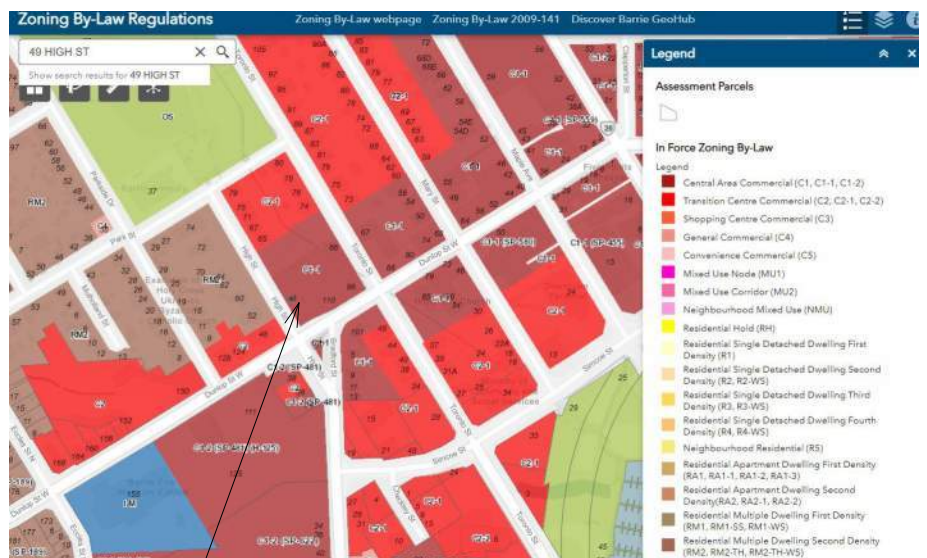


BUILDING AREA SUMMARY		
Name	Area	Area (Metric)
GROUND FLOOR AREA	964 m²	964 m²
2ND FLOOR	1016 m²	1016 m²
3RD FLOOR	1013 m²	1013 m²
4TH FLOOR	1013 m²	1013 m²
Grand total	4005 m²	4005 m²

**NOTE:
EXISTING 4 STORY
BUILDING FOOTPRINT TO
REMAIN**

SITE PLAN APPLICATION NO.

PART OF LOT 33
NORTH SIDE OF ELIZABETH STREET &
PART OF LOT 13 EAST SIDE OF HIGH
STREET
REGISTERED PLAN 129
CITY OF BARRIE
COUNTY OF SIMCOE



SUBJECT PROPERTY

ZONING TABLE			
ZONE - C-1-1 CENTRA AREA COMMERCIAL			
	C-1	C-1-1	PROPOSED
MINIMUM LOT AREA	-	-	104.59 m ²
MINIMUM LOT FRONTAGE	-	-	42.50 m
LOT COVERAGE	-	-	72.2 %
		Minimum Coverage for Commercial Uses (% of lot area) 50%	21.5 %
MINIMUM FRONT YARD	-	-	0.12 m
MINIMUM EXTERIOR SIDE YARD	-	-	0.61 m
MINIMUM SIDE YARD	-	-	0 m
MINIMUM REAR YARD	-	-	0.73 m
MAXIMUM BUILDING HEIGHT	15 m	10m within 5m of the front lot line and the lot's frontage, 10m beyond 5m of the front lot line and the lot's frontage.	14.63 m
PERMEABLE PAVERS AREA	-	-	4 stories 98.9 m ² 9.3%

PARKING / LOADING CALCULATIONS			
	EXISTING	ZONING	PROVIDED
VEHICLES	0	20	13
BARRIER FREE PARKING (included in count)			1
LOADING SPACE		0	
TOTAL VEHICLE PARKING			13

PROJECT NAME

49 HIGH STREET APARTMENTS

PROJECT ADDRESS

49 HIGH STREET BARRIE, ON L4N
5J4

CLIENT

**WILDCRAT CAPITAL
MANAGEMENT
GROUP INC.**

ARCHITECT

KHALSA DESIGN INC.



KHALSA

BRAMPTON, ON

TELEPHONE: 647-468-2940

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ARCHITECT SEAL:



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Project number	23035
Date	12/09/2024
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Checked by	KD
Scale	As indicated

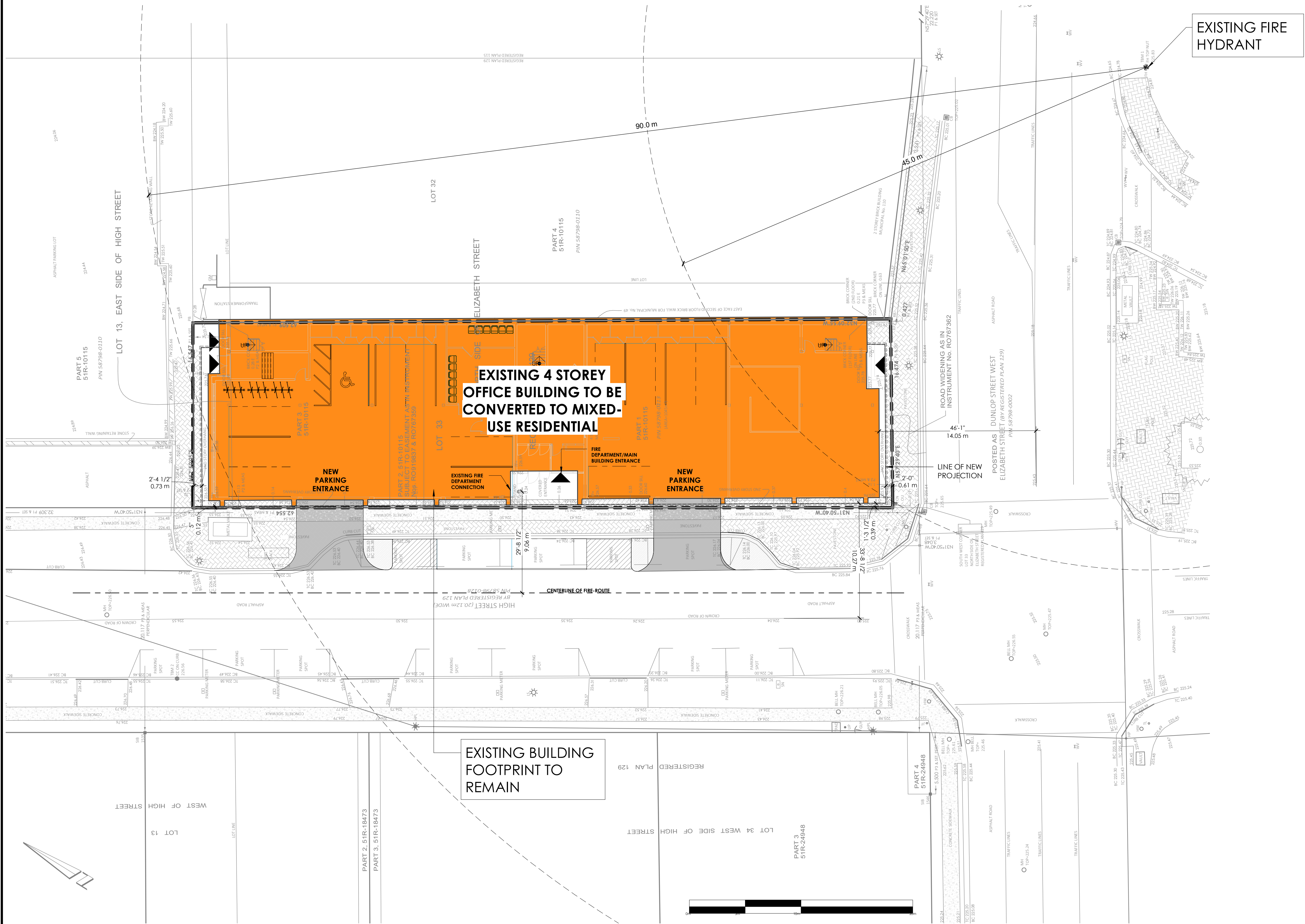
REVISIONS

[illegible]

SITE PLAN

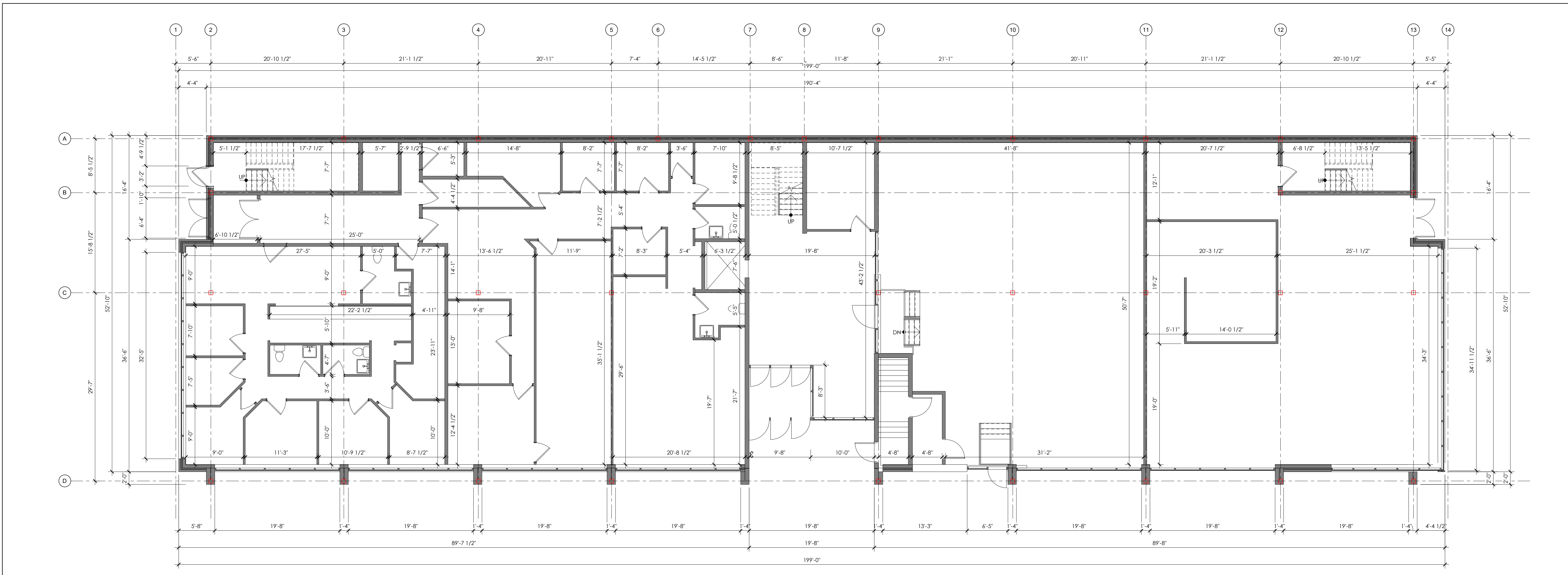
ASP-1

49 HIGH STREET APARTMENTS





2 EXISTING- SECOND FLOOR
EX-100 1/8" = 1'-0"



1 EXISTING - MAIN FLOOR
EX-100 1/8" = 1'-0"

PROJECT NAME

49 HIGH STREET
APARTMENTS

PROJECT ADDRESS

49 HIGH STREET
BARRIE, ON L4N 5J4

CLIENT

WILD GRAY CAPITAL
MANAGEMENT
GROUP INC.

ARCHITECT

KHALSA DESIGN INC.



BRAMPTON, ON

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ISSUED FOR SITE PLAN APPROVAL

Project number	23035
Date	12/09/2024
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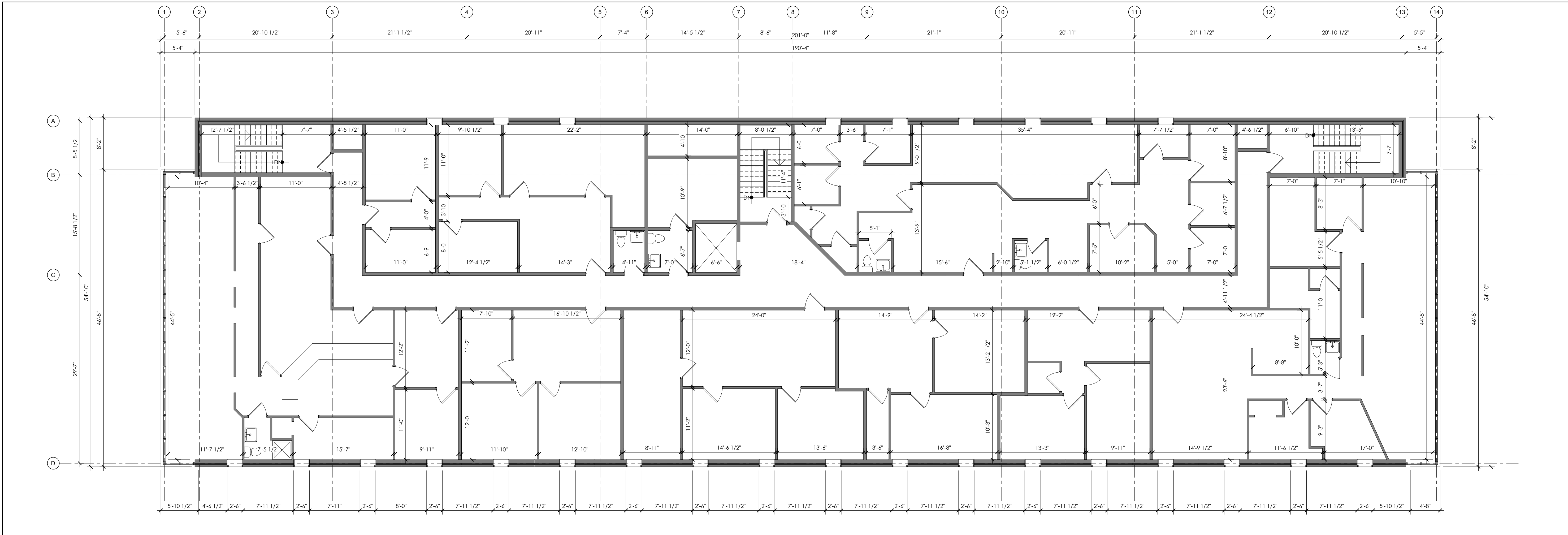
REVISIONS

No.	Description	Date

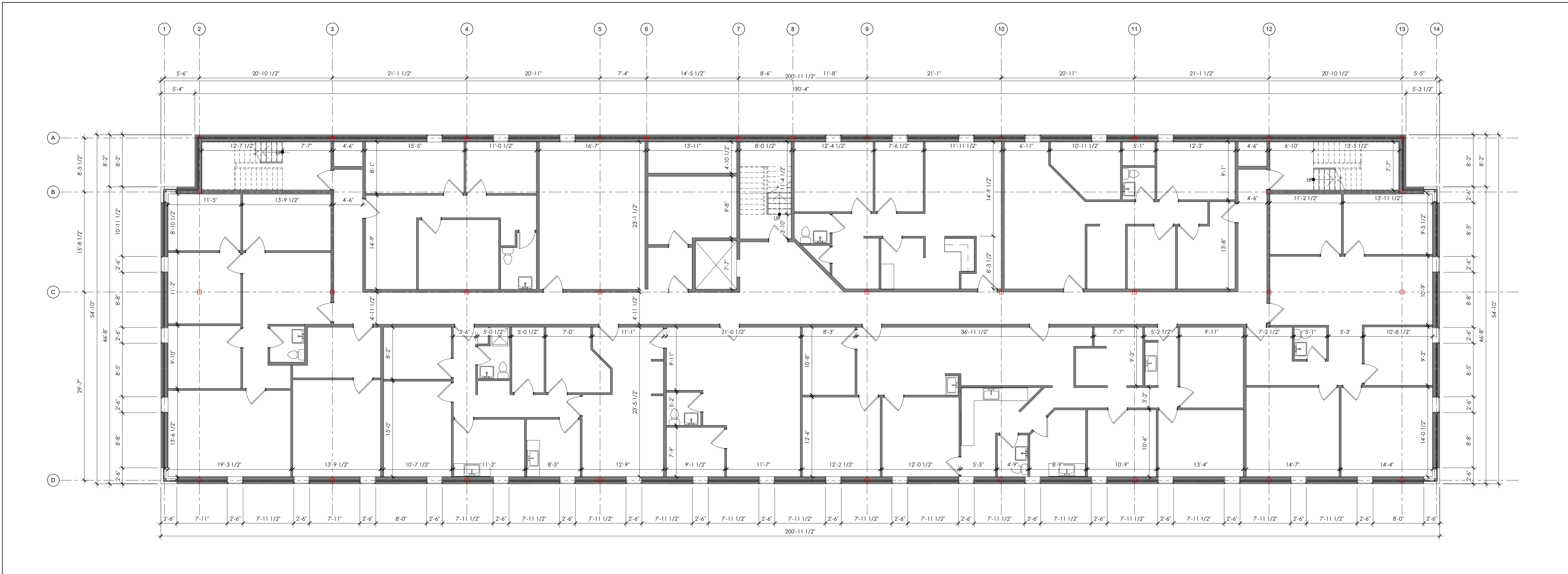
EXISTING - 1ST &
2ND FLOOR

EX-100

49 HIGH STREET APARTMENTS



2 EXISTING- FOURTH FLOOR
EX-101 1/8" = 1'-0"



1 EXISTING- THIRD FLOOR
EX-101 1/8" = 1'-0"

PROJECT NAME
**49 HIGH STREET
APARTMENTS**

PROJECT ADDRESS
**49 HIGH STREET
BARRIE, ON L4N 5J4**

CLIENT
**WILD GRAY CAPITAL
MANAGEMENT
GROUP INC.**

ARCHITECT
KHALSA DESIGN INC.

DESIGN

KHALSA

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12 - 09 - 2024
AMRUTPAL SINGH BANSAL
LICENCE
9554

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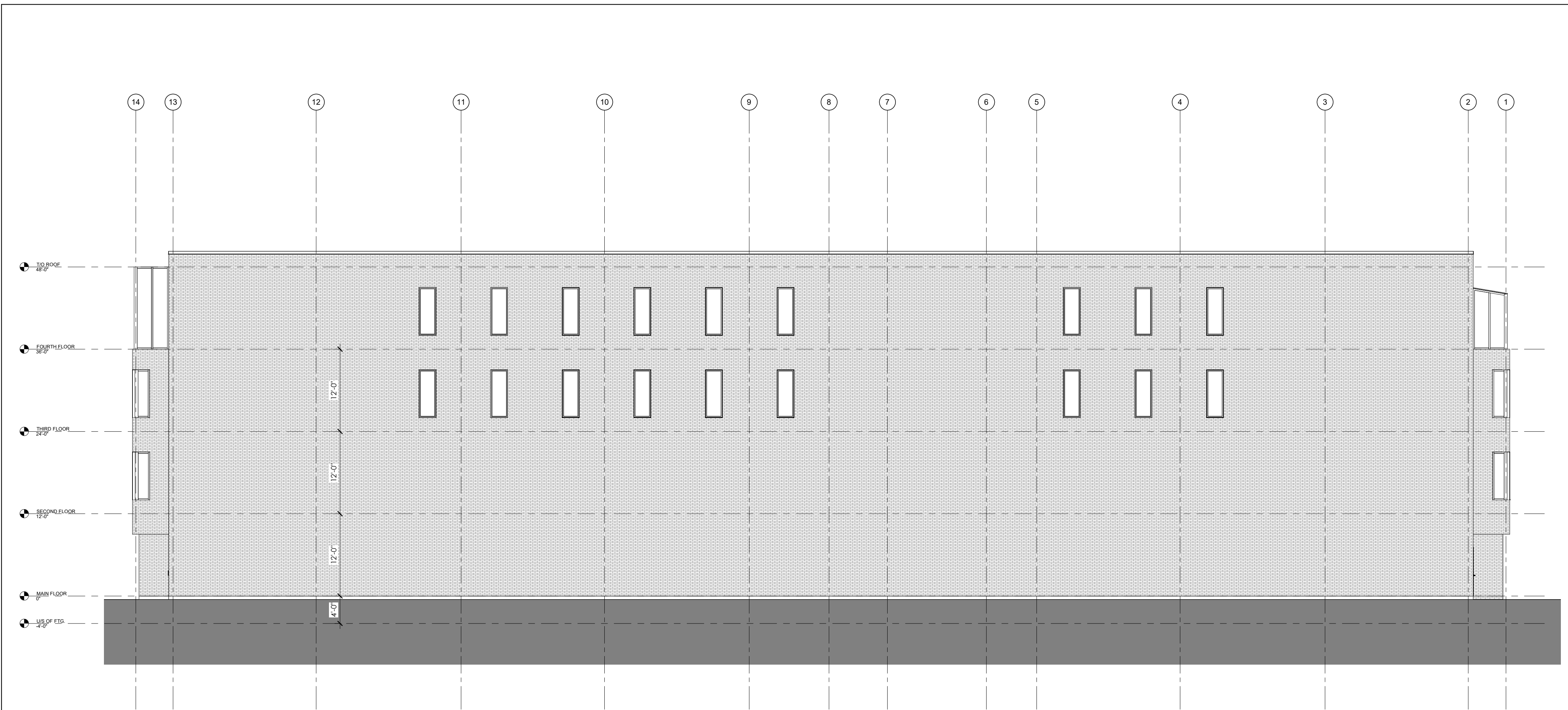
Project number 23035
Date 12/09/2024
Drawn by Author
Checked by Checker
Scale 1/8" = 1'-0"

REVISIONS		
No.	Description	Date

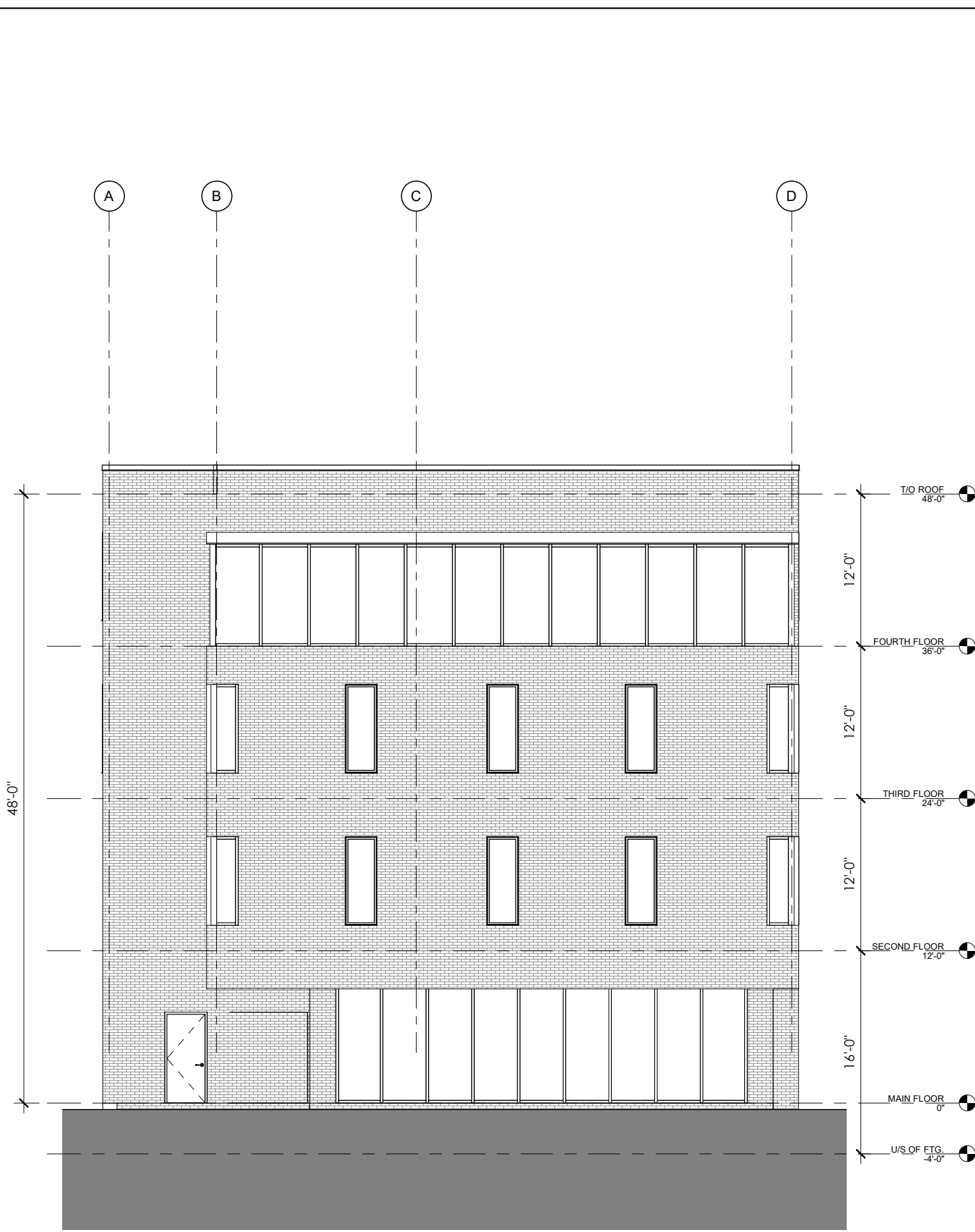
EXISTING - 3RD
& 4TH FLOOR

EX-101

49 HIGH STREET APARTMENTS



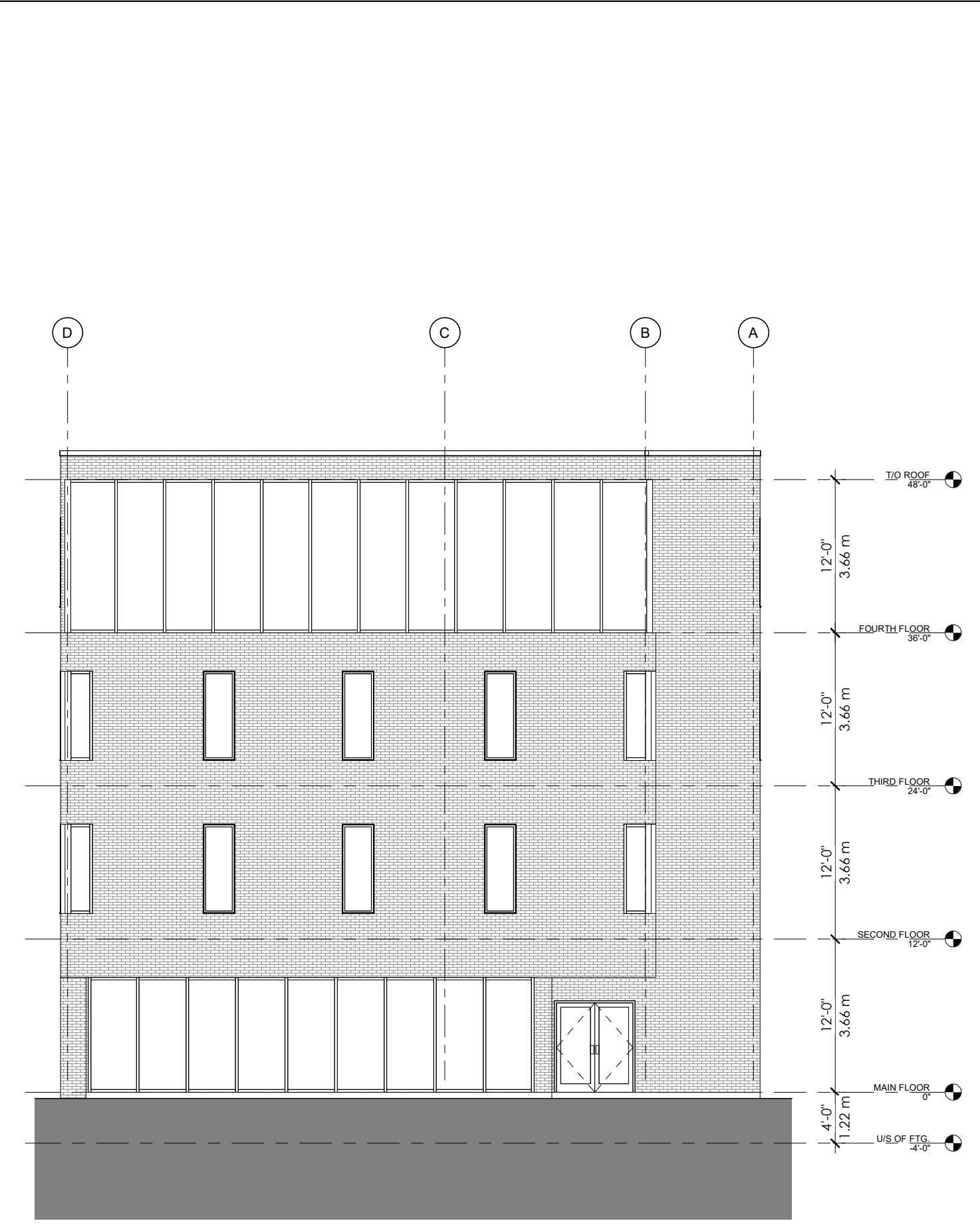
3 EXISTING-LEFT SIDE ELEVATION
EX-300 1" = 10'-0"



1 EXISTING-FRONT ELEVATION
EX-300 1" = 10'-0"



2 EXISTING-RIGHT SIDE ELEVATION
EX-300 1" = 10'-0"



4 EXISTING-REAR ELEVATION
EX-300 1" = 10'-0"

PROJECT NAME

49 HIGH STREET
APARTMENTS

PROJECT ADDRESS

49 HIGH STREET
BARRIE, ON L4N 5J4

CLIENT

WILD GRAY CAPITAL
MANAGEMENT
GROUP INC.

ARCHITECT

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Project number 23035
Date 12/09/2024
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Checked by KDI
Scale 1" = 10'-0"

REVISIONS

No.	Description	Date

EXISTING
ELEVATIONS

EX-300

49 HIGH STREET APARTMENTS

1 HR FIRE RESISTANCE RATING

2 HR FIRE RESISTANCE RATING

NON-RATED WALLS, EXTEND TO U/S OF SLAB AND SMOKE SEAL

MAX. TRAVEL DISTANCE LENGTH = 45M [147'-6"]

1 HR - DEMISING WALLS

1 HR - STORAGE ROOMS

1 HR - SERVICE & ELECTRICAL ROOMS

1 HR - FLOORS

1 HR - COLUMNS & BEAMS SUPPORTING FLOOR ASSEMBLY

0 HR - ROOF

ALL FIRE RATED PARTITIONS TO HAVE FIRE STOP CAULKING AT TOP & BOTTOM OF GYPSUM BOARD.

RESIDENTIAL UNIT COUNT

Level	Comments	Count
THIRD FLOOR	1 BED	3
THIRD FLOOR	2 BED	7
THIRD FLOOR: 10		10
FOURTH FLOOR	1 BED	3
FOURTH FLOOR	2 BED	7
FOURTH FLOOR: 10		10
		20

BUILDING AREA SUMMARY

Name	Area	Area (Metric)
GROUND FLOOR AREA	964 m²	964 m²
2ND FLOOR	1016 m²	1016 m²
3RD FLOOR	1013 m²	1013 m²
4TH FLOOR	1013 m²	1013 m²
Grand total	4005 m²	4005 m²

Name of Practice: KHALSA DESIGN INC BRAMPTON ON P: 647-468-2940		Name of Project: 49 HIGH STREET APARTMENTS Date: SEPT 13, 2024		Location: 49 HIGH STREET BARRIE, ON						
Ontario Building Code Data Matrix - Part 3					Building Code Reference 1					
3.00	BUILDING CODE VERSION: O_Reg. 332/12 Last Amendment O_Reg. 88/19									
3.01	PROJECT TYPE:	☐ NEW ☐ ADDITION ☒ RENOVATION ☒ CHANGE OF USE ☐ ADDITION AND RENOVATION DESCRIPTION: CHANGE OF USE - OFFICE TO MIXED-USE RESIDENTIAL			[A] 1.1.2.					
3.02	MAJOR OCCUPANCY CLASSIFICATION:	GROUND FLOOR GROUND FLOOR SECOND FLOOR THIRD & FOURTH	OCCUPANCY F2 A D C	USE PARKING RESTAURANT OFFICE RESIDENTIAL	3.1.2.1.(1) 3.2.2.71 3.2.2.55					
3.03	SUPERIMPOSED MAJOR OCCUPANCIES:	☐ NO ☒ YES			3.2.2.7.					
3.04	BUILDING AREA (M2)	DESCRIPTION:	EXISTING 964m²	NEW 0 m²	TOTAL 964m²					
3.05	GROSS AREA (M2)	DESCRIPTION:	EXISTING 4005 m²	NEW 0 m²	TOTAL 4005 m²					
3.06	MEZZANINE AREA (M2)	DESCRIPTION:	EXISTING N/A	NEW N/A	TOTAL N/A					
3.07	BUILDING HEIGHT	4 STOREYS ABOVE GRADE	1 STOREYS BELOW GRADE	14.6	(M) ABOVE GRADE T/O ROOF DECK					
3.08	HIGH BUILDING	☒ NO ☐ YES			3.2.6.					
3.09	NUMBER OF STREETS/ FIREFIGHTER ACCESS	2 STREET			3.2.2.10. & 3.2.5.					
3.10	BUILDING CLASSIFICATION: (SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY)	Group C, up to 4 Storeys, Sprinklered			3.2.2.45					
3.11	SPRINKLER SYSTEM	☒ REQUIRED ☐ NOT REQUIRED PROPOSED: ☐ ENTIRE BUILDING ☐ BASEMENT ☐ NONE ☐ SELECTED COMPARTMENTS ☐ SELECTED FLOOR AREAS ☐ IN LIEU OF ROOF RATING			3.2.1.5. & 3.2.2.17.					
3.12	STANDPIPE SYSTEM	☒ REQUIRED ☐ NOT REQUIRED			3.2.9.					
3.13	FIRE ALARM SYSTEM	☒ REQUIRED ☐ NOT REQUIRED PROPOSED: ☐ SINGLE STAGE ☒ TWO STAGE ☐ NONE			3.2.4.					
3.14	WATER SERVICE / SUPPLY IS ADEQUATE	☐ NO ☒ YES								
3.15	CONSTRUCTION TYPE:	RESTRICTION: ☒ COMBUSTIBLE PERMITTED ☒ NON-COMBUSTIBLE REQUIRED ACTUAL: ☐ COMBUSTIBLE ☐ NON-COMBUSTIBLE ☒ COMBINATION HEAVY TIMBER CONSTRUCTION: ☒ NO ☐ YES			3.2.2.20. - 83. & 3.2.1.4.					
3.16	IMPORTANCE CATEGORY:	☐ LOW ☐ LOW HUMAN OCCUPANCY ☐ POST-DISASTER SHELTER ☒ NORMAL ☐ HIGH ☐ MINOR STORAGE BUILDING ☐ EXPLOSIVE OR HAZARDOUS SUBSTANCES ☐ POST-DISASTER			4.1.2.1.(3) & T4.1.2.1.B					
3.17	SEISMIC HAZARD INDEX	(IE FAS A (0.2)) = TBD SEISMIC DESIGN REQUIRED FOR TABLE 4.1.1.18. ITEMS 4 TO 21: ((IE FAS A (0.2)) ≥ 0.35 OR POST-DISASTER) ☐ NO ☐ YES ☒			4.1.2.1.(3) 4.1.8.16.(2)					
3.18	OCCUPANT LOAD	FLOOR LEVEL/AREA GROUND FLOOR (COMMERCIAL) SECOND FLOOR (OFFICE) 3RD & 4TH FLOOR TOTAL	OCCUPANCY TYPE F2 D C	BASED ON By design By area (928m²) By design (200m²)	OCCUPANT LOAD (PERSONS) 9 66 68 143 persons					
3.19	BARRIER-FREE DESIGN:	☒ YES ☐ NO	EXPLANATION	EXISTING BUILDING - MAIN FLOOR OFFICE BARRIER FREE ONLY						
3.20	HAZARDOUS SUBSTANCES:	☐ YES ☒ NO	EXPLANATION							
3.21	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY FLOORS MEZZANINE ROOF	RATING 1 HOUR N/A N/A	SUPPORTING ASSEMBLY YES N/A YES	NONCOMBUSTIBLE IN LIEU OF RATINGS ☒ NO ☐ YES ☐ N/A ☐ NO ☐ YES ☒ N/A ☐ NO ☐ YES ☐ N/A					
3.22	SPATIAL SEPARATION	WALL North South East West	EBF AREA (M2) 893m² N/A N/A 257	L.D. (M) 0 m >9 m >9 m 1.2 m	L/H OR H/L 0 m 0HR 0HR 1HR	REQUIRED FIRE RATING 2HR 0HR 0HR 1HR	CONSTRUCTION TYPE REQUIRED ☐ NONCOMBUSTIBLE ☐ NONCOMBUSTIBLE ☐ NONCOMBUSTIBLE ☐ NONCOMBUSTIBLE	CLADDING TYPE REQUIRED ☒ NONCOMBUSTIBLE ☐ NONCOMBUSTIBLE ☐ NONCOMBUSTIBLE ☒ NONCOMBUSTIBLE		
3.23	PLUMBING FIXTURE REQUIREMENTS	RATIO: MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE				FLOOR LEVEL/AREA GROUND FLOOR (EXISTING PIZZA PIZZA) 2ND FLOOR (EXISTING OFFICE) 3 & 4TH FLOORS (RESIDENTIAL)	OCCUPANT LOAD 9 66 68	OBC REF. 3.7.4.7 3.7.4.7 1 PER DWELLING	FIXTURES REQUIRED 1/1 3/3 1 PER DWELLING	FIXTURES PROVIDED 1 BARRIER FREE (EXISTING) 4 UNISEX WR 1 PER DWELLING
3.24	ENERGY EFFICIENCY:	COMPLIANCE PATH: PERFORMANCE COMPLIANCE [EXISTING]								
3.24	NOTE:									

4 THIRD & FOURTH FLOOR
A-003 1/16" = 1'-0"

1 SECOND FLOOR SEPARATION PLAN
A-003 1/16" = 1'-0"

2 GROUND FLOOR FIRE SEPARATION PLAN
A-003 1/16" = 1'-0"

PROJECT NAME

49 HIGH STREET APARTMENTS

PROJECT ADDRESS

49 HIGH STREET
BARRIE, ON L4N 5J4

CLIENT

WILD GRAY CAPITAL
MANAGEMENT
GROUP INC.

ARCHITECT

KHALSA DESIGN INC.

DESIGN

KHALSA

BRAMPTON, ON

TELEPHONE: 647-468-2940

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OF ARCHITECTS
12 - 09 - 2024
AMRUTPAL SINGH BANSAL
LICENCE
9554

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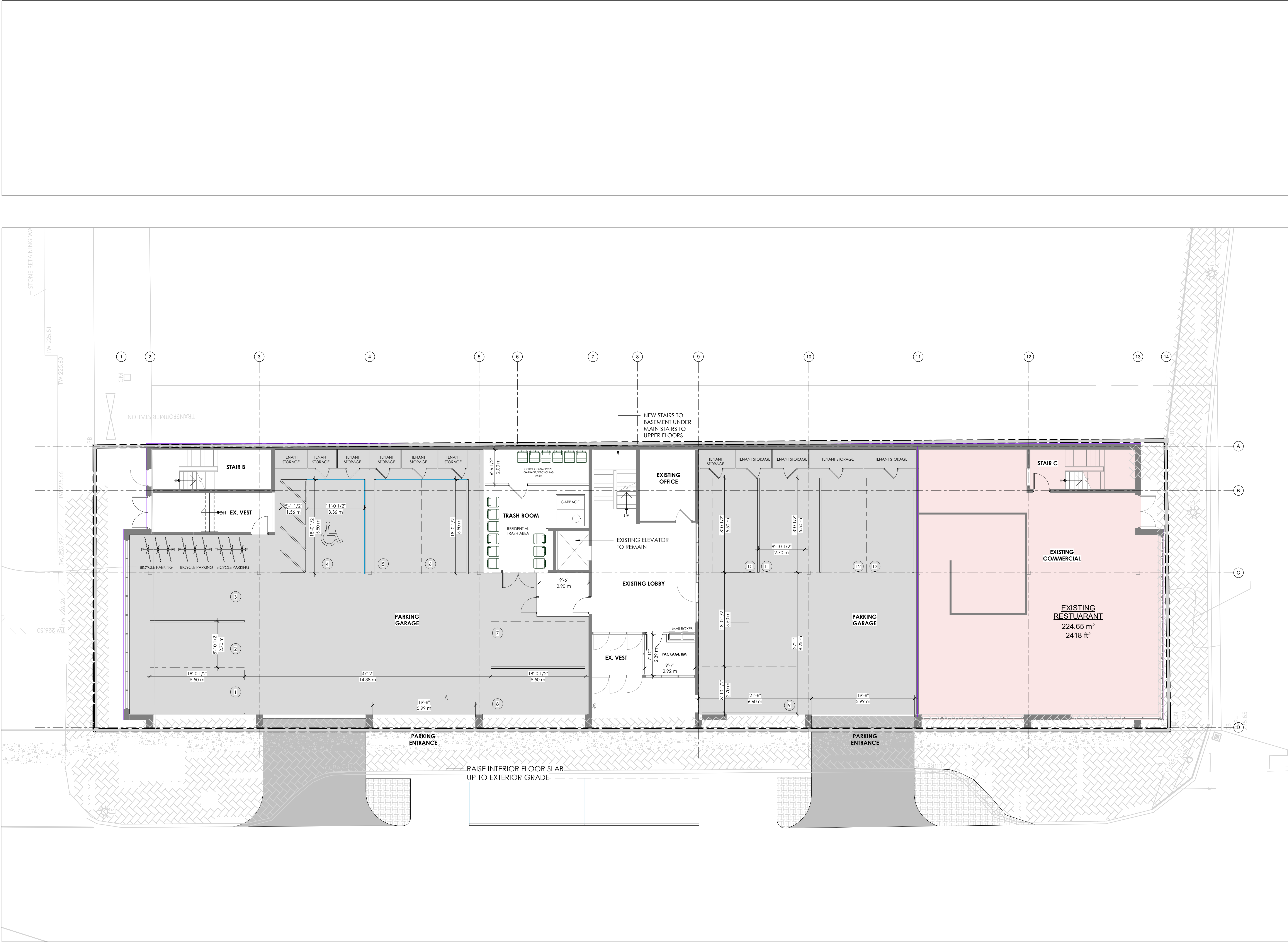
Project number	23035
Date	12/09/2024
Drawn by	ASB
Checked by	KDI
Scale	As indicated

No.	Description	Date

OBC MATRIX &
FIRE
SEPARATIONS

A-003

49 HIGH STREET APARTMENTS



PROJECT NAME
**49 HIGH STREET
APARTMENTS**

PROJECT ADDRESS
49 HIGH STREET
BARRIE, ON L4N 5J4

CLIENT
**WILD GRAY CAPITAL
MANAGEMENT
GROUP INC.**

ARCHITECT
KHALSA DESIGN INC.

DESIGN

KHALSA

BRAMPTON, ON

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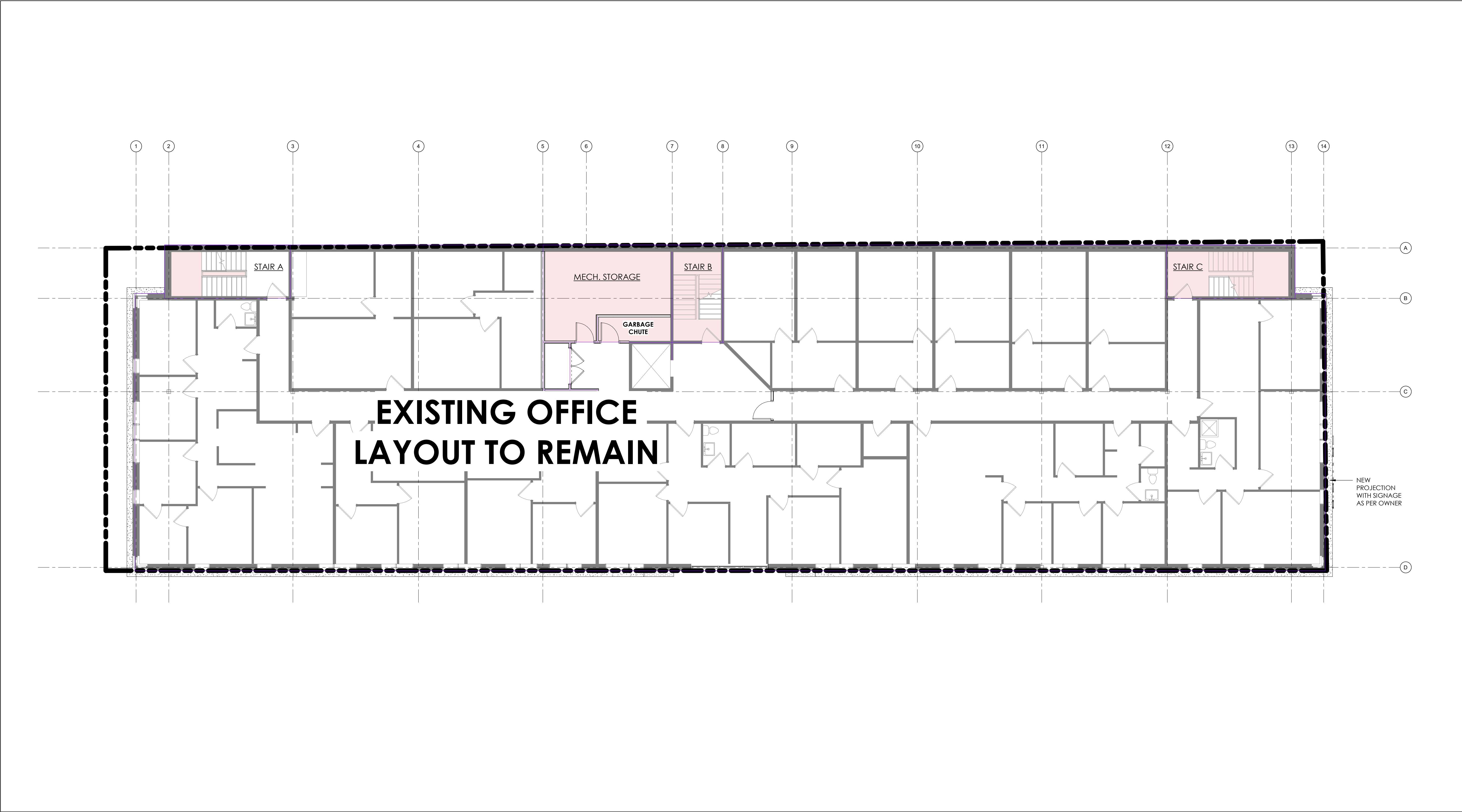
Project number	23035
Date	12/09/2024
Drawn by	ASB
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Scale	1/8" = 1'-0"

No.	Description	Date

**PROPOSED
GROUND FLOOR**

A-101

49 HIGH STREET APARTMENTS



PROJECT NAME
49 HIGH STREET APARTMENTS

PROJECT ADDRESS
49 HIGH STREET
BARRIE, ON L4N 5J4

CLIENT
WILD GRAY CAPITAL MANAGEMENT GROUP INC.

ARCHITECT
KHALSA DESIGN INC.

DESIGN

KHALSA

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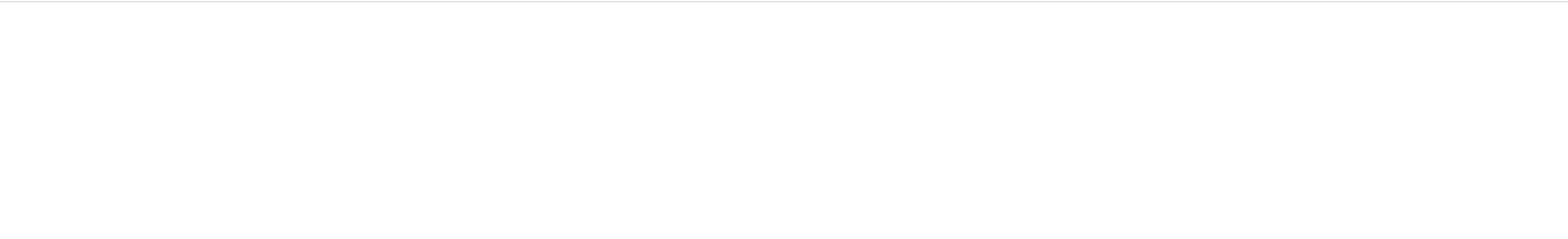
Project number	23035
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REVISIONS		
No.	Description	Date

PROPOSED
SECOND FLOOR

A-102

49 HIGH STREET APARTMENTS



PROJECT NAME

49 HIGH STREET
APARTMENTS

PROJECT ADDRESS

49 HIGH STREET BARRIE, ON L4N
5J4

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WILD GRAY CAPITAL
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ARCHITECT

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Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

PROPOSED 3RD
FLOOR PLAN

A-103

49 HIGH STREET APARTMENTS

PROJECT NAME

49 HIGH STREET
APARTMENTS

PROJECT ADDRESS

49 HIGH STREET BARRIE, ON L4N
5J4

CLIENT

WILD GRAY CAPITAL
MANAGEMENT
GROUP INC.

ARCHITECT

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REVISIONS

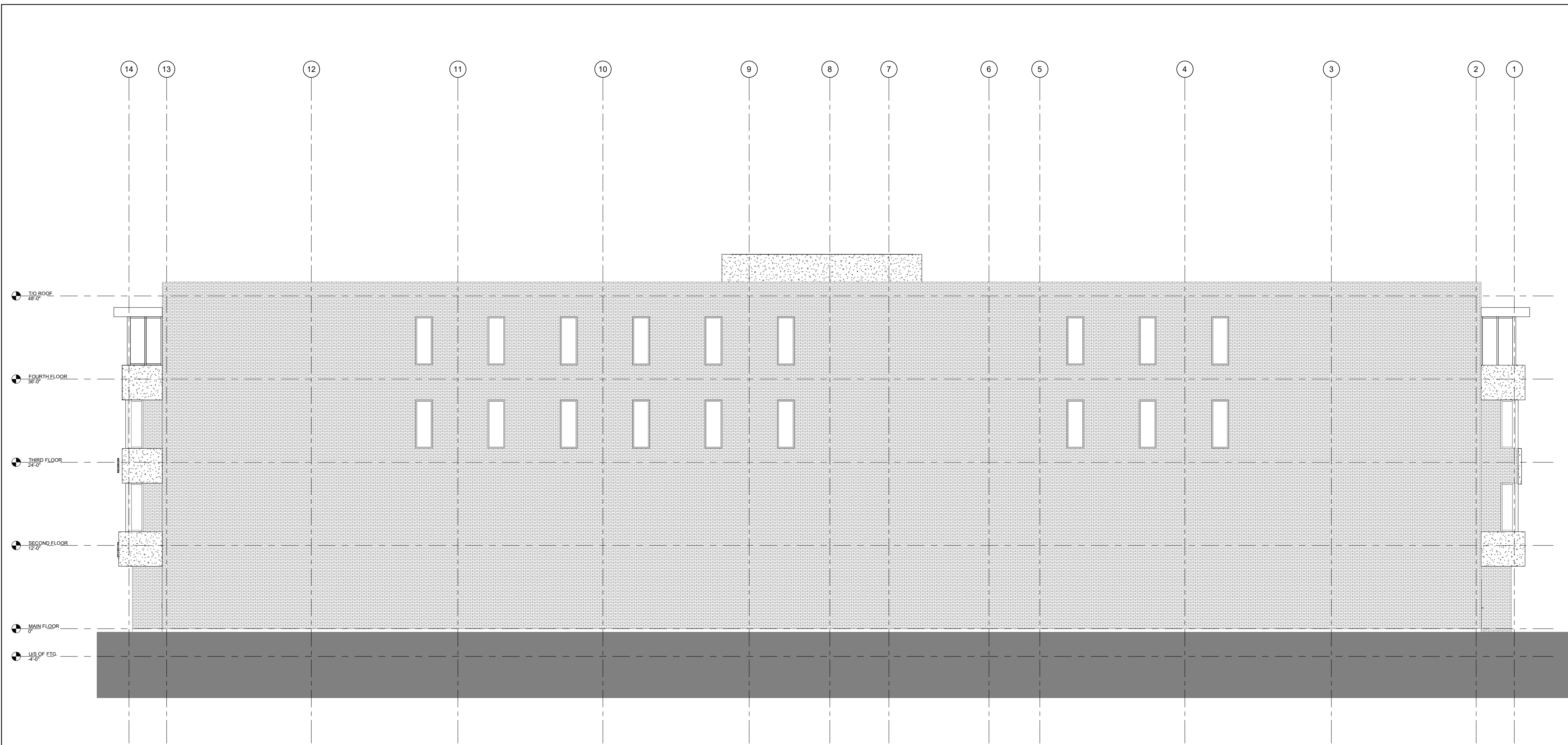
No.	Description	Date

PROPOSED 4TH
FLOOR PLAN

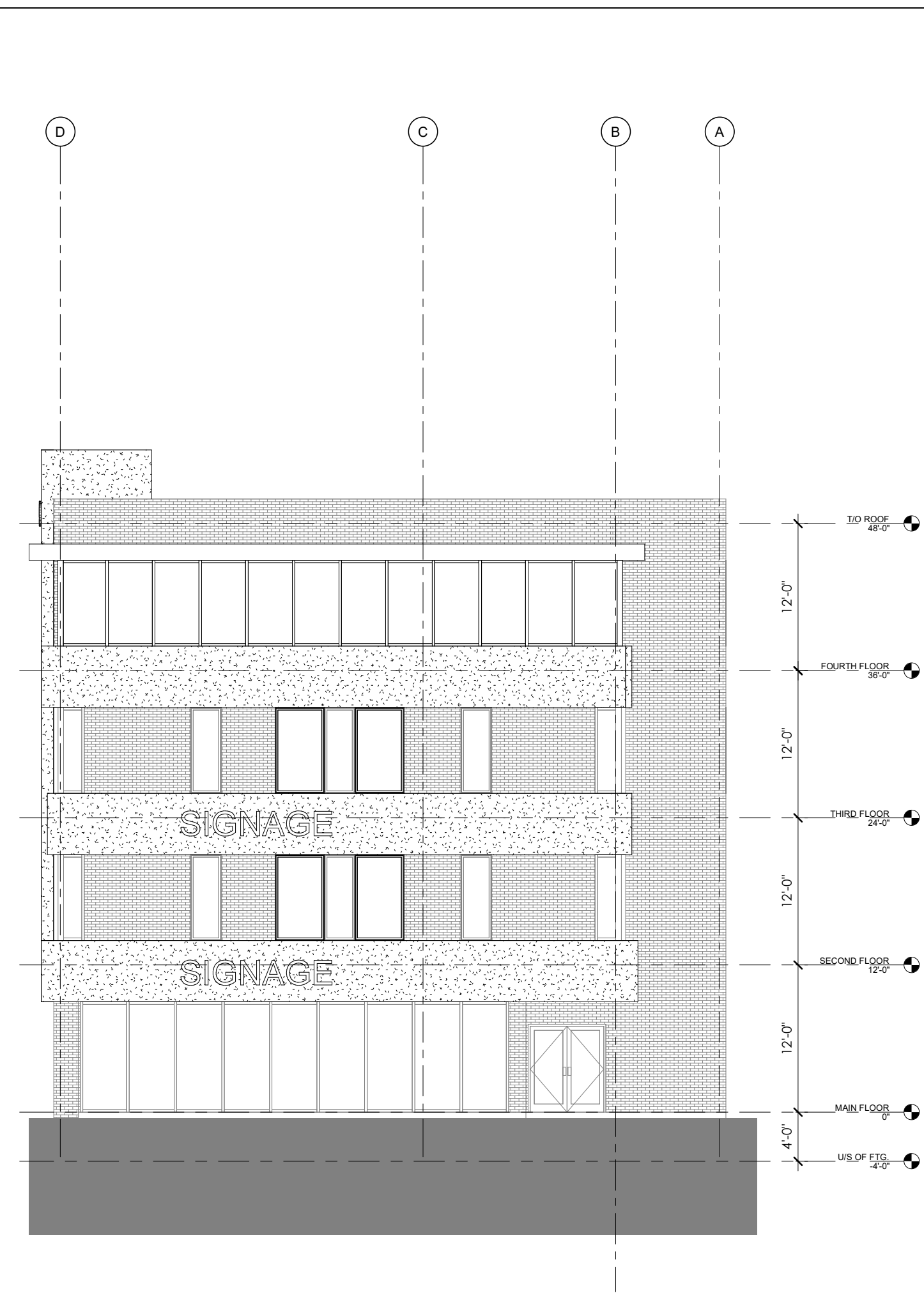
A-104

49 HIGH STREET APARTMENTS

1 FOURTH FLOOR
A-104 1/8" = 1'-0"



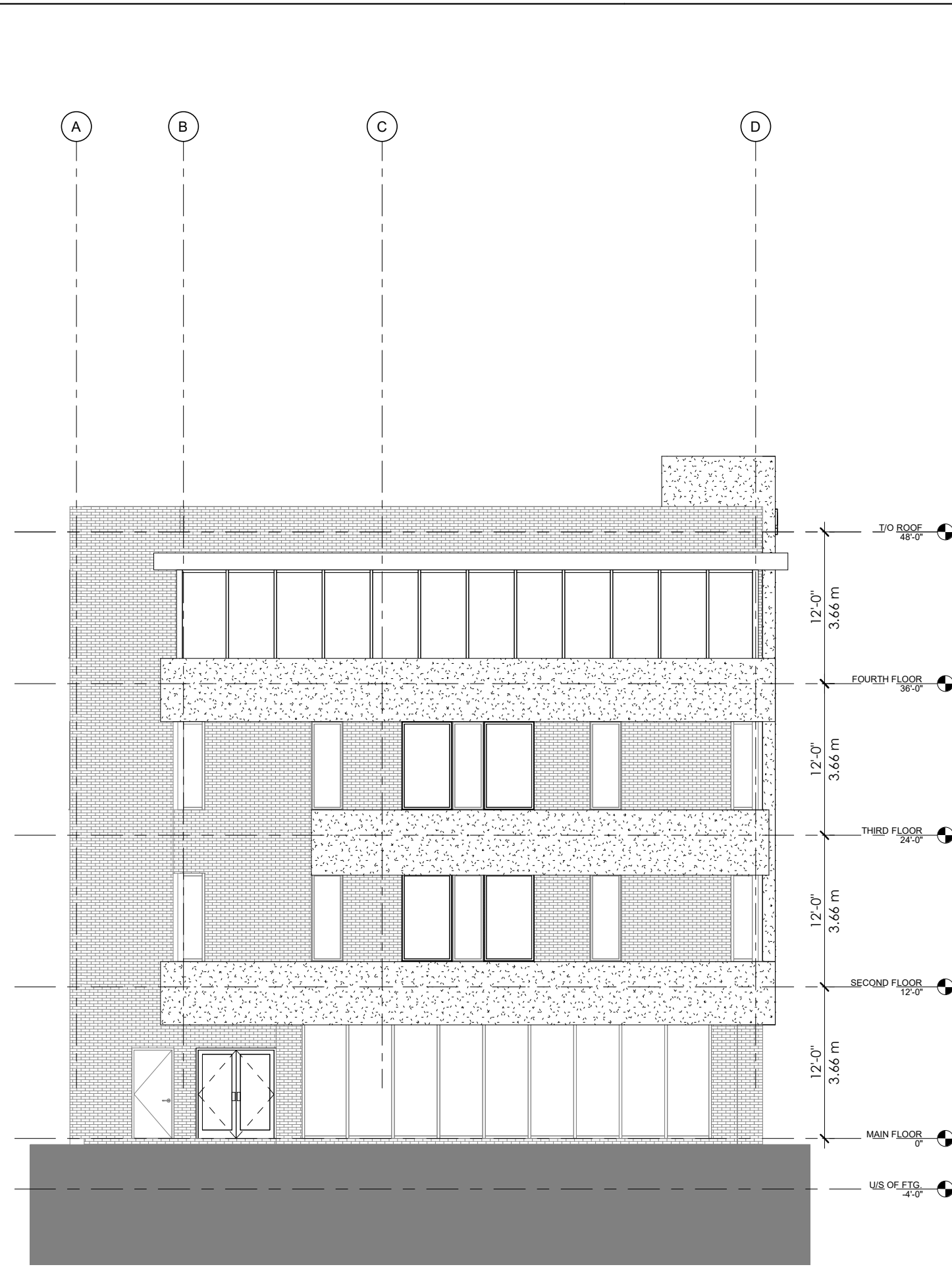
4 PROPOSED-REAR SIDE ELEVATION
A-300 1" = 10'-0"



2 PROPOSED-FRONT ELEVATION (HIGH STREET)
A-300 1" = 10'-0"



3 PROPOSED-EXTERIOR SIDE ELEVATION
A-300 1" = 10'-0"



1 PROPOSED-INTERIOR ELEVATION
A-300 1" = 10'-0"

PROJECT NAME

49 HIGH STREET
APARTMENTS

PROJECT ADDRESS

49 HIGH STREET
BARRIE, ON L4N 5J4

CLIENT

WILD GRAY CAPITAL
MANAGEMENT
GROUP INC.

ARCHITECT

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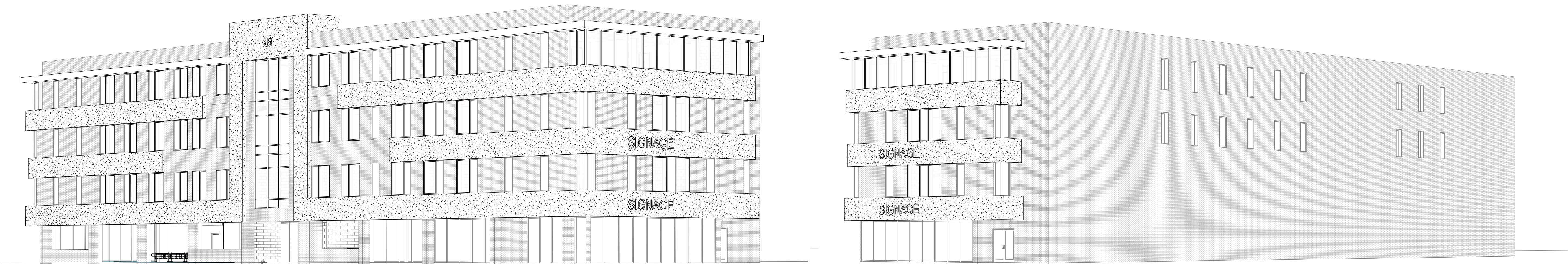
REVISIONS

No.	Description	Date

PROPOSED
ELEVATIONS

A-300

49 HIGH STREET APARTMENTS



PROJECT NAME

49 HIGH STREET
APARTMENTS

PROJECT ADDRESS

49 HIGH STREET
BARRIE, ON L4N 5J4

CLIENT

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MANAGEMENT
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ARCHITECT

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Date 12/09/2024
Drawn by ASB
Checked by KDI
Scale

REVISIONS

No.	Description	Date

PROPOSED
PERSPECTIVES

A-301

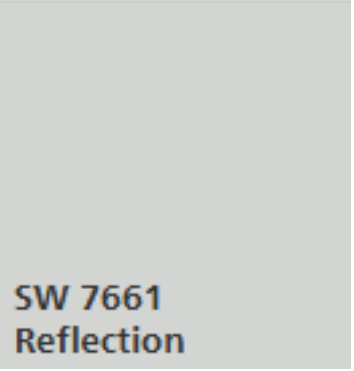
49 HIGH STREET APARTMENTS



- 1) NEW PVC CLAD PROJECTION BY NEWTECHWOOD OR SIMILAR
COLOR: PERUVIAN TEAK



- 2) NEW STUCCO PROJECTION
COLOR: SW 7661 REFLECTION



- 3) NEW STUCCO PROJECTION
COLOR: SW 7664 STEELY GRAY



- 4) EXISTING BRICK PAINTED BLACK



- 5) NEW ALUMINUM BLACK FRAMED WINDOWS

PROJECT NAME
49 HIGH STREET APARTMENTS

PROJECT ADDRESS
49 HIGH STREET BARRIE, ON L4N 5J4

CLIENT
WILD GRAY CAPITAL MANAGEMENT GROUP INC.

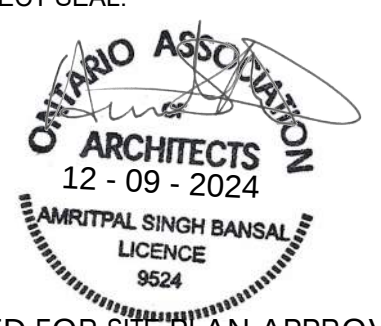
ARCHITECT
KHALSA DESIGN INC.



KHALSA

BRAMPTON, ON
TELEPHONE: 647-468-2940
CONSULTANTS:

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PROSECUTION UNDER LAW

ARCHITECT SEAL:

ISSUED FOR SITE PLAN APPROVAL

Project number	23035
Date	12/09/2024
Drawn by	ASB
Checked by	KDI
Scale	

REVISIONS		
No.	Description	Date

RENDERINGS /
MATERIAL
BOARD

A-302

49 HIGH STREET APARTMENTS