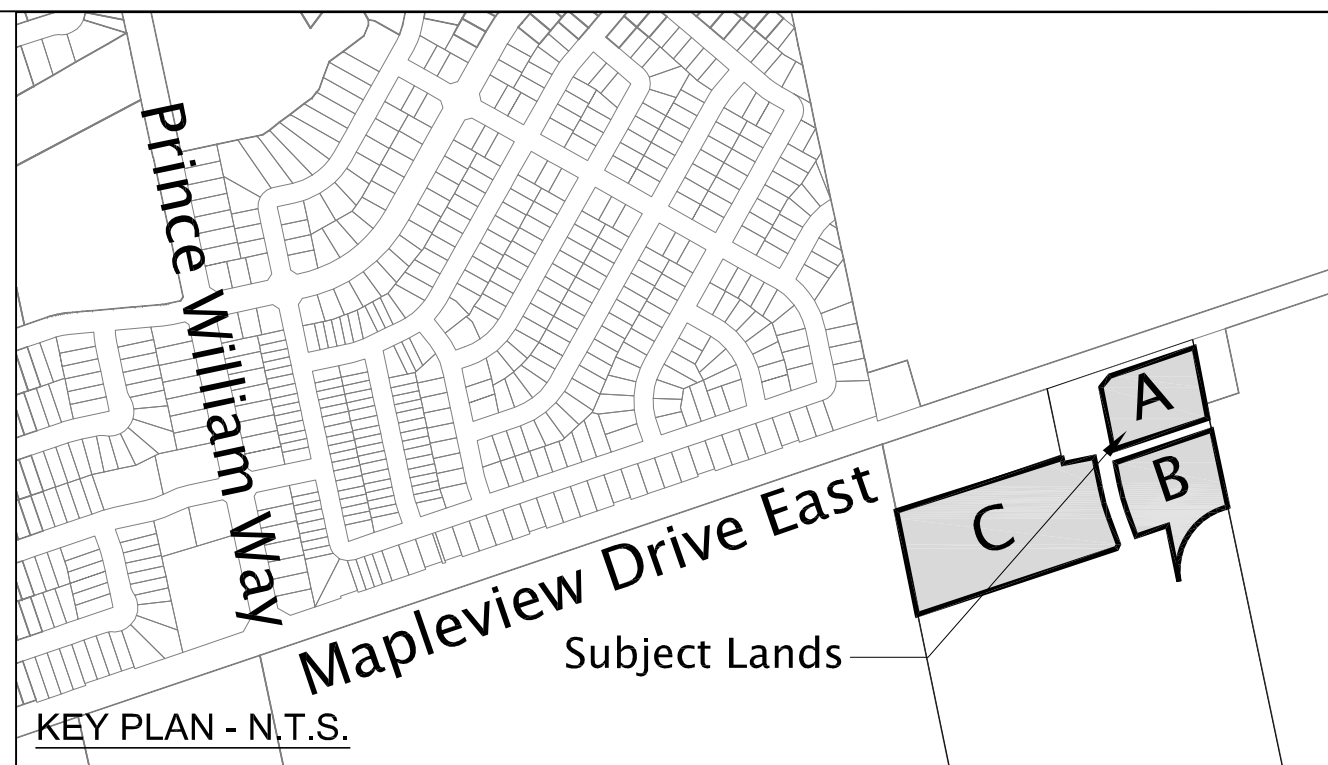
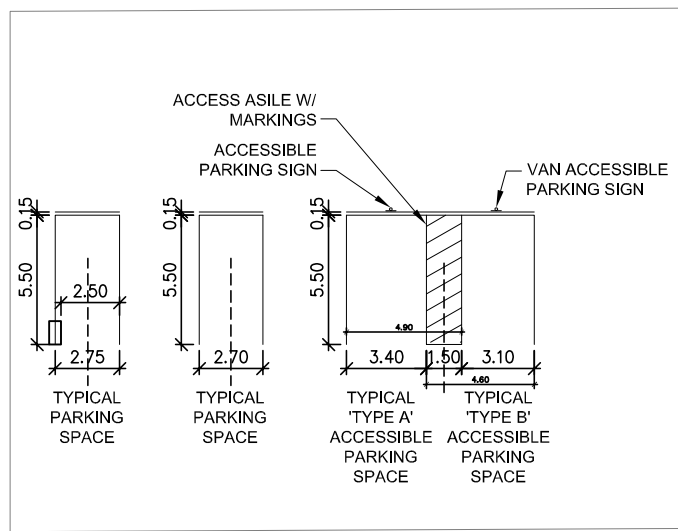
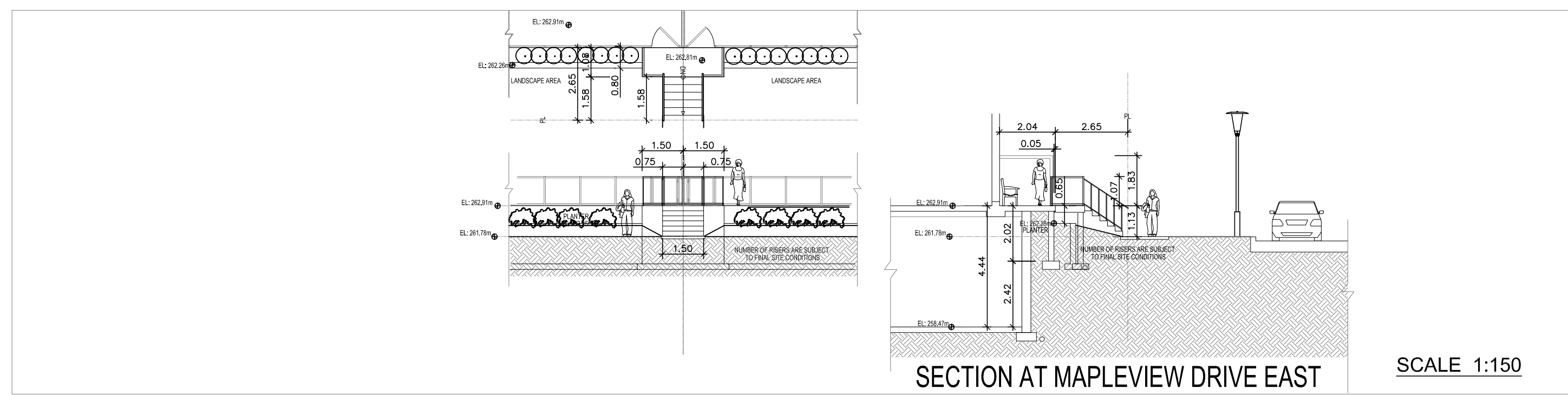




Block 'A' Details

Unit Count:
BLOCK 'A' Apartment Building (5 Storey) 100 units

A BUILDING FOOT
(3.2.2.43A GROUP C)
ALLOWABLE 1,800 m²
PROPOSED 1,649 m²

Total	REQUIRED	PROPOSED
Site Plan Area	-	0.63 ha (6,267.66m ²)
Lot Frontage	24.0 m	85.4 m
Front Yard	3.0 m	5.33 m
Interior Side Yard	5.0 m	5.31m
Exterior Side Yard	2.0 m	7.50m
Rear Yard	5.0 m	38.98 m
Lot Coverage	max 50 % (0.931 ha.)	26 % (0.18 ha.)
Accessory Structures	max 10 % (0.06 ha.)	0 % (0.00 ha.)
Landscape Open Space	min. 25 % (0.16 ha.)	39 % (0.25 ha.)
Paved Area	max 35 %	35 % (0.22 ha.)
Density Index	min 120 max 300	158.73
Floor Space Index	min 0.5 max 2.5	1.31
Commercial Area	50% of the ground floor	21.45%
	816 m ²	350 m ²

Commercial Floor to Floor Height Required 4.5m Provided 4.5m

5m setback at street frontage Required min 50% Provided 74%

Percentage of building at the 5m setback to all street frontage Required min 50% Provided 74%

Percentage of building with in the 5m setback to all street frontage Required min 50% Provided 26%

Building		8184 m ²
· GFA		5
· Height in Stories		100
· Units		

Parking Calculations	Required	Provided
Required Parking (100(units) x 1.0)	100 spaces	107 spaces
Required Parking Commercial (1 per 24m ²)(350/24=15)	15 spaces	15 spaces
Total Required	115 spaces	122 spaces

*Parking Breakdown	
Typical Surface Spaces	22 spaces
Typical Surface Spaces Commercial	15 spaces
Surface Barrier Free Spaces	2 spaces
Underground Barrier Free Spaces	2 spaces
Typical Underground Spaces	81 spaces
Total Provided	122 spaces

Barrie Zoning Bylaw 4.6.4 Barrier Free Parking
Barrier Free spaces calculated using Accessibility Parking for Barrie Ont.
Required over 100 spaces 1 space plus 3% of the required parking spaces
3% of 122 = 3.66 (4) plus 1 = 5 (5 required, provided 5)
(Type A - 3.4 x 1.5 - 2 spaces)
(Type B - 3.1 x 1.5 - 3 spaces)

Bicycle Rack Storage (0.2 x 100) 20 Required 16 Secure Storage Provided 14 Surface Bike Racks Provided

Total 30 Bikes

Required Outdoor Amenity Area (12m²/unit-12x100) 1200 m²

Proposed Outdoor Amenity	
Patio area at ground floor Apartments,	161.08 m ²
Plus Patio area over parking structure	551.96 m ²
Balcony area at typical floors	544.00 m ²
Roof Deck	
Total Outdoor Amenity	1257.04 m ²

Proposed Indoor Amenity
lounges/meeting rooms and 1st and 5th Floor washroom 197.50 m²
Total Indoor Amenity 197.50 m²

Fire Route

Unit type and area per floor AFFORDABLE UNIT *

Unit	Area	Unit Type	Main floor	2nd floor	3rd floor	4th floor	5th floor
A	55m	1 bed 1 bath	2	2	2	2	10
B*	34m	Studio	2	4	4	4	18
C	55m	1 bed/1 bath/den	2	4	4	4	18
D	49m	1 bed/1 bath	1	1	1	1	4
E	57m	1 bed/1 bath/den	3	2	2	2	11
F	81m	2 bed/2 bath	2	4	4	4	18
F+	83m	2 bed/2 bath	1	1	1	1	5
G	109m	3 bed/2.5 bath	1	1	1	1	3
G+	111m	3 bed 2.5 bath					1
H	70m	2 bed 2 bath	1	1	1	1	3
H+	72m	2 bed/2 bath					1
I	103m	2 bed/2 bath/den	1	1	1	1	4
J	57m	1 bed/1 bath	1	1	1	1	3
K	52m	1 bed/1 bath					1
			12	22	22	22	100

Total Units	100
Affordable Units *	18

22	EAST RETAINING WALL REVISED	JAN 06, 2024
21	DALLAIRE ST. PLANTER REVISED	JAN 05, 2024
20	DALLAIRE ST. PLANTER REVISED	May 27, 2024
19	DALLAIRE ST. PLANTER REVISED	April 22, 2024
18	ISSUED FOR PRE-CONSULTATION MEETING	April 15, 2024
17	ISSUED FOR PRE-CONSULTATION MEETING	April 10, 2024
16	ISSUED FOR PRE-CONSULTATION MEETING	April 11, 2024
15	ISSUED FOR PRE-CONSULTATION MEETING	April 05, 2024
14	ISSUED FOR PRE-CONSULTATION MEETING	March 08, 2024
13	ISSUED FOR PRE-CONSULTATION MEETING	Feb. 26, 2024
12	ISSUED FOR PRE-CONSULTATION MEETING	Feb. 21, 2024
11	ISSUED FOR PRE-CONSULTATION MEETING	Feb. 07, 2024
10	ISSUED FOR PRE-CONSULTATION MEETING	Nov. 30, 2023
9	ISSUED FOR PRE-CONSULTATION MEETING	Nov. 27, 2023
8	ISSUED FOR PRE-CONSULTATION MEETING	Nov. 23, 2023
7	ISSUED FOR PRE-CONSULTATION MEETING	Nov. 23, 2023
6	ISSUED FOR PRE-CONSULTATION MEETING	Oct. 24, 2023
5	ISSUED FOR PRE-CONSULTATION MEETING	Oct. 04, 2023
4	ISSUED FOR PRE-CONSULTATION MEETING	July 18, 2023
3	ISSUED FOR CLIENT AND CONSULTANT REVIEW	May 23, 2023
2	ISSUED FOR CLIENT AND CONSULTANT REVIEW	April 20, 2023
1	ISSUED FOR CLIENT AND CONSULTANT REVIEW	March 26, 2023 - SA

PROJECT #	2023-05	MARKETING NAME	-	DATE	1 Rev.
SCALE	1:200	CITY OF BARRIE			
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SCALE	1:200	CITY OF BARRIE			
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