

**Drawing List - Site Plan Application**

Sheet Number	Sheet Name
<b>Architectural</b>	
SPA A000	Cover Sheet
SPA A101	Site Plan
SPA A102	Site Details & Demolition
SPA A102a	Site Details - Signage Types and Locations
SPA A103	Demolition Level 1 - Overall Floor Plan
SPA A104	Demolition Level 2 & 3 - Overall Floor Plan
SPA A201	Main Floor Plan
SPA A202	Roof Plan
SPA A300	Proposed Elevations - Overall
SPA A301	Proposed Elevations - Enlarged
SPA A401	Building Sections
<b>Architectural: 12</b>	
<b>Civil</b>	
-	Base Cover
ND-1	Notes and Details (1 of 2)
ND-2	Notes and Details (2 of 2)
SG-1	Site Grading Plan
SS-1	Site Servicing Plan
STM-1	Pre-Development Storm Catchment Plan
STM-2	Post-Development Storm Catchment Plan
EPR-1	Erosion Protection and Removals Plan
<b>Civil: 8</b>	
<b>Electrical</b>	
E101	Electrical Site Plan
<b>Electrical: 1</b>	
<b>Landscape</b>	
L1	Tree Management Plan
L2	Landscape Plan
L3	Landscape Details
<b>Landscape: 3</b>	
<b>Grand total: 24</b>	

# I.O.O.F. LTC Expansion

10 Brooks Street, Barrie, Ontario

Issued for Site Plan Amendment

2024-07-23

**CONSULTING TEAM**

**ARCHITECTURAL**  
 SALTER PILON ARCHITECTURE INC.  
 151 FERRIS LANE, SUITE 400  
 BARRIE, ONTARIO  
 L4M 6C1  
 T: 705-737-3530  
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**MECHANICAL & ELECTRICAL**  
 QUASAR CONSULTING GROUP  
 250 ROWNTREE DAIRY RD  
 WOODBRIDGE, ON  
 L4L 9J7  
 905 507 0800

**STRUCTURAL**  
 TACOMA ENGINEERS INC  
 570 BRYNE DR  
 BARRIE, ON  
 L4N 9P6  
 T: 705 735 1875

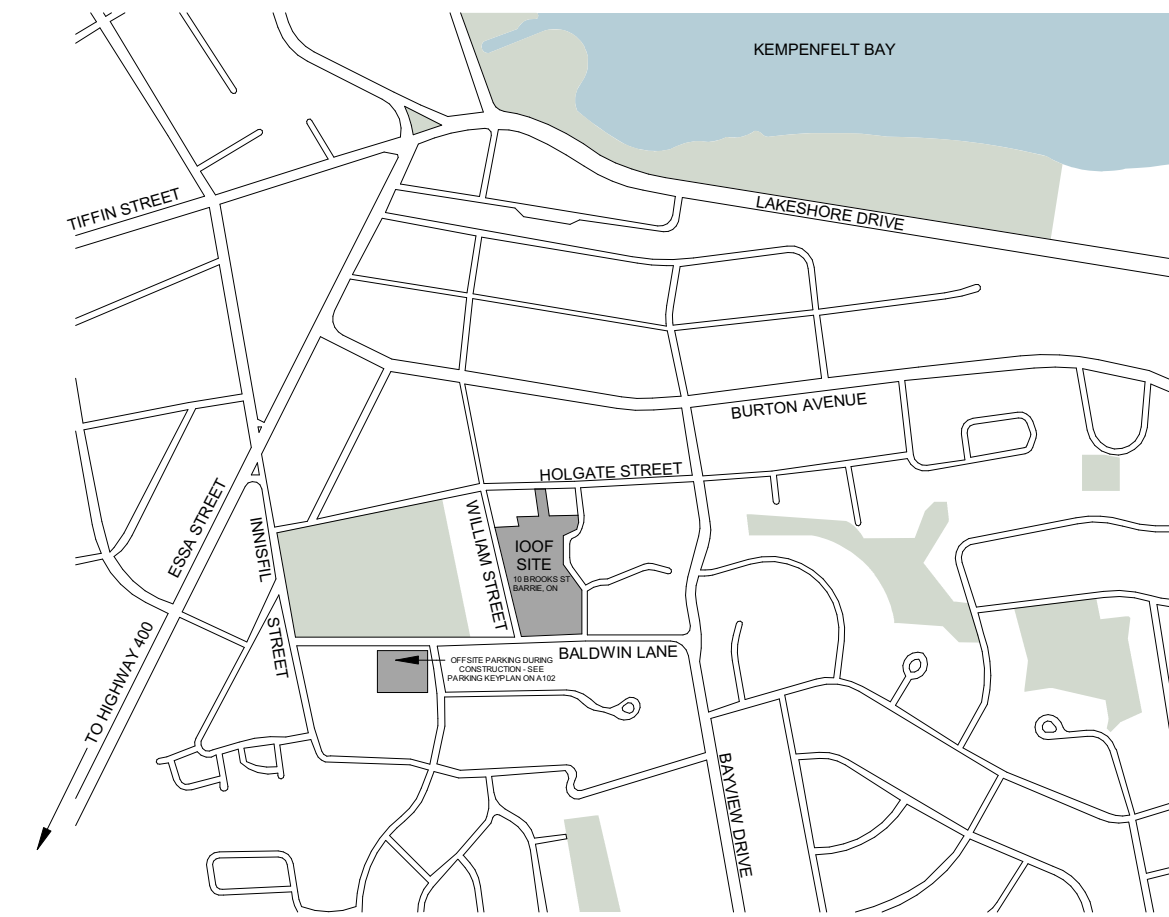
**CIVIL**  
 PEARSON ENGINEERING LTD  
 48 ALLIANCE BLVD  
 BARRIE, ON  
 L4M 5K3  
 705 719 4785

**LANDSCAPE ARCHITECT**  
 HILL DESIGN STUDIO INC.  
 50 OTTAWA ST S, SUITE 355  
 KITCHENER, ONTARIO  
 N2G 3S7  
 T: 226-686-0700



HOLGATE ST

SITE KEY PLAN



**O.B.C. Matrix - Long Term Care Facility**

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC REFERENCE
1	PROJECT DESCRIPTION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION & RENOVATION <input type="checkbox"/> ALTERATION	<input checked="" type="checkbox"/> PART 3 FOR NEW BUILDING
2	MAJOR OCCUPANCY(S) GROUP B-2, Care and Treatment Occupancy	3.2.2.39
3	BUILDING AREA (m <sup>2</sup> ) BUILDING 3 - (NORTH) BUILDING 2 - (MIDDLE) BUILDING 1 - (SOUTH)	EXISTING TO REMAIN RENOVATION NEW ADDITION 1581m <sup>2</sup> 2344m <sup>2</sup> 2133m <sup>2</sup> 6058m <sup>2</sup> TOTAL
4	GROSS AREA (m <sup>2</sup> ) BUILDING 3 - (NORTH) BUILDING 2 - (MIDDLE)	EXISTING TO REMAIN 5918m <sup>2</sup> 5132m <sup>2</sup>
5	NUMBER OF STOREYS BUILDING 1 (SOUTH) = 2 STOREYS ENTIRE CAMPUS = 3 STOREYS	3.2.1.1 & 1.1.3.2
6	HEIGHT OF BUILDING (m) BUILDING 1 (SOUTH) = 27.5m	ENTIRE CAMPUS = 9.3m 3.2.2.10 & 3.2.5.5
7	NUMBER OF STREET ACCESS ROUTES	1 STREET 3.2.2.39
8	BUILDING CLASSIFICATION	GROUP 'B' DIVISION 2, SPRINKLERED UP TO 3 STOREYS, 8000m <sup>2</sup> MAX BUILDING AREA 3.2.2.39
9	SPRINKLER SYSTEM	<input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> ADDITION <input type="checkbox"/> NOT REQUIRED
10	STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
11	FIRE ALARM REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
12	WATER SERVICE SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
13	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
14	PERMITTED CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH
15	ACTUAL CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH
16	OCCUPANT LOAD BASED ON	<input checked="" type="checkbox"/> M <sup>2</sup> /PERSON <input type="checkbox"/> DESIGN OF BUILDING
17	BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)
18	HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
19	REQUIRED FIRE RESISTANCE RATING (FRR)	FLOOR BEARING WALLS & COLUMNS - 1 HOUR ROOF RATING - N/A 3.2.2.39
20	SPATIAL SEPARATION	3.2.3
22	EXPOSED BUILDING FACE & SPATIAL SEPARATION: NEW BUILDING	T-3.2.3.1.D.

Block Keyplan N.T.S.

SITE PLAN LEGEND:

- PROPERTY LINE
- PROPERTY SETBACK
- PROPOSED ADDITION
- PROPOSED RENOVATION (existing)
- EXISTING BUILDINGS
- ASPHALT PAVEMENT (existing)
- FENCE - TYPE AS NOTED ON PLAN (WROUGHT IRON, WOODEN BOARD ETC)
- FIRE HYDRANT
- LIGHT STANDARD

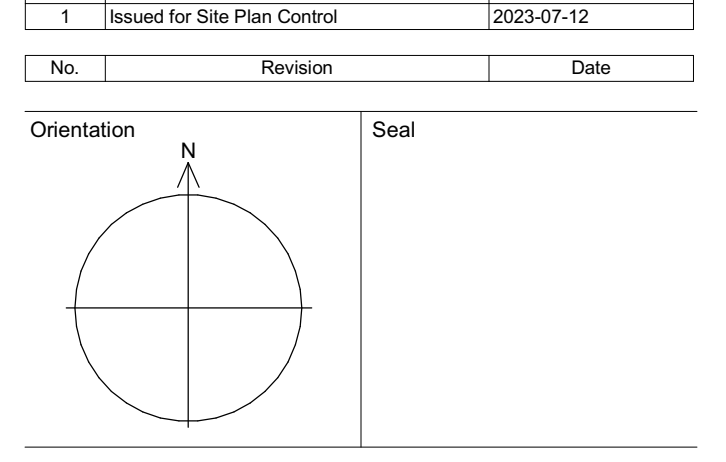
**MAJOR INSTITUTIONAL SPECIAL PROVISION 204 (M-IP-SP-204) ZONE**

PROVISIONS	REQUIRED	PROVIDED
LOT AREA (min.)	5000m <sup>2</sup>	29 297.3m <sup>2</sup>
LOT FRONTAGE (min.)	45m	155.49m
FRONT YARD (min.)	9m	3.97m (to match existing condition)
SIDE YARD ADJOINING STREET (min.)	9m	7.0m
SIDE YARD (min.)	9m	8.8m
REAR YARD ADJOINING STREET (min.)	15m	17.9m (existing building)
REAR YARD (min.)	7m	17.9m (existing building)
LOT COVERAGE PROPOSED NEW (max.)	35%	7.3%
LANDSCAPED OPEN SPACE (min.)	35%	27.3%
BUILDING HEIGHT (max.)	(By-law 2001-20) SP-204 The property (10-20 Brooks Street) shall be restricted to a maximum height of 3 storeys or 10m.	2 storeys (B1 (addition)) 3 storeys (B2 (existing)) 4 storeys (B4 (latest existing))
PARKING ASSISTED LIVING FACILITY	1 Space per 2 suites/units (226 units total = 113 stalls) (7) total barrier free stalls required: (3) Type 'A' 3400 x 5500 provided (4) Type 'B' 3100 x 5500 provided '1500 wide accessible parking aisle' (where required)	145 spaces total incl 7 barrier free stalls (3 Type 'A' and 4 Type 'B')
LANDSCAPE BUFFER AREAS (PARKING AREAS)	A parking area which provides for more than 4 parking spaces adjoining a residentially zoned lot requires a continuous landscaped buffer area with a minimum width of 3m shall be provided along the abutting lot line and a continuous light board fence with a minimum height of 2m is to be constructed along the lot line. The landscaped buffer area shall be planted with appropriate vegetation to effectively screen the parking area.	Complies

**PERMEABLE AND IMPERVIOUS AREAS EXISTING AND PROPOSED**

CONDITIONS	IMPERVIOUS	PERMEABLE
FULL SITE WITH EXISTING B1	16,246.23 m <sup>2</sup>	13,050.8 m <sup>2</sup>
PERCENTAGE OF LOT	55.5%	44.5%
FULL SITE WITH PROPOSED B1	16,459.53 m <sup>2</sup>	12,838.3 m <sup>2</sup>
PERCENTAGE OF LOT	56.2%	43.8%
INCREASE	+213.3 m <sup>2</sup>	-218.5 m <sup>2</sup>
	+0.7%	-0.5%

No.	Revision	Date
1	Issued for 100% CD	2024-07-23
2	Issued for 90% CD	2024-05-22
3	Issued for 80% CD	2024-05-06
4	Issued for 70% CD	2024-04-08
5	Issued for 60% CD	2023-12-11
6	Issued for 50% CD	2023-09-27
7	Issued for 40% CD	2023-07-12



All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in accordance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

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Project Information  
**I.O.O.F. LTC Expansion**

10 Brooks Street, Barrie, Ontario  
For  
I.O.O.F. Seniors Home Inc

Drawing Title  
**Site Plan**

Date	2024-07-23	Project No	20032	Drawing No	SPA
Drawn by	Author	Year	20032	Scale	A101
Scale	As indicated				



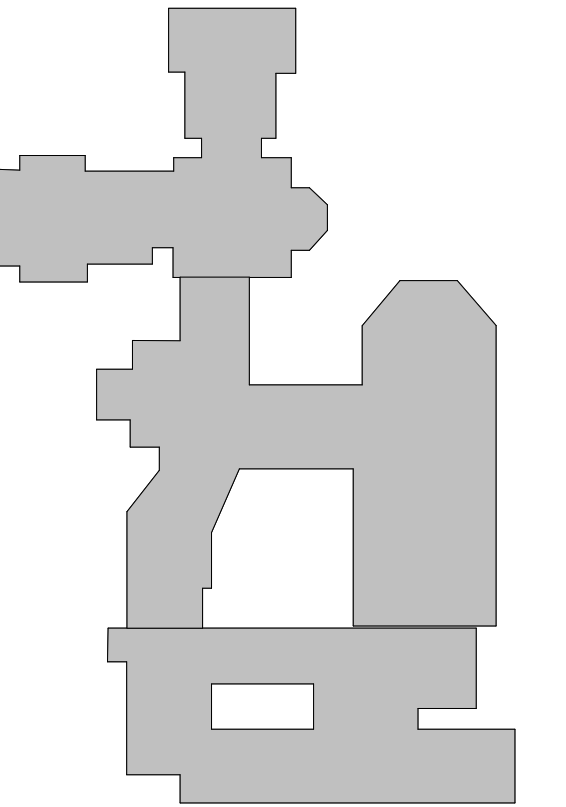
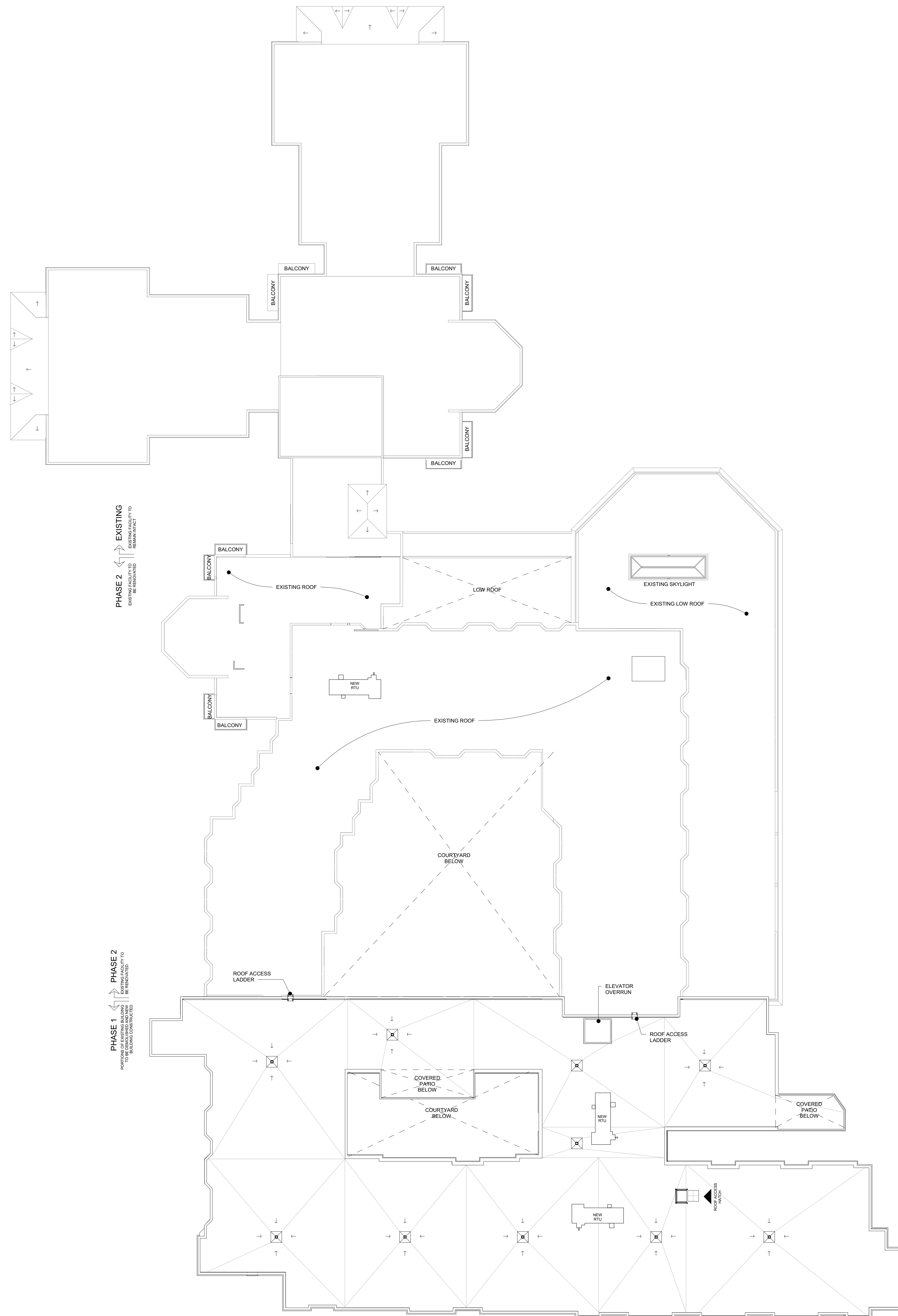












Block Keyplan N.T.S.

No.	Revision	Date
2	Issued for Site Plan Amendment	2024-07-23
1	Issued for Site Plan Control	2023-07-12

Orientation Seal

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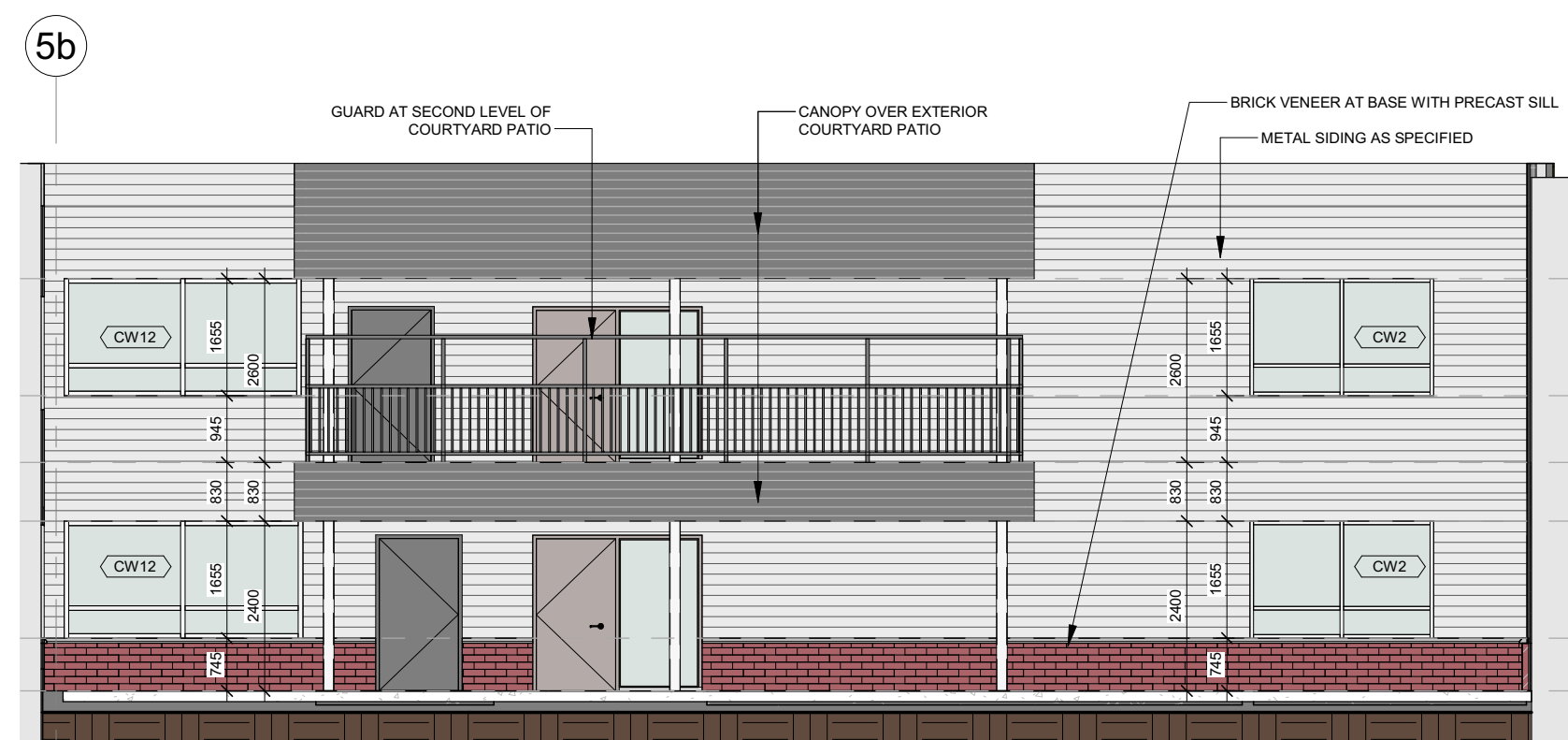


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 10 Brooks Street, Barrie, Ontario  
 For  
 I.O.O.F. Seniors Home Inc  
 Drawing Title

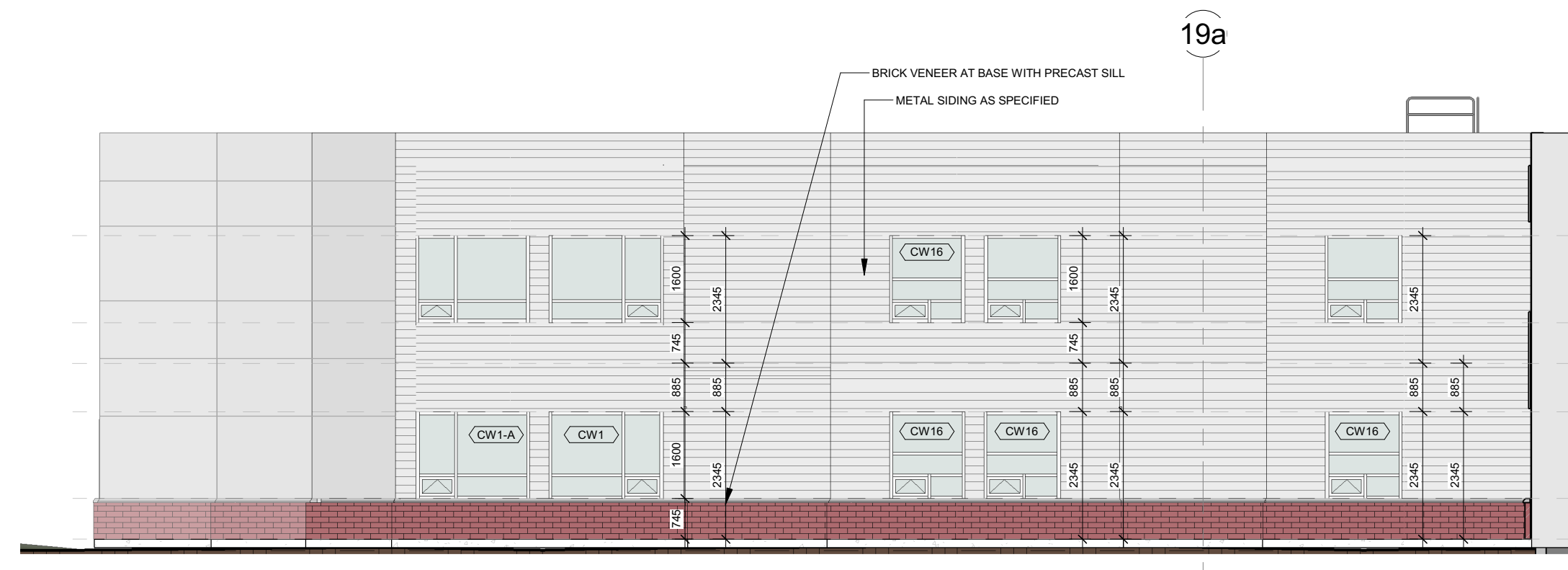
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2024-07-23	20032	SPA A202
Author		
Scale	1 : 200	

1 Overall Roof Plan  
 SPA A202 1 : 200



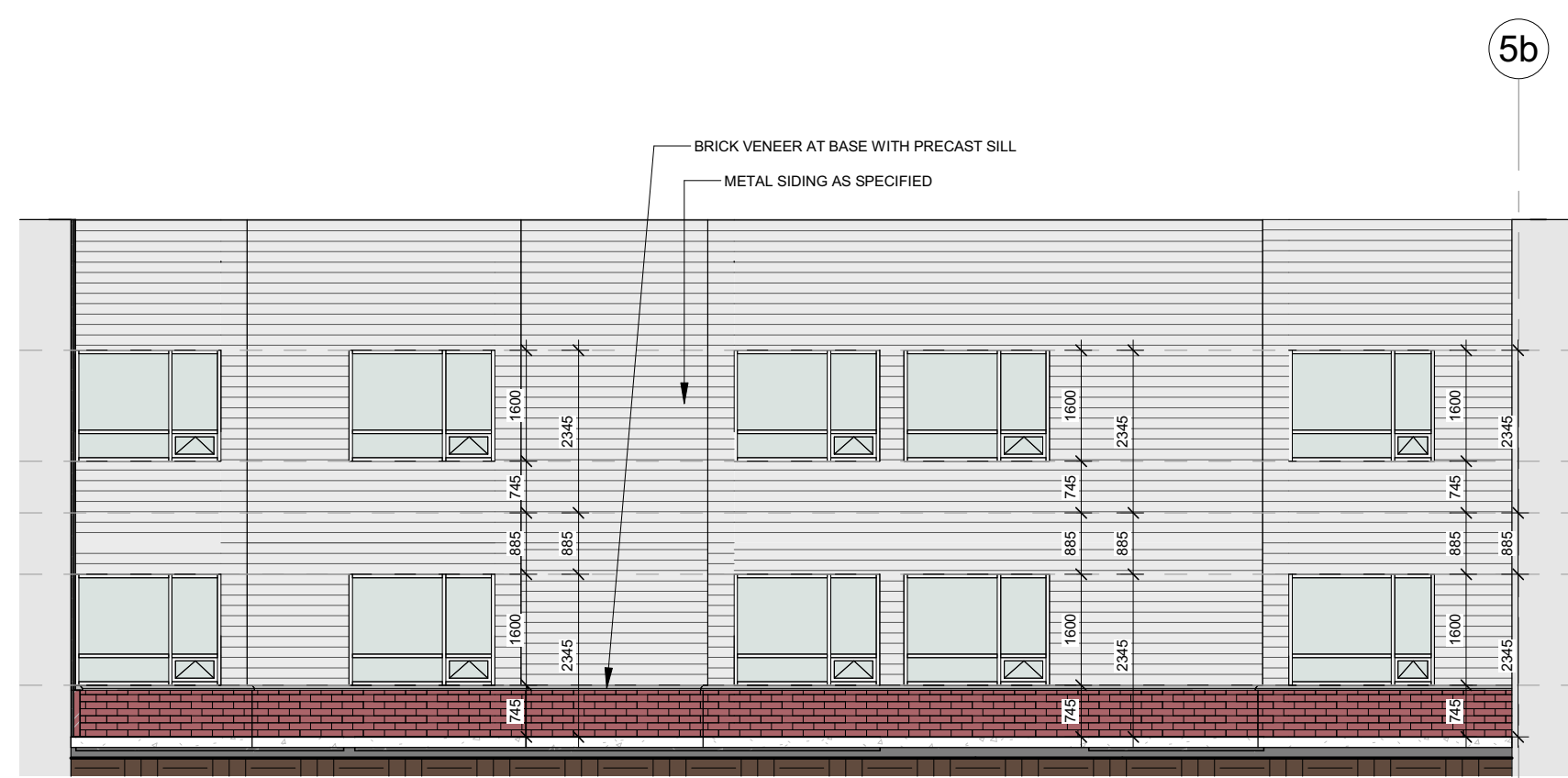
12 Phase 1- Interior Courtyard North Elevation

1 : 100



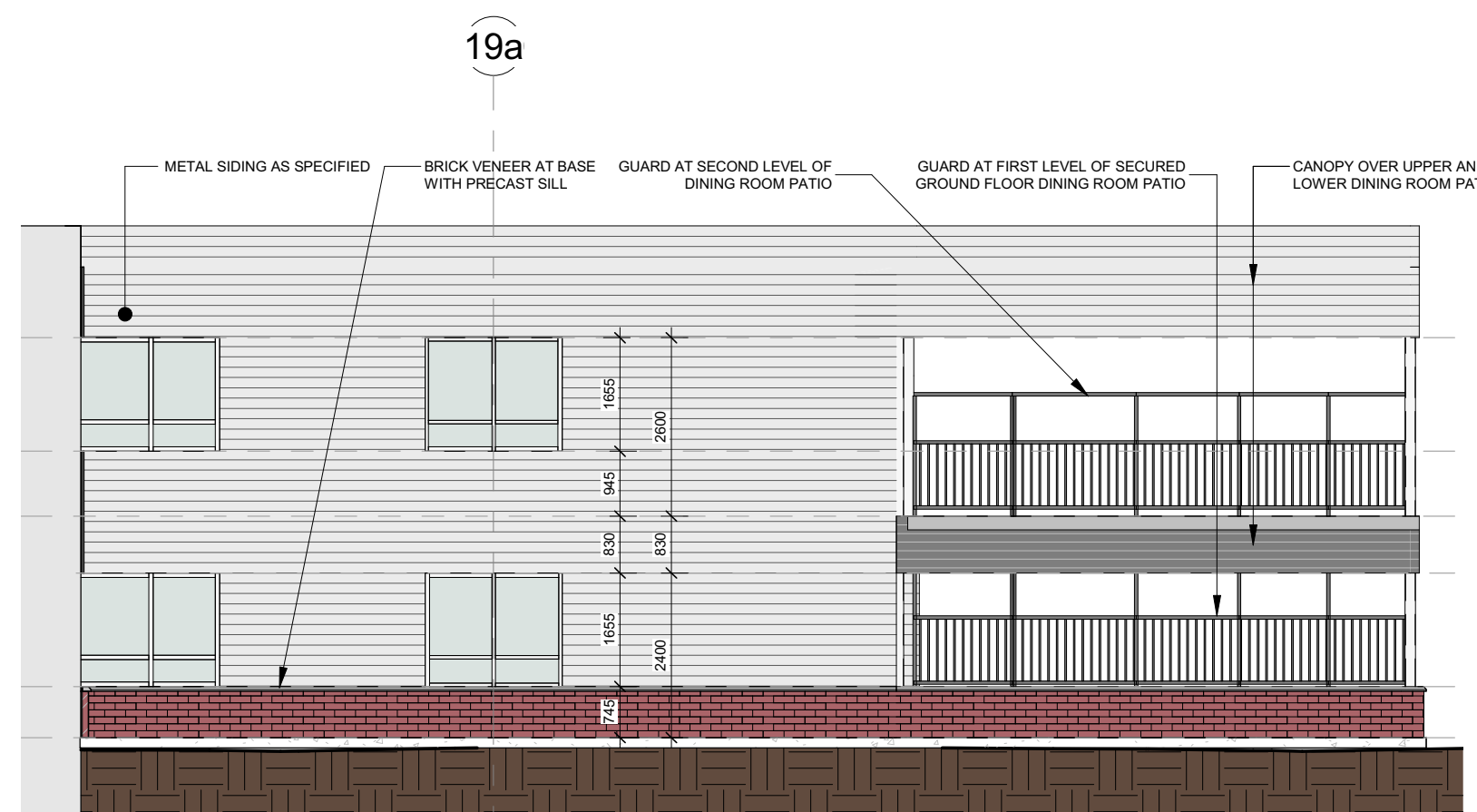
13 Phase 1- Exterior Courtyard - South Elevation

1 : 100



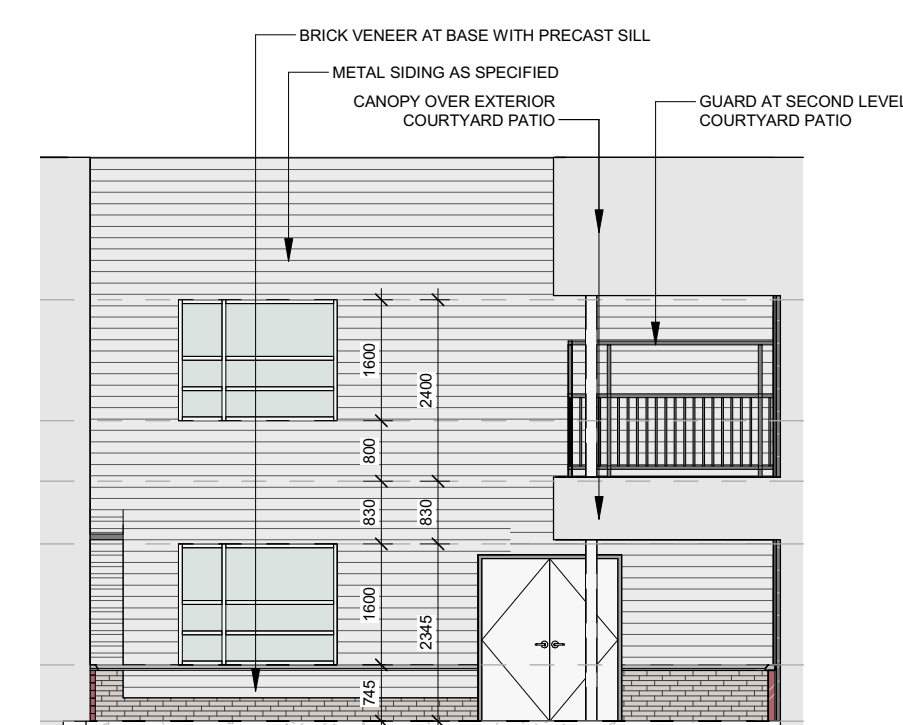
14 Phase 1- Interior Courtyard South Elevation

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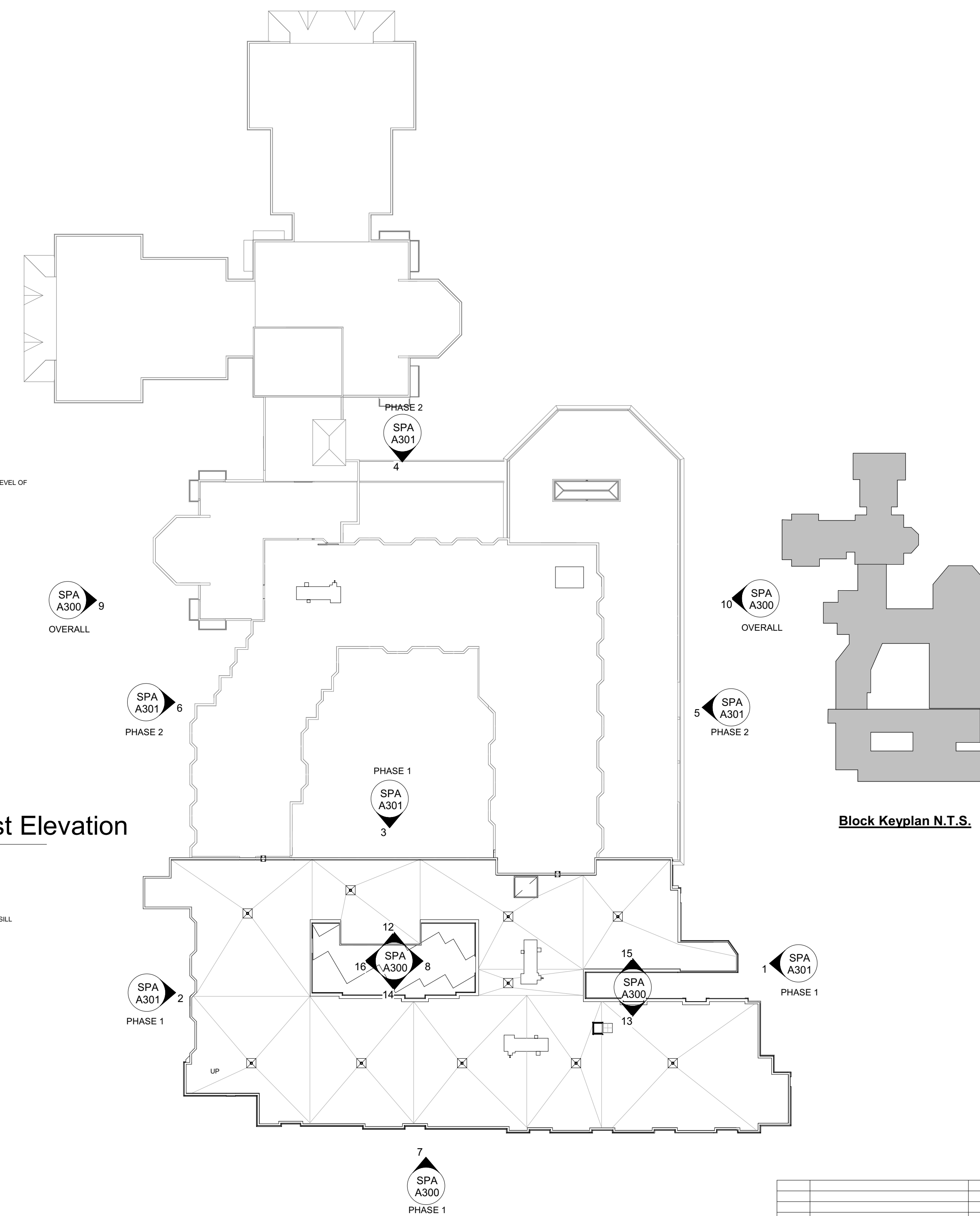
15 Phase 1- Exterior Courtyard - North Elevation

1 : 100



16 Phase 1- Interior Courtyard West Elevation

1 : 100

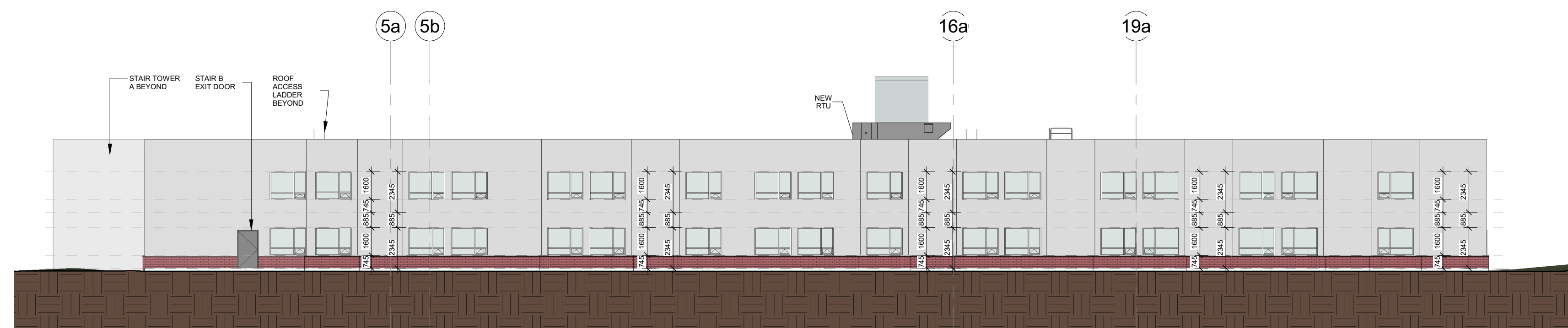


8 Phase 1- Interior Courtyard East Elevation

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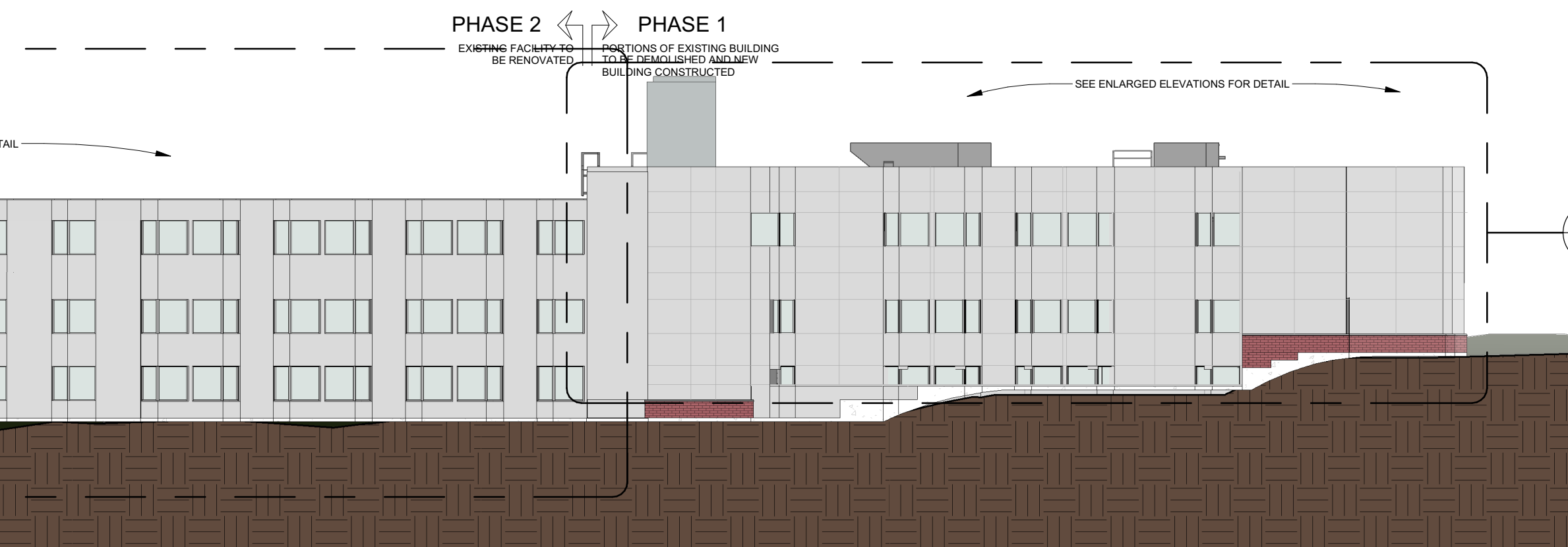
6 Elevation Key Plan

1 : 400



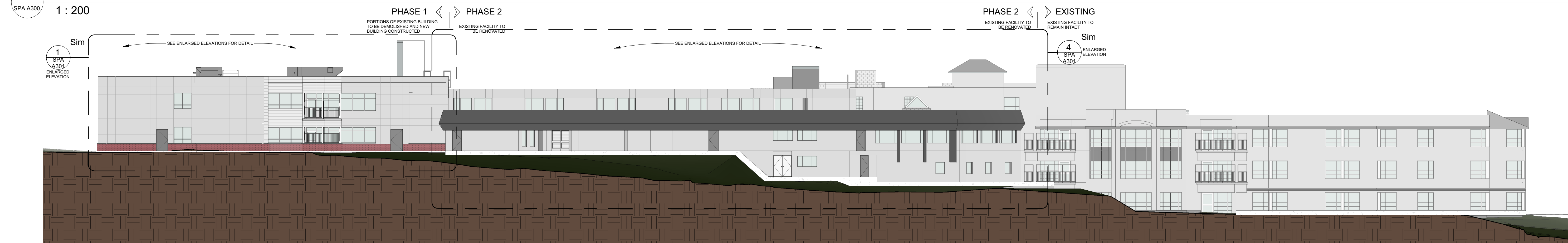
7 Phase 1- South Elevation

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9 Overall West Elevation

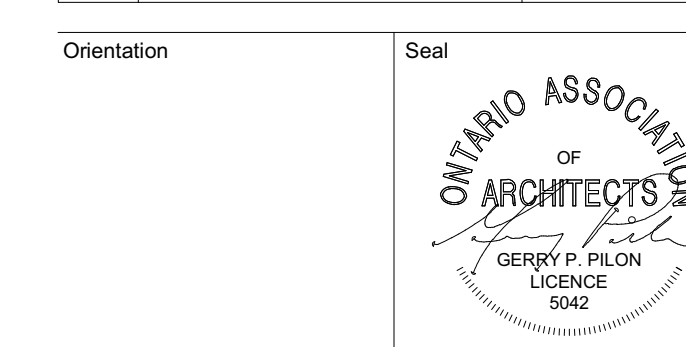
1 : 200



10 Overall East Elevation

1 : 200

No.	Revision	Date
7	Issued for Site Plan Amendment	2024-07-23
6	Issued for I.O.O.F. Working Drawings	2024-05-22
5	Issued for 90% CD	2024-05-06
4	Issued for 90% CD	2024-02-06
3	Issued for 30% CD	2023-12-11
2	Issued for 100% DD	2023-09-27
1	Issued for Site Plan Control	2023-07-12



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Project Information  
I.O.O.F. LTC Expansion

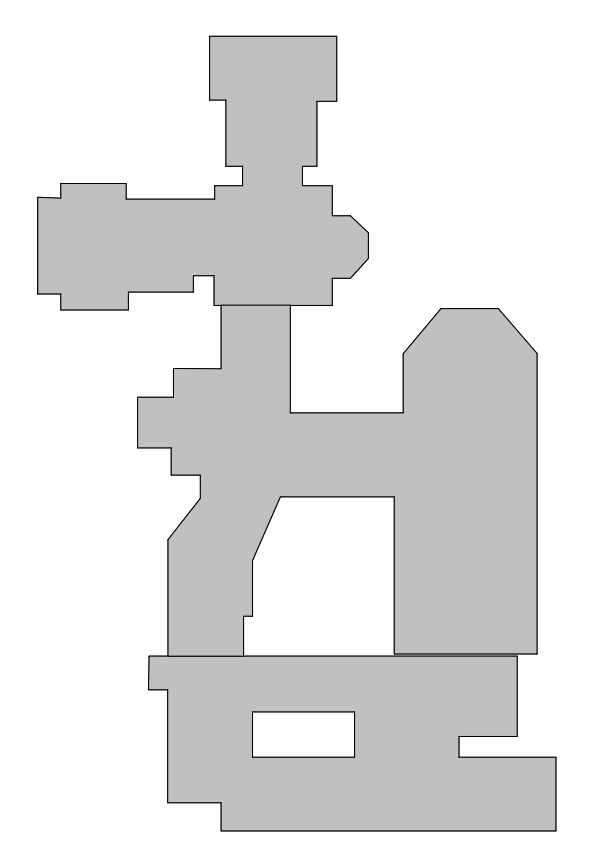
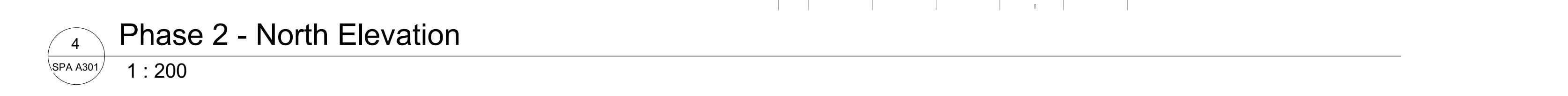
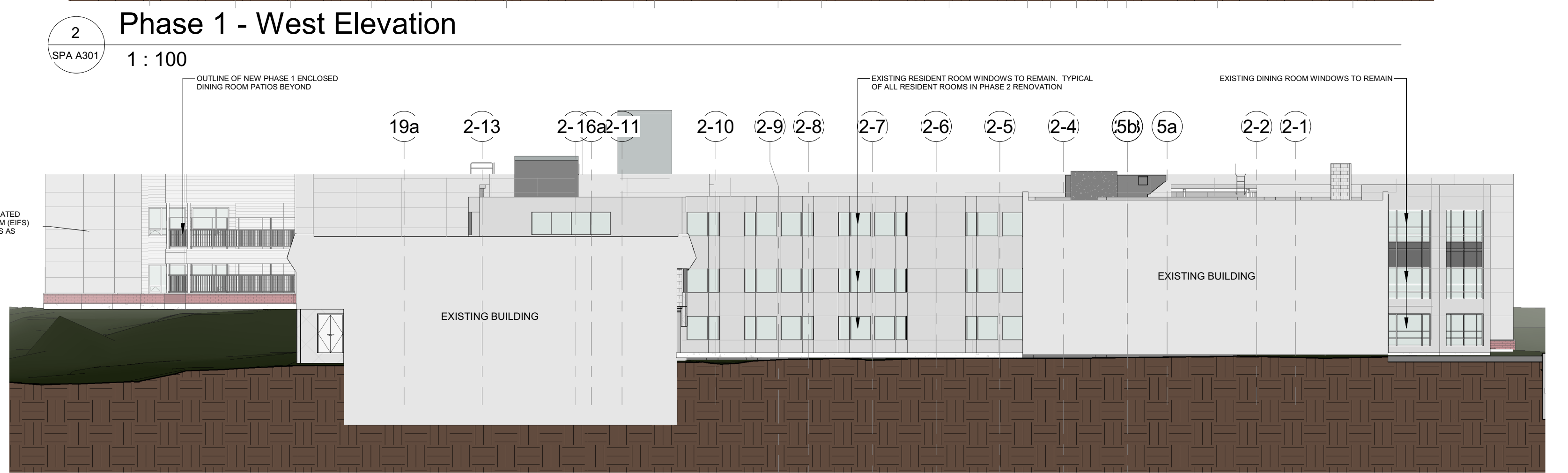
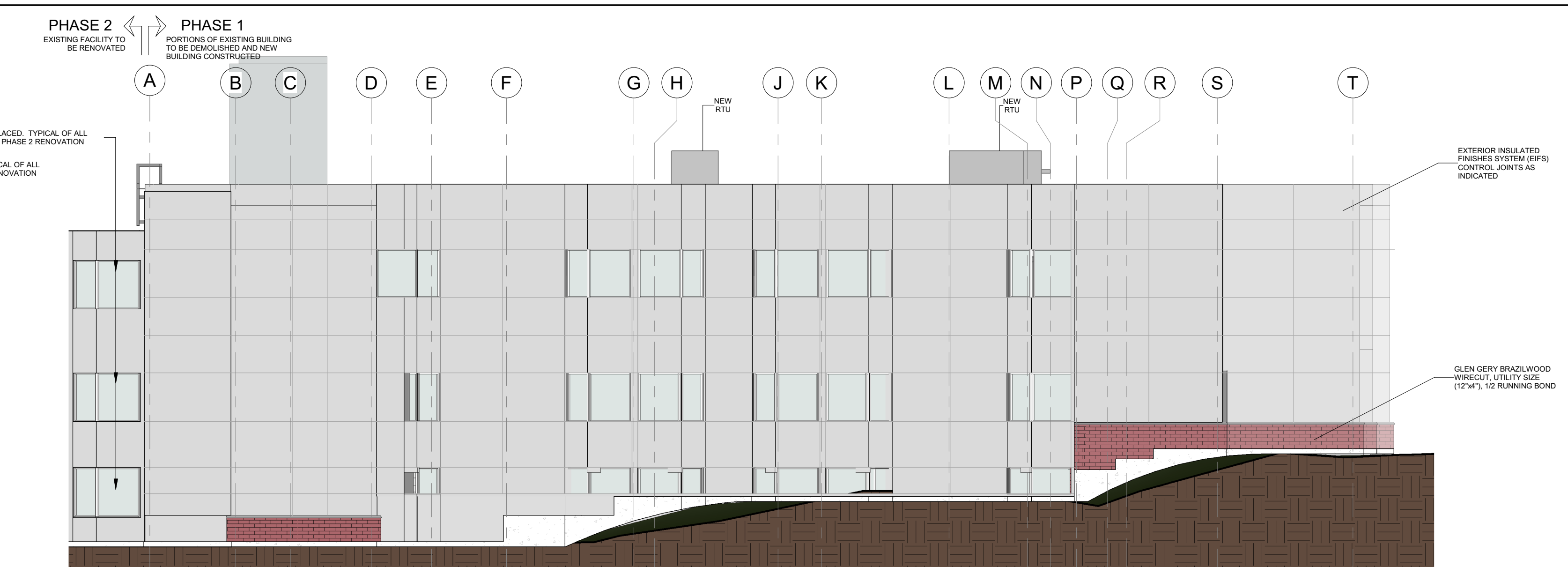
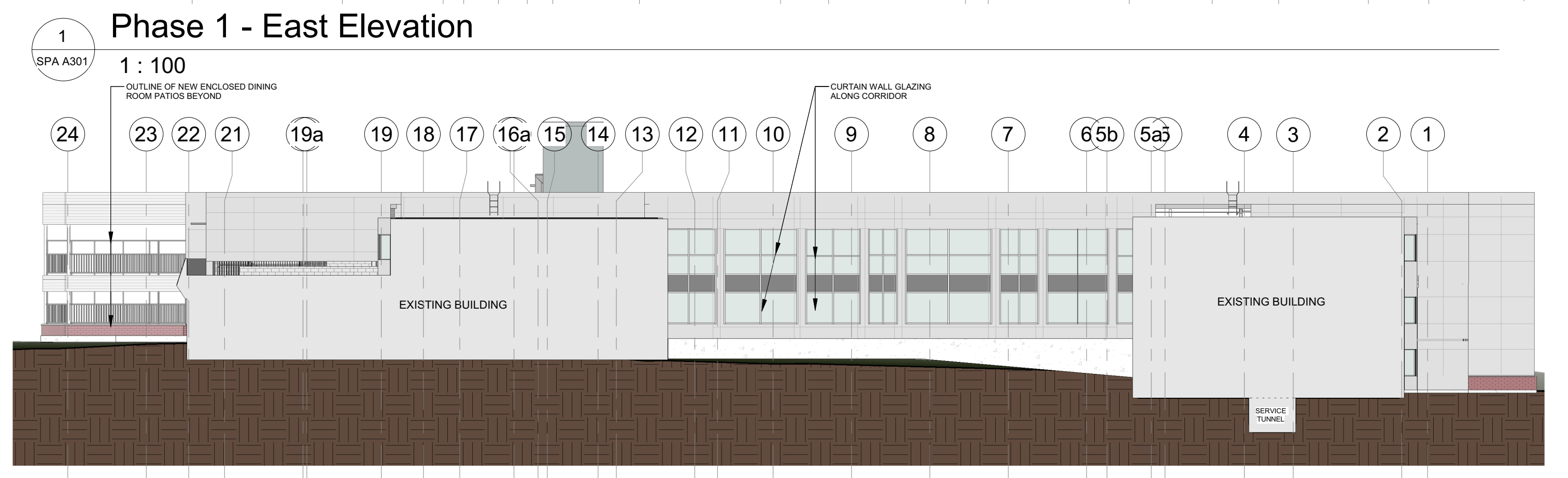
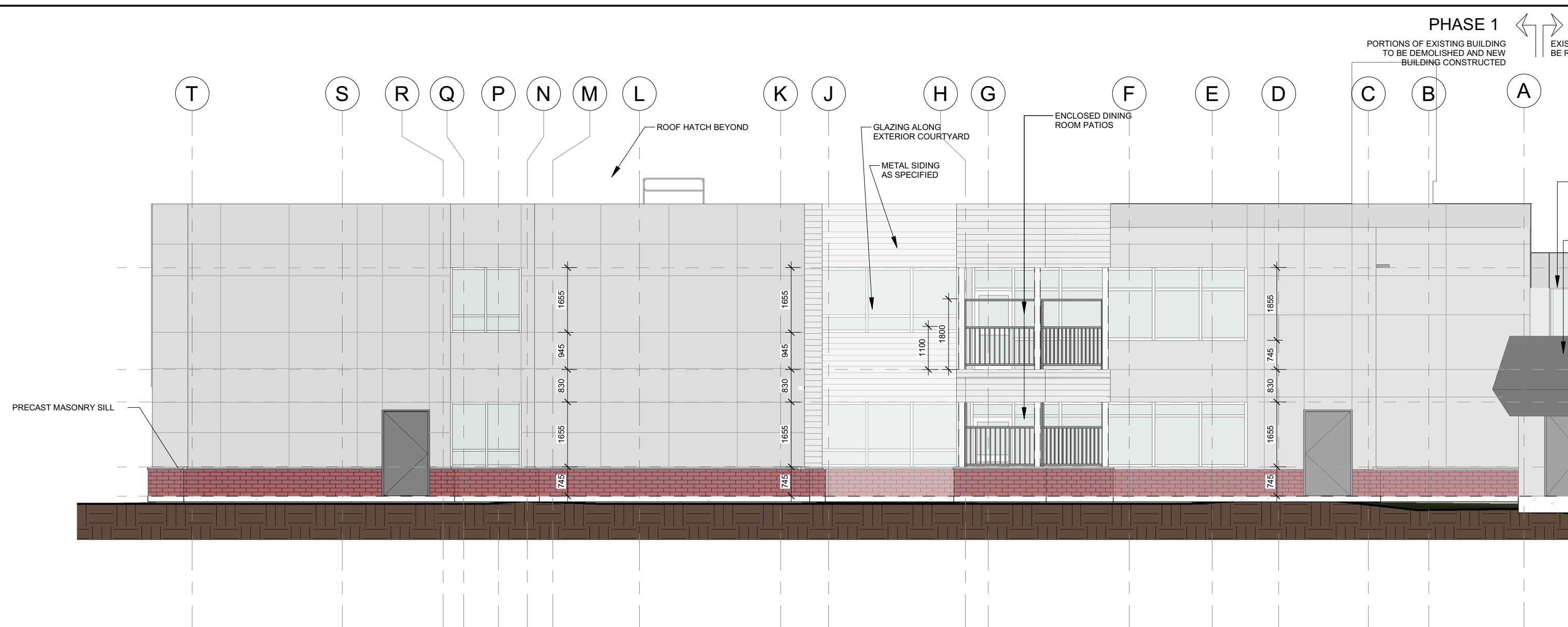
10 Brooks Street, Barrie, Ontario

For I.O.O.F. Seniors Home Inc

Drawing Title

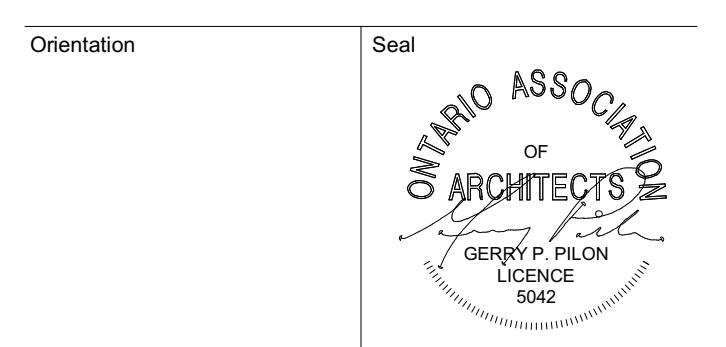
Proposed Elevations - Overall

Date	2024-07-23	Project No	20032	Drawing No	SPA A300
Drawn by	Author				
Scale	As indicated				



Block Keyplan N.T.S.

No.	Revision	Date
7	Issued for Site Plan Amendment	2024-07-23
6	Issued for I.O.O.F. LTC Working Drawings	2024-05-22
5	Issued for 90% CD	2024-05-06
4	Issued for 50% CD	2024-02-06
3	Issued for 30% CD	2023-12-11
2	Issued for 100% CD	2023-09-27
1	Issued for Site Plan Control	2023-07-12



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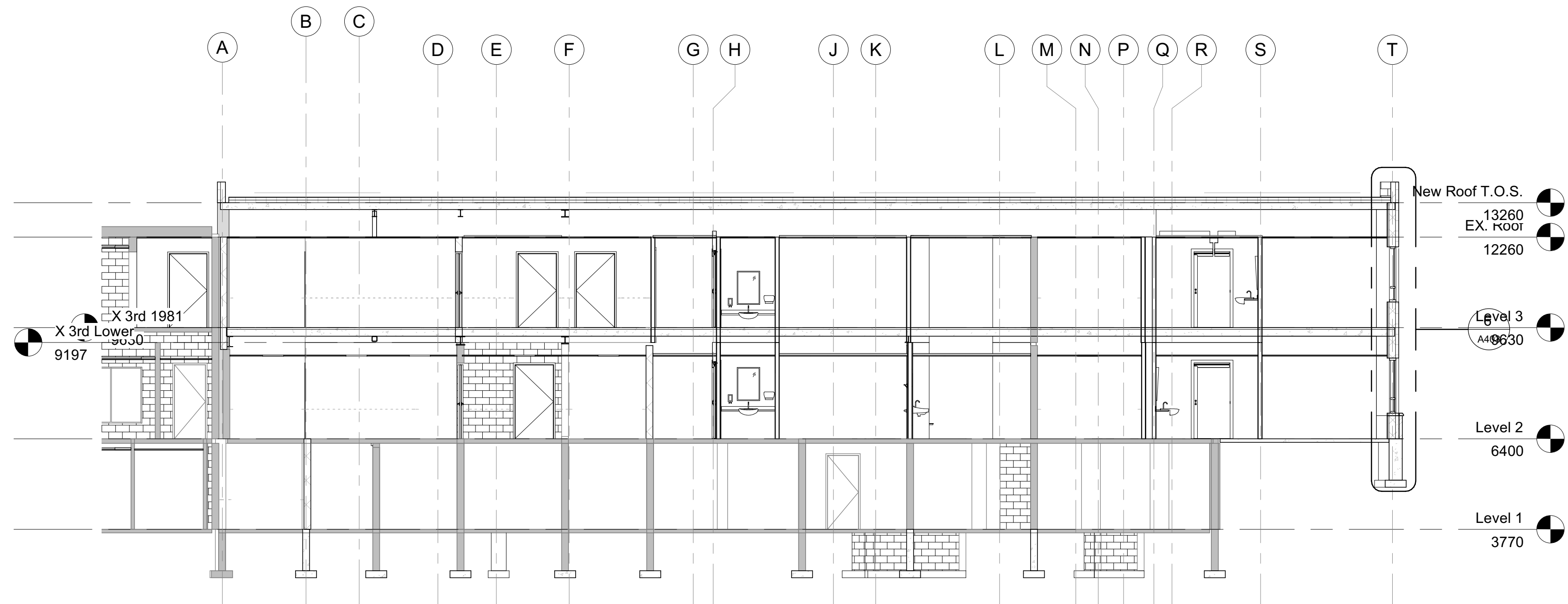
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Project Information  
**I.O.O.F. LTC Expansion**

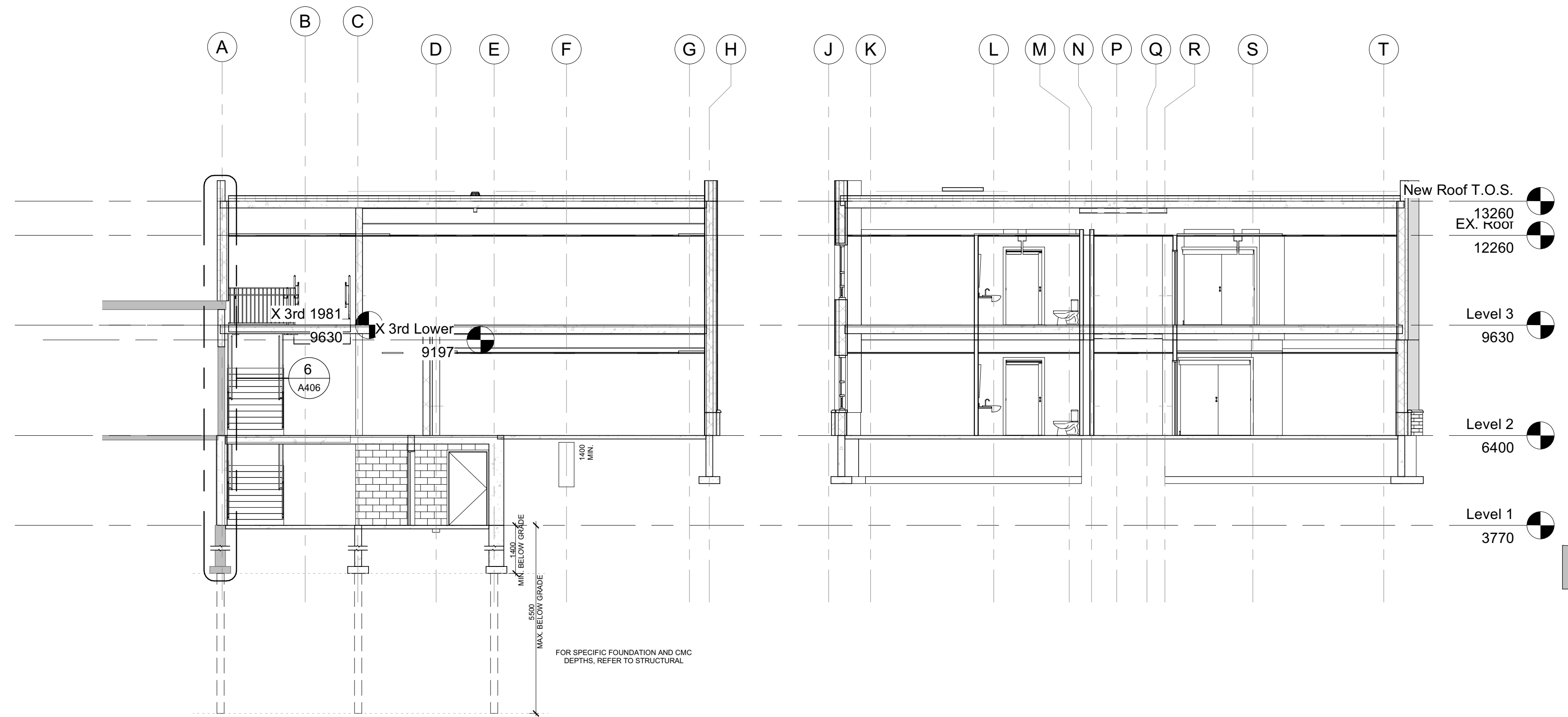
10 Brooks Street, Barrie, Ontario  
For  
I.O.O.F. Seniors Home Inc

Drawing Title  
**Proposed Elevations - Enlarged**

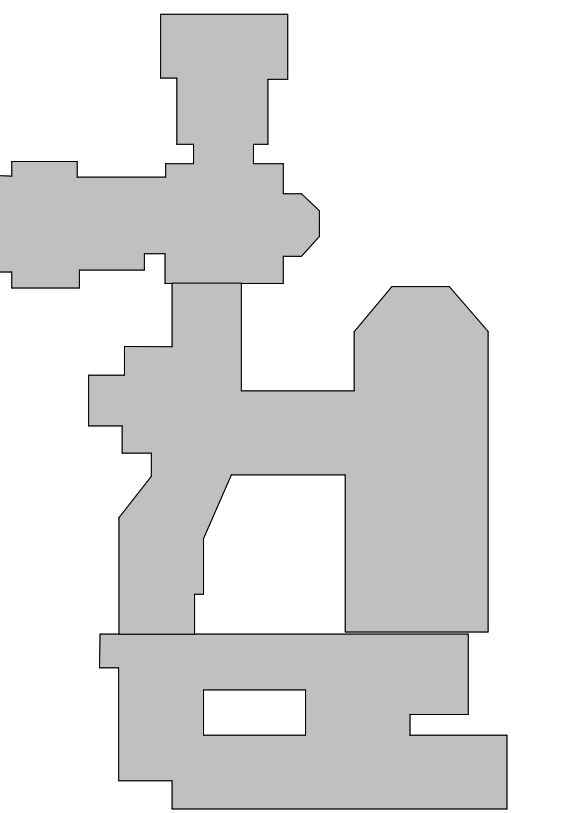
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Drawn by	Author	Scale	As indicated		



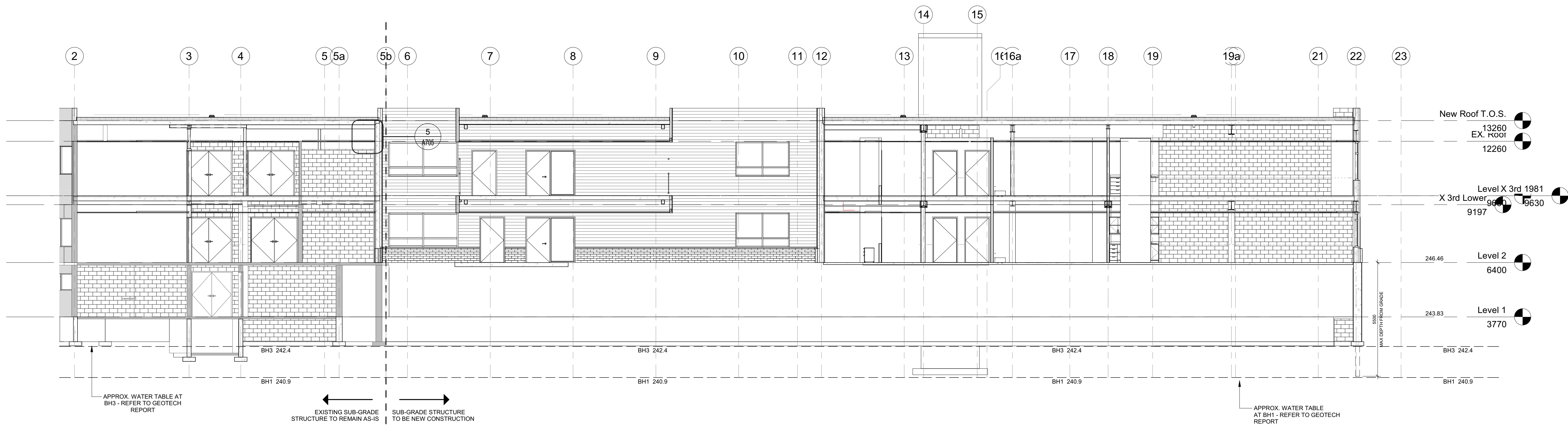
1 Building Section 1  
SPA A401 1 : 100



3 Building Section 3  
SPA A401 1 : 100

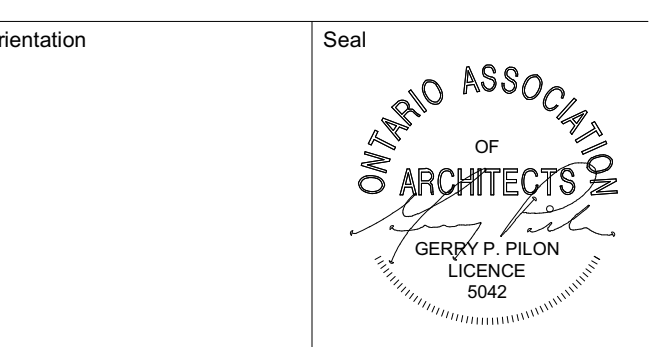


Block Keyplan N.T.S.



2 Building Section 2  
SPA A401 1 : 100

No.	Revision	Date
6	Issued for Site Plan Amendment	2024-07-23
5	Issued for MDHLTC Working Drawings	2024-05-22
4	Issued for 50% CD	2024-05-08
3	Issued for 60% CD	2024-02-05
2	Issued for 30% CD	2023-12-11
1	Issued for 100% LOD	2023-09-27



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10 Brooks Street, Barrie, Ontario

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**Building Sections**

Date	2024-07-23	Project No	20032	Drawing No	SPA
Drawn by	Author				A401
Scale	1 : 100				