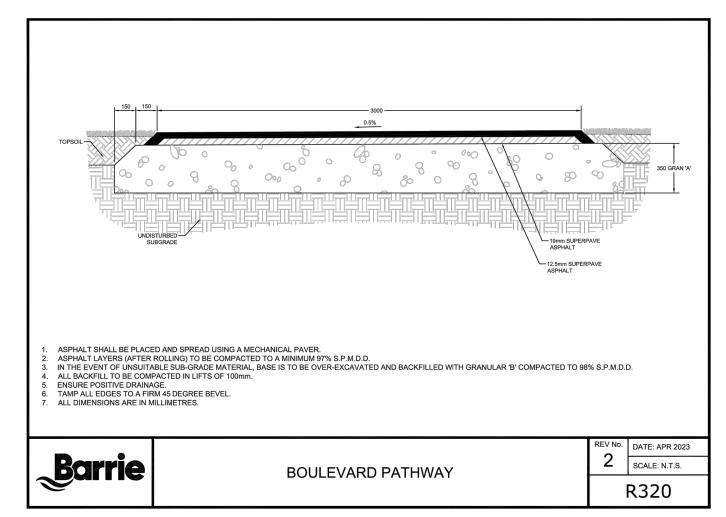




R318 - SIDEWALK RAMPS UNSIGNALIZED INTERSECTIONS

REV No. DATE: APR 2023 2 SCALE: N.T.S. Barrie DRIVEWAY AND ENTRANCE DETAIL R319

R319 - DRIVEWAY AND ENTRANCE DETAIL



R320 - BOULEVARD PATHWAY

NOT FOR CONSTRUCTION

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PROPERTIES

17 JACOBS TERRACE

BARRIE, ONTARIO

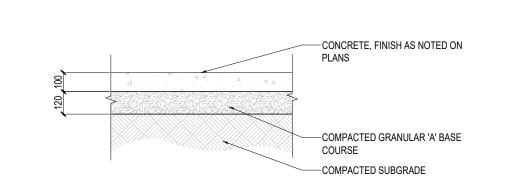
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LD-100

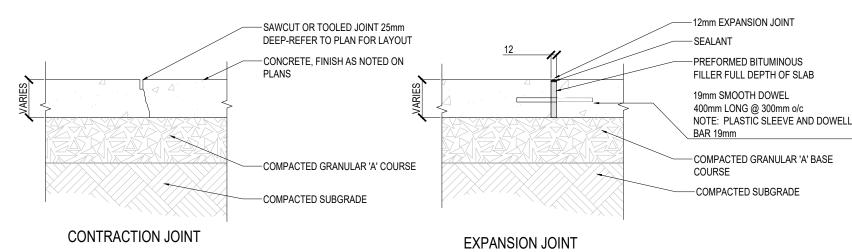
PROJECT

DETAIL SHEET

PROJECT NO.: 21-114

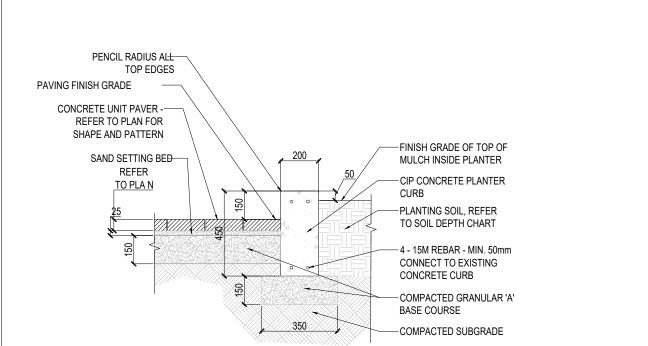


CONCRETE PAVING ON GRADE



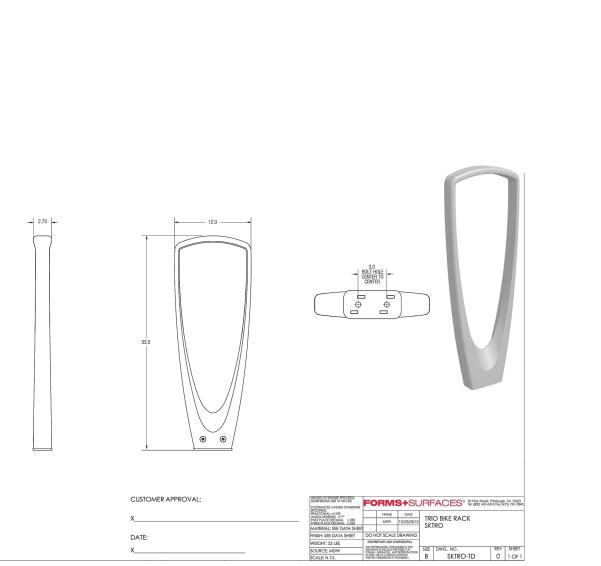


SCALE=1:20

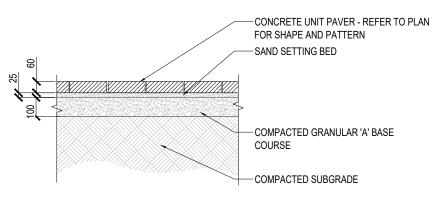


PRECAST CURB ON GRADE

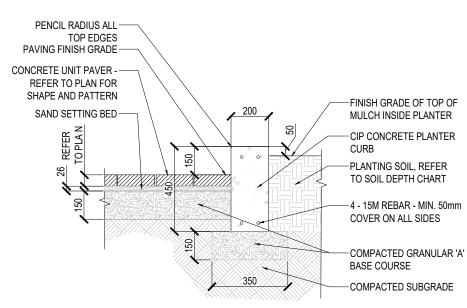
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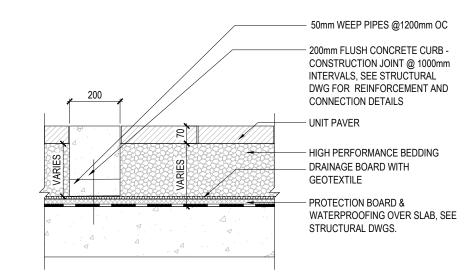
BIKE RACK



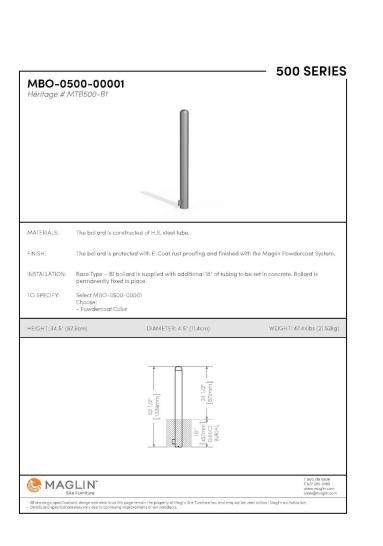
UNIT PAVER SECTION AT GRADE SCALE=1:20



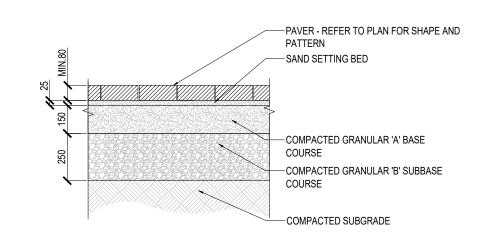
PLANTER CURB DETAIL



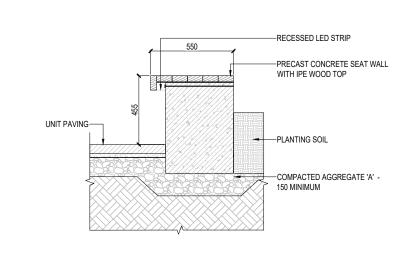
FLUSH CONCRETE CURB ON SLAB SCALE 1:15



12 BOLLARD



HEAVY DUTY PAVER ON GRADE SCALE=1:20



PRECAST SEAT WALL 6

- INTEGRAL WELDED CROSS-MEMBERS OF 25mm TUBULAR STEEL

-- MINIMUM 150mm DEPTH GRANULAR 'A' —COMPACTED SUBGRADE

FLUSH CONCRETE CURB

SCALE = 1:20



10 **BENCH**

DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

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5 ISSUED FOR SPA

ISSUED FOR REZONING REV.2

3 ISSUED FOR REZONING REV.1

2 ISSUED FOR COORDINATION

1 ISSUED FOR REZONING



CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY

2023-10-16 LB

2023-02-28 LB

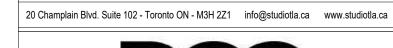
2022-08-26 LB

2022-04-14 LB

2021-08-06 LB

date by

NOT FOR CONSTRUCTION





PROPERTIES

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17 JACOBS TERRACE

BARRIE, ONTARIO

DETAIL SHEET

CHECKED: AS SHOWN 2023-03-06

LD-101

PROJECT NO.: 21-114

SITE FURNITURE

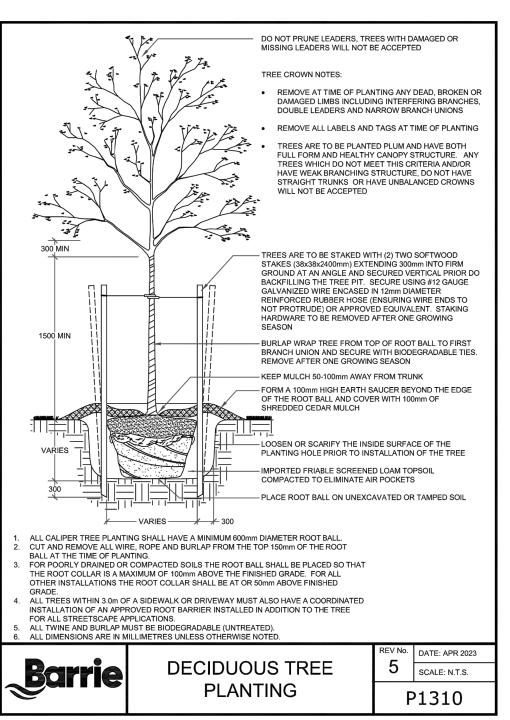
N.T.S.

Custom Sizes

O ____Lx____Wx____H

O ___Lx___Wx____H

O ___Lx___Wx___H Green Theory Date: 02 22 2022 Specification Shoot Version 1.0A Units measured in imperial inches Green Theory receives the right to revise technical specifications at any time without prior notice. Corres marking hardware and the method of meuriting of it product are interpretive to use railing. Use installation instructions to convectly position and install product. 490022 Green Theory Design. **BOX PLANTER**



P1310 - DECIDUOUS TREE PLANTING

PROPERTY LINE SPACING DISTANCES MINIMUM DISTANCE BETWEEN TREES 9000 SETBACK DISTANCES FROM EDGE OF SIDEWALK FROM EDGE OF DRIVEWAY BELOW GRADE UTILITIES TRANSFORMERS BACK EDGE OF CURB FIRE HYDRANT STREET LIGHT CORNER SIDE YARD **
CORNER FRONT YARD ** CORNER APPROACH FRONT WITH STOP SIGN ** CORNER SIDE YARD WITH STOP SIGN ** ** REFER TO LAYOUT DETAIL THIS PAGE SETBACK REQUIREMENTS FOR APPROACH AND CORRESPONDING SIDE YARDS WITH STOP SIGNS ALSO APPLY TO TRAFFIC SIGNALS AND PEDESTRIAN CROSS WALKS. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
FOR LAYOUT OF TREES WITHIN PLANS OF SUBDIVISION, ABOVE GRADE UTILITIES SUCH
AS STREET LIGHTS AND TRANSFORMERS ARE TO BE GROUPED TOGETHER WHERE
POSSIBLE TO MAXIMIZE STREETSCAPE OPPORTUNITIES. APPROVED PLANT LIST IS AVAILABLE FROM EITHER PARKS PLANNING AND DEVELOPMENT SECTION OR THE FORESTRY SECTION.

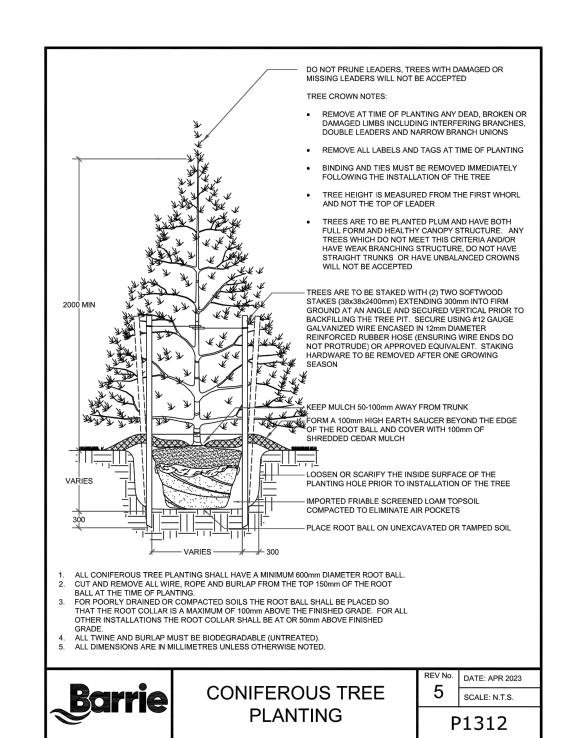
SMALL AND LARGE TREES ARE DEFINED BY BOTH GROWING HABIT AND CANOPY WIDTH AT MATURITY. 2 SCALE: N.T.S.

STREET LAYOUT

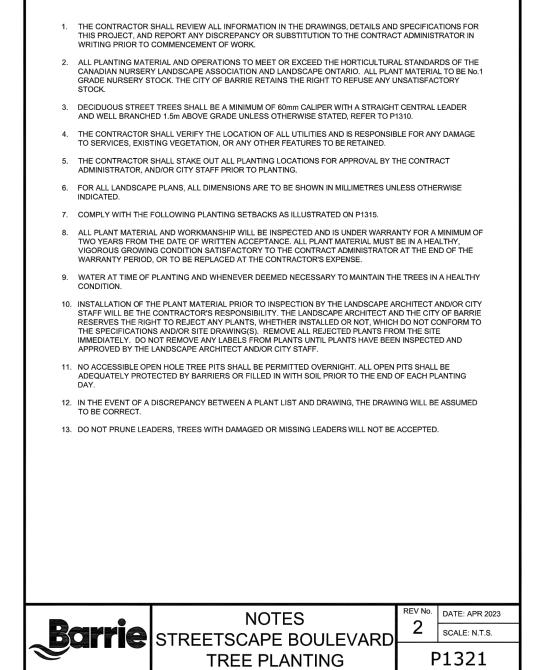
P1315

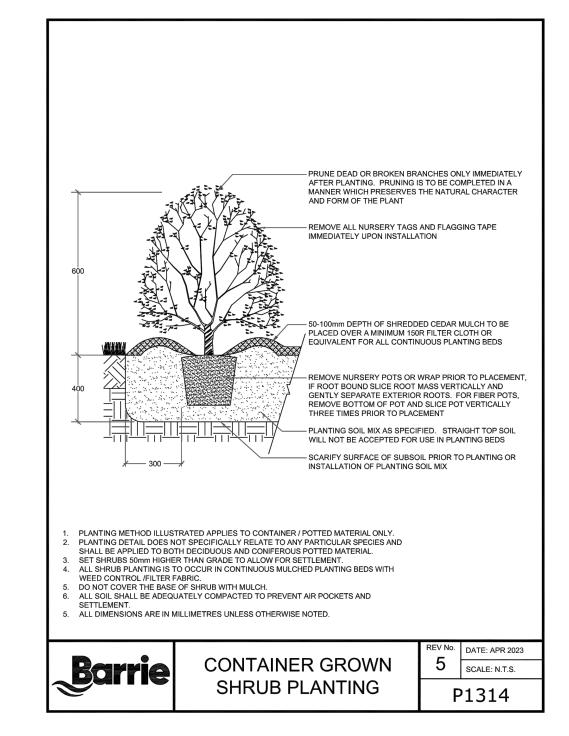
5

P1315 - TREE STREET LAYOUT



P1312 - CONIFEROUS TREE PLANTING





P1314 - CONTAINER GROWN SHRUB PLANTING

| 5 | ISSUED FOR SPA | 2023-10-16 | LB |
|---|---------------------------|------------|----|
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| 2 | ISSUED FOR COORDINATION | 2022-04-14 | LB |
| 1 | ISSUED FOR REZONING | 2021-08-06 | LB |
| | | | - |

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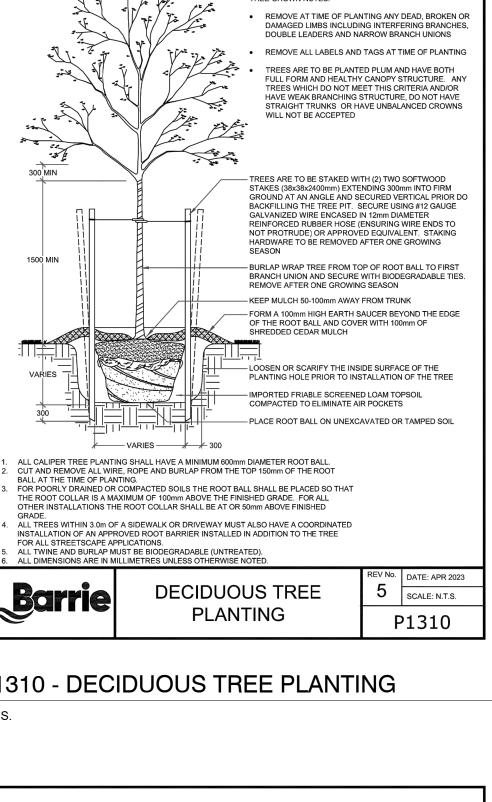
17 JACOBS TERRACE

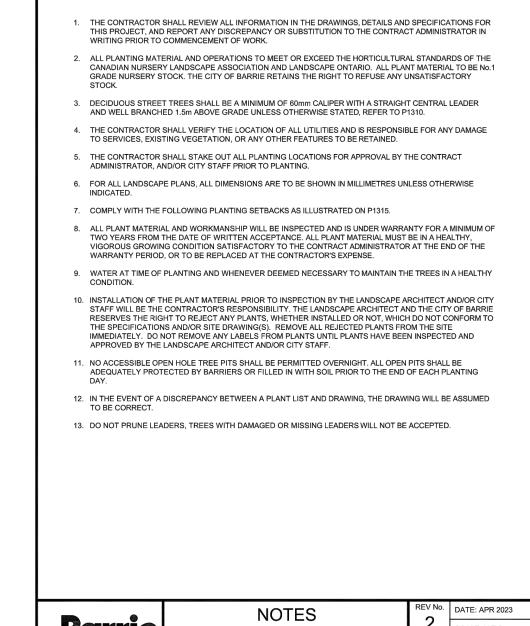
BARRIE, ONTARIO

DETAIL SHEET

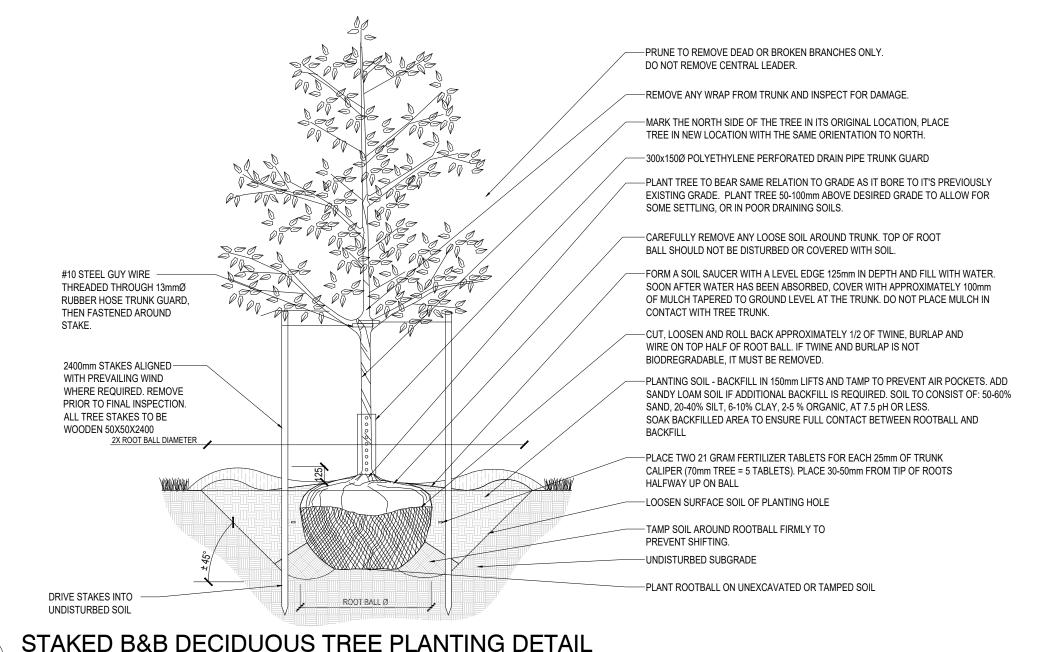
PROJECT NO.: 21-114

CHECKED: AS SHOWN





P1321 - NOTES STREETSCAPE BOULEVARD TREE PLANTING



PRUNE TO REMOVE DEAD OR BROKEN BRANCHES ONLY. DO NOT REMOVE CENTRAL LEADER. -- MARK THE NORTH SIDE OF THE TREE IN ITS ORIGINAL LOCATION, PLACE TREE IN NEW LOCATION WITH THE SAME ORIENTATION TO -PLANT TREE TO BEAR SAME RELATION TO GRADE AS IT BORE TO IT'S PREVIOUSLY EXISTING GRADE. PLANT TREE 50-100mm ABOVE DESIRED GRADE TO ALLOW FOR SOME SETTLING, OR IN POOR DRAINING —CAREFULLY REMOVE ANY LOOSE SOIL AROUND TRUNK. TOP OF ROOT BALL SHOULD NOT BE DISTURBED OR COVERED WITH SOIL. FORM A SOIL SAUCER WITH A LEVEL EDGE 125mm IN DEPTH AND FILL WITH WATER. SOON AFTER WATER HAS BEEN ABSORBED, COVER WITH APPROXIMATELY 75mm OF MULCH TAPERED TO GROUND LEVEL AT THE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH -CUT, LOOSEN AND ROLL BACK APPROXIMATELY 1/2 OF TWINE, BURLAP AND WIRE ON TOP HALF OF ROOT BALL. IF TWINE AND BURLAP IS NOT BIODREGRADABLE, IT MUST BE REMOVED. —PLANTING SOIL - BACKFILL IN 150mm LIFTS AND TAMP TO PREVENT AIR POCKETS. ADD SANDY LOAM SOIL IF ADDITIONAL BACKFILL IS REQUIRED. SOIL TO CONSIST OF: 50-60% SAND, 20-40% SILT, 6-10% CLAY, 2-5 % ORGANIC, AT 7.5 pH OR LESS. SOAK BACKFILLED AREA TO ENSURE FULL CONTACT BETWEEN ROOTBALL AND BACKFILL -- PLACE TWO 21 GRAM FERTILIZER TABLETS FOR EACH 25mm OF TRUNK CALIPER (70mm TREE = 5 TABLETS). PLACE 30-50mm FROM TIP OF ROOTS HALFWAY UP ON BALL -LOOSEN SURFACE SOIL OF PLANTING HOLE ROOT BALL Ø TAMP SOIL AROUND ROOTBALL FIRMLY TO PREVENT SHIFTING. -UNDISTURBED SUBGRADE NOTE: STAKES SHALL NOT TO BE INSTALLED ON BALLED AND BURLAPPED TREES. PLANT ROOTBALL ON UNEXCAVATED OR **B&B CONIFEROUS TREE PLANTING DETAIL**

-SHRUB (DO NOT PRUNE, STAKE, OR WRAP SHRUBS UNLESS DIRECTED TO DO SO BY LANDSCAPE ARCHITECT) CROWN OF ROOT BALL FLUSH WITH FINISH GRADE LEAVING TRUNK FLARE VISIBLE AT THE TOP OF THE ROOT BALL -75mm DEPTH AFTER SETTLEMENT, MULCH LAYER TO EDGE OF PLANTING BED. DO NOT PLACE MULCH IN CONTACT WITH SHRUB -100mm HIGH SOIL SAUCER BEYOND EDGE OF ROOT BALL -FINISH GRADE -PLANTING MIXTURE BACKFILL -TWO 21 GRAM FERTILIZER TABLETS FOR EACH SHRUB (DISTRIBUTE TABLETS EQUALLY AMONG SHRUBS IN BED). PLACE 30-50mm FROM EDGE OF ROOTS HALFWAY REMOVE POT OR CONTAINER ENTIRELY -ROUGHEN EDGES OF PLANTING PIT TAMPED PLANTING MIXTURE AROUND BASE OF POTØ -UNEXCAVATED OR EXISTING SOIL EXCAVATE SHRUB BED TO BE 3 TIMES WIDER THAN POT DIAMATER

POTTED SHRUB PLANTING DETAIL SCALE=NTS

STAKED B&B DECIDUOUS TREE PLANTING DETAIL

P-2021-21.114-25

SEE PLANT LIST FOR PROPER

ORNAMENTAL GRASS / PERENNIALS / GROUNDCOVER - TURN BEST SIDE TOWARD MOST PROMINENT VIEW — 25mm DEPTH MULCH LAYER, AFTER SETTLEMENT, TO TOP DRESS PLANTING BED. DO NOT PLACE MULCH IN CONTACT WITH PLANT MATERIAL STEMS -RAISE FINISH GRADE OF PLANTING BED 50mm FOR ADEQUATE DRAINAGE REMOVE PLANT FROM POT - SLIGHTLY LOOSEN OR SEPERATE IF ROOT MASS IS COMPACTED. PLANT AT SAME RELATIVE ELEVATION AS ORIGINAL GRADE TAMPED PLANTING MIXTURE. SEE SOIL DEPTH CHART —UNEXCAVATED OR EXISTING SOIL

GROUNDCOVER PLANTING DETAIL

NOTE: THE CONTRACTOR IS TO SUPPLY PLANTING SOIL FILL MATERIAL TO THE PLANTING SOIL DEPTH CHART DEPTHS INDICATED ON THE CHART BELOW. LANDSCAPE AREAS DEPTH IN mm LAWN AREAS (SOD) LAWN AREAS (SEED) PLANTING BEDS - GRASSES, PERENNIALS AND GROUNDCOVER PLANTING BEDS - MEDIUM AND SMALL SHRUBS RAISED PLANTERS

PER TREE INSTALLATION

DETAIL

SOIL DEPTH MINIMUMS P-2021-21.114-03

SHADE AND ORNAMENTAL TREES

5 ISSUED FOR SPA 2023-10-16 LB 4 ISSUED FOR REZONING REV.2 2023-02-28 LB 3 ISSUED FOR REZONING REV.1 2022-08-26 LB 2 ISSUED FOR COORDINATION 2022-04-14 LB 1 ISSUED FOR REZONING 2021-08-06 LB

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BARRIE, ONTARIO

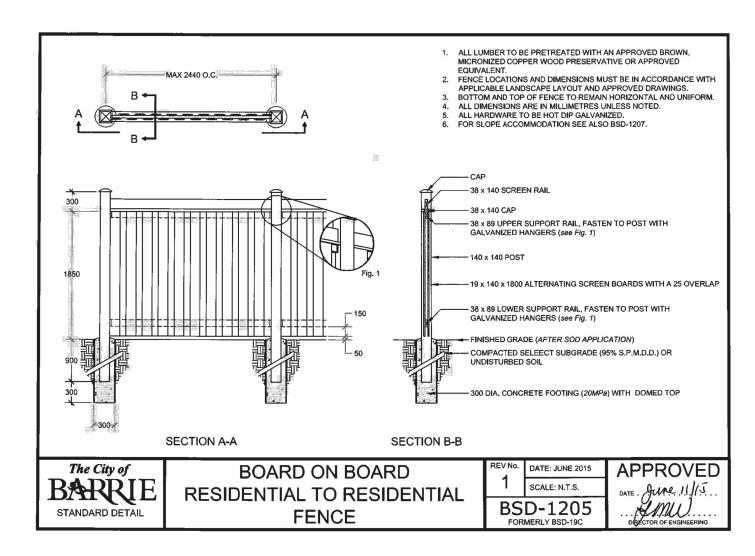
DETAIL SHEET

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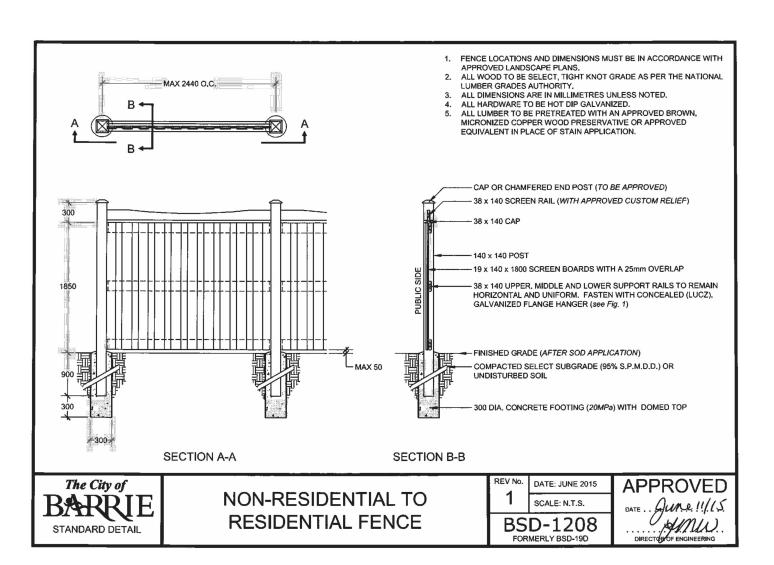


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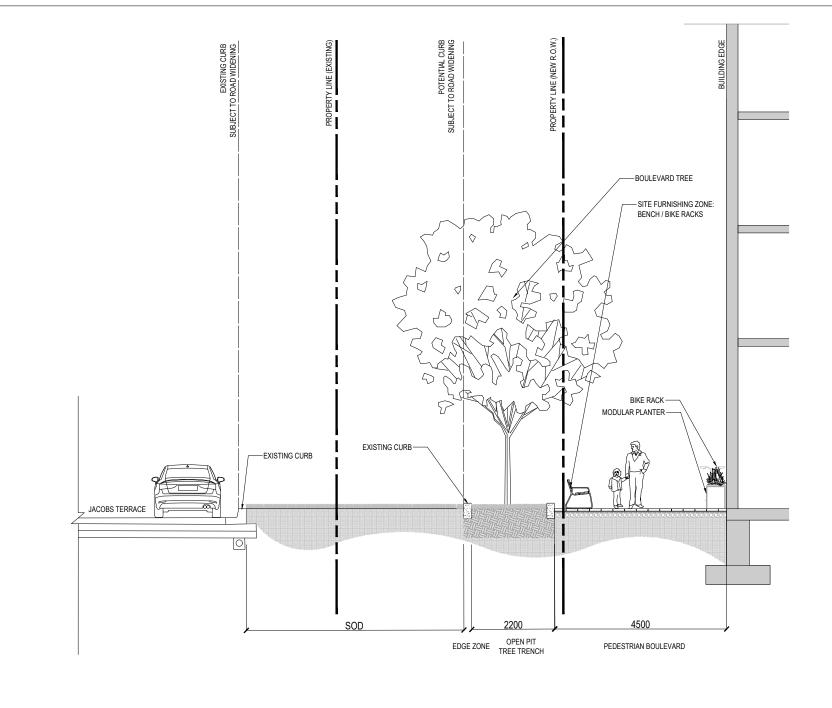
LD-103



BOARD ON BOARD RESIDENTIAL TO RESIDENTIAL FENCE BSD-1205



NON-RESIDENTIAL TO RESIDENTIAL FENCE BSD-1208 NO SCALE



BUILDING FRONTAGE SECTION A-A

Rail Corridor Jacobs Terrace Pedestrian Boulevard and Building Frontage

THE BOULEVARD ZONE BETWEEN THE BUILDING AND JACOBS TERRACE OFFERS OPPORTUNITY FOR STREET LEVEL ANIMATION. THE NEARBY RAIL TRAIL GREENERY MAY ADD BORROWED VISUAL BENEFITS.





SIGNAGE FEATURE WITH PLANTING AT BASE

| 5 | ISSUED FOR SPA | 2023-10-16 | LB |
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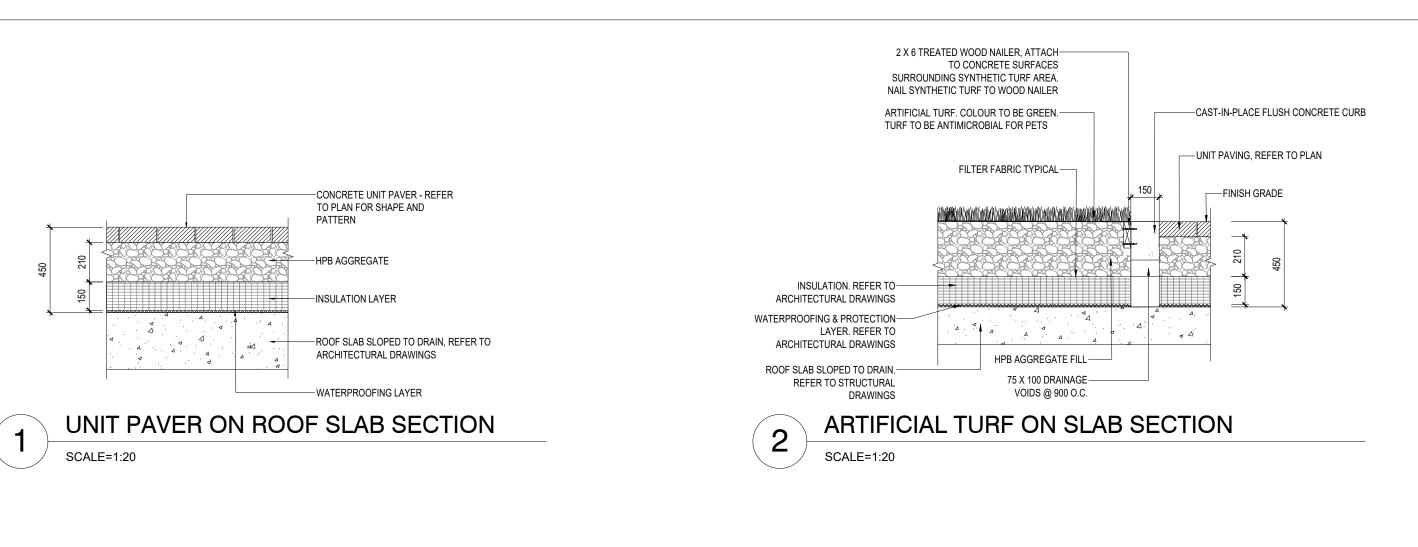
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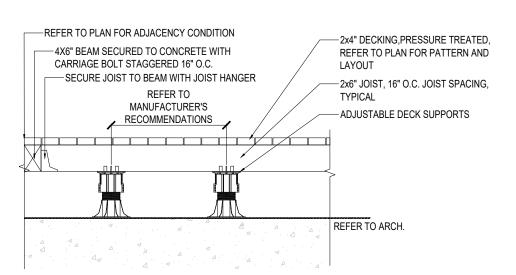
AS SHOWN PROJECT NO.: 21-114



LD-104









50mm RIGID INSULATION BOARD-PLANTING SOIL-15mm CHAMFER AT EXPOSED EDGES MULCH LAYER-—COMPACTED HPB LEVELING / DRAINAGE COURSE TYPICAL FILTER FABRIC TYPICAL -- INSULATION. REFER TO ARCHITECTURAL DRAWINGS -WATERPROOFING & PROTECTION LAYER. REFER TO ARCHITECTURAL DRAWINGS 75 X 100 DRAINAGE VOIDS @ 900 O.C.— -ROOF SLAB SLOPED TO DRAIN. REFER TO



Gloster Sway Arm Chair - Anthracite

HSGL8203-MA

GLOSTER

PRODUCT SPECS

General Dimensions

Seat Height



| HS352-CH | |
|--------------------|-------------------------|
| PRODUCT SPECS | |
| General Dimensions | 94.5" W X 39" D X 29" H |
| Seats | 6+ |
| Legs | Powder-Coated Aluminum |
| Тор | Natural Teak |
| Assembly | Some Assembly Required |
| Colour | Charcoal |
| Style | Transitional |







25.5" W X 24" D X 32.5" H

Repellent Fabric

Aluminum

Contemporary

Batyline PVC Coated Polyester Yarn -

Durable, UV-Resistant And Water-

Natural Teak, Powder-Coated

18.5"

HAUSER hauserstores.com

Pergola
CHS-2010-16-AL-8x8x7.25 - Pergola, Aluminum Frame & Slats

Our 'Pergola' features all aluminum construction; 4" x 4" posts with built-in surface mount plates and concealed covers, and 3" x 1" horizontal roof slats. Shown here in our 'Silver Age' powdercoat finish. The frame has been designed to accept a variety of lighting and heat options. Custom sizes are also available.



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PROPERTIES

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DETAIL SHEET

PROJECT

LANDSCAPE ARCHITECT.

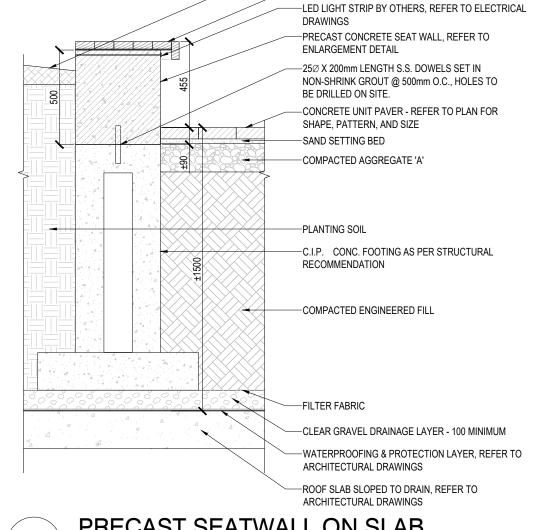
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PROJECT NO.: 21-114

SCREEN WALL, REFER TO ARCHITECTURAL PLANTER CONCRETE WALL TO BE A-SOLID POUR WITH L FOOTING. 50mm RIGID INSULATION BOARD.— —50mm RIGID INSULATION BOARD. PLANTING SOIL 75 X 100 DRAINAGE VOIDS @ 1000MM-------FILTER FABRIC TYPICAL 3/4 CLEAR DRAINAGE GRAVEL. INTERLOCK FINISHED-GRADE (80mm) -CIP CONCRETE PLANTER L FOOTING TO SPAN THE INSULATION LAYER WIDTH OF PROPOSED PLANTING AREA. L FOOTING TO BE POURED IN PLACE ON TOP OF ROOF SLAB. REFER TO STRUCTURAL DRAWINGS



SCALE 1:15

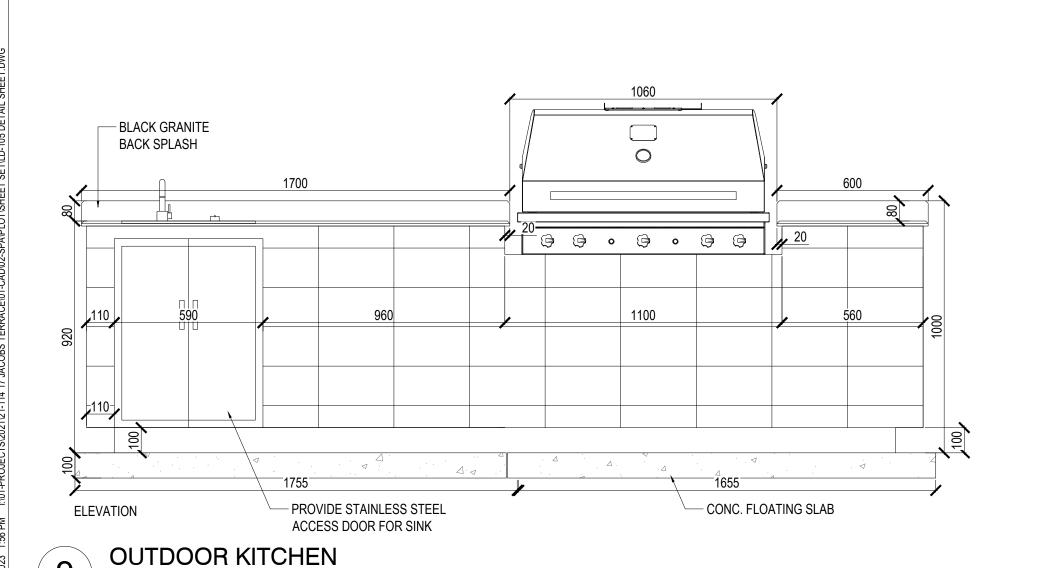


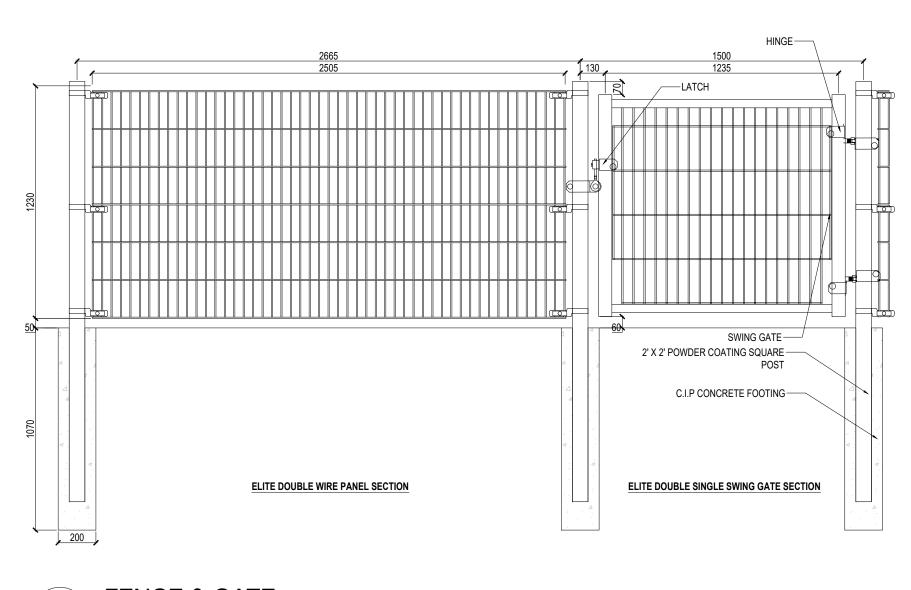
-75mm MULCH LAYER

—IPE WOOD TOP

PRECAST SEATWALL ON SLAB







FENCE & GATE

sales@hauser.ca 800-268-7328 HAUSER

PERGOLA



1 AMENITY SECTION DRAWING 1-1

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signed

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17 JACOBS TERRACE

BARRIE, ONTARIO

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DETAIL SHEET

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 AS SHOWN

 DATE:
 2023-03-06

 PROJECT NO.:
 21-114

ON OF LANDSCAPE AROUND S. JONAS CAPET AROUND

LD-106