

95 COOK ST.

PROPOSED RESIDENTIAL DEVELOPMENT
95 Cook St., Barrie, ON



REZONING August 12th, 2024

Building separation limiting distance								
Building	Face	Exposing building face of the biggest TH in the block			Available limiting distance (m)	Permitted unprotected openings		Provided unprotected openings (m2)
		length (m)	height (m)	area (m2)		%	(m2)	
Block 1	N	5.8	8.95	51.91	7.70	34.00%	17.65	28.32%
	W	irregular	8.95	90.60	1.78	8.00%	7.25	5.8125
	S	5.8	8.95	51.91	10.45	84.00%	43.60	19.43%
	E	irregular	8.95	90.60	12.00	100.00%	90.60	2.325
Block 2	N	5.8	8.95	51.91	10.45	84.00%	43.60	19.43%
	W	13.4	8.95	119.93	1.80	7.10%	9.11	8.5125
	S	5.8	8.95	51.91	6.50	34.00%	17.65	26.18%
	E	13.4	8.95	119.93	1.80	7.00%	8.40	0.00%
Block 3	N	5.8	8.95	51.91	10.60	84.00%	43.60	19.43%
	W	13.4	8.95	119.93	1.80	7.00%	8.40	0.00%
	S	5.8	8.95	51.91	6.39	34.00%	17.65	26.18%
	E	10.4	8.95	93.08	9.70	56.00%	52.12	2.325
Block 4	N	5.8	8.95	51.91	8.75	56.00%	29.07	19.43%
	W	11.4	8.95	102.03	3.00	10.00%	10.20	7.98%
	S	5.8	8.95	51.91	6.20	34.00%	17.65	26.18%
	E	11.4	8.95	102.03	5.00	12.00%	12.24	6.84%
Block 5	N	11.4	8.95	102.03	1.80	7.00%	7.14	0.00%
	W	5.8	8.95	51.91	9.51	56.00%	29.07	19.43%
	S	11.4	8.95	102.03	8.75	28.00%	28.57	7.98%
	E	5.8	8.95	51.91	6.60	34.00%	17.65	26.18%
Block 6	N	11.4	8.95	102.03	4.50	12.00%	12.24	6.84%
	W	5.8	8.95	51.91	11.24	84.00%	43.60	19.43%
	S	11.4	8.95	102.03	1.80	7.00%	7.14	0.00%
	E	5.8	8.95	51.91	6.29	34.00%	17.65	26.18%

Project Name: COOK ST. TOWNHOUSES BLOCK 1 - 9 UNITS Project Location: 95 Cook St. Barrie, ON Date: August 2, 2024					Ontario's Building Code Data Matrix Part 9 Housing and Small Buildings					Building Code Reference	
9.00	Building Code Version:	O.Reg. 332/12			Last Amendment : 88/19						
9.01	Project Type:	☒ New ☐ Addition ☐ Change of Use ☐ Addition and Renovation Description: BLOCK 1 - TOWNHOUSES								[A]1.1.2.	
9.02	Major Occupancy Classification:	Occupancy: GROUP C - RESIDENTIAL								9.10.2.	
9.03	Superimposed Major Occupancies:	☒ No ☐ Yes ☐ N/A Description:								9.10.2.3	
9.04	Building Area (m ²)			Existing	New		Total			[A]1.4.1.2.	
				0	607.8		607.8				
9.05	Gross Area (m ²)			Existing	New		Total			[A]1.4.1.2.	
				0	1727.3		1727.3				
9.06	Mezzanine Area (m ²)			Existing	New		Total			9.10.4.1.	
				0	0		0				
9.07	Building Height	—3— Storeys Above Grade —≤10m— (m) Above Grade —0— Storeys Below Grade									[A]1.4.1.2. & 9.10.4.
9.08	Number of Streets Firefighter access	2 STREETS - FIRE ROUTE ON SITE & COOK ST.									9.10.20.
9.09	Sprinkler System	☐ Required ☒ Not Required Proposed: ☐ entire building ☐ selected compartments ☐ selected floor areas ☐ basement ☐ in lieu of roof rating ☐ none									9.10.8.2.-4.
9.10	Fire Alarm System	☐ Required ☒ Not Required Proposed: ☐ Single Stage ☐ not applicable ☐ Two Stage									9.10.18.
9.11	Water Service / Supply is Adequate	☒ YES ☐ NO									
9.12	Construction Type	Restrictions: ☒ Combustible permitted ☐ Non-combustible required Actual: ☒ Combustible ☐ Non-combustible ☐ Combination Heavy Timber Construction: ☐ YES ☒ NO									9.10.6.
9.13	Post Disaster Building	☐ YES ☒ NO									[A] 1.1.2.2 (2)
9.14	Occupant Load	Floor Level / Area		Occupancy Type		Based On		Occupancy Load (Persons)		3.1.17.1	
		GROUND FLOOR		C		2 Persons / BED		0			
		2ND FLOOR		C		2 Persons / BED		0			
		3RD FLOOR		C		2 Persons / BED 36 (6 per TH)		0			
						TOTAL		36 Persons			
9.15	Barrier-free Design:	☐ YES ☒ NO		Explanation:						9.5.2.	
9.16	Hazardous Substances:	☐ YES ☒ NO		Explanation:						9.10.1.3.	
9.17	Required Fire Resistance Ratings	Horizontal Assembly		Rating		Supporting Assembly		Non-combustible in lieu of rating?		9.10.8.1.	
		Floors over basement		.N/A		.N/A		☐ YES ☐ NO ☒ N/A			
		Floors		.3/4 HR		SB-3		☐ YES ☒ NO ☐ N/A			
		Mezzanine		.N/A		.N/A		☐ YES ☐ NO ☒ N/A			
		Roof		.N/A		.N/A		☐ YES ☐ NO ☒ N/A			
9.18	Spatial Separation	Wall	Area of EBF (m ²)	L.D. (m)	Required FRR (h)	Construction Type Required	Cladding Type Required			9.10.14.4, 9.10.14.5	
		North	51.91 m ²	7.7 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible				
		South	51.91 m ²	10.45 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible				
		East	90.60 m ²	12 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible				
		West	90.60 m ²	1.78 m	1 hr	☒ Non-combustible ☐ Non-combustible	☒ Non-combustible ☐ Non-combustible				

1 All references are to Division B of the OBC unless provided by [A] for Division A and [C] for Division C.

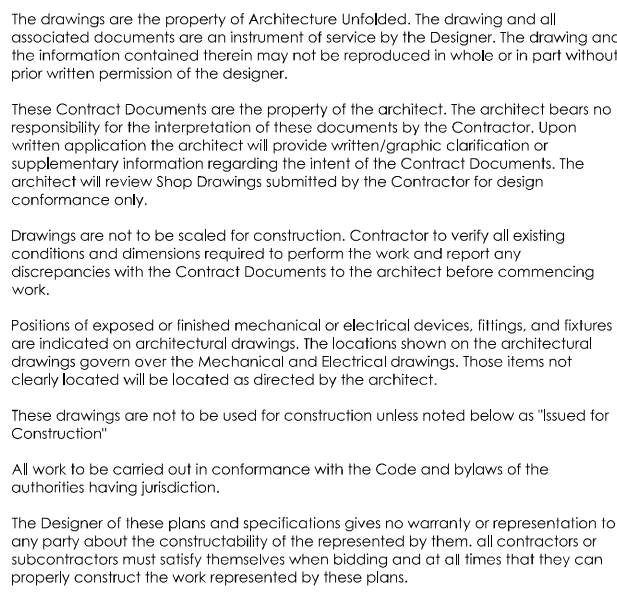
Project Name: COOK ST. TOWNHOUSES BLOCK 2 - 4 UNITS Project Location: 95 Cook St. Barrie, ON Date: August 2, 2024						Ontario's Building Code Data Matrix Part 9 Housing and Small Buildings				Building Code Reference
9.00	Building Code Version:	O.Reg. 332/12	Last Amendment : 88/19							
9.01	Project Type:	☒ New ☐ Change of Use ☐ Addition ☐ Addition and Renovation Description: BLOCK 2 - TOWNHOUSES				[A]1.1.2.				
9.02	Major Occupancy Classification:	Occupancy: GROUP C - RESIDENTIAL				9.10.2.				
9.03	Superimposed Major Occupancies:	☒ No ☐ Yes ☐ N/A Description:				9.10.2.3.				
9.04	Building Area (m²)		Existing	New	Total	[A]1.4.1.2.				
			0	356.6	356.6					
9.05	Gross Area (m²)		Existing	New	Total	[A]1.4.1.2.				
			0	1057	1057					
9.06	Mezzanine Area (m²)		Existing	New	Total	9.10.4.1.				
			0	0	0					
9.07	Building Height	— 3 — Storeys Above Grade — ≤10m. (m) Above Grade — 0 — Storeys Below Grade				[A]1.4.1.2. & 9.10.4.				
9.08	Number of Streets Firefighter access	2 STREETS - FIRE ROUTE ON SITE & COOK ST.				9.10.20.				
9.09	Sprinkler System	☐ Required ☒ Not Required Proposed: ☐ entire building ☐ selected floor areas ☐ in lieu of roof rating ☐ selected compartments basement none				9.10.8.2.-4.				
9.10	Fire Alarm System	☐ Required ☒ Not Required Proposed: ☐ Single Stage ☐ not applicable ☐ Two Stage				9.10.18.				
9.11	Water Service / Supply is Adequate	☒ YES ☐ NO								
9.12	Construction Type	Restrictions: ☒ Combustible permitted ☐ Combustible ☐ Non-combustible ☐ Combination ☒ Heavy Timber Construction ☐ YES ☒ NO				9.10.6.				
9.13	Post Disaster Building	☐ YES ☒ NO				[A] 1.1.2.2 (2)				
9.14	Occupant Load	Floor Level / Area	Occupancy Type	Based On	Occupancy Load (Persons)	3.1.17.1				
		GROUND FLOOR	C	2 Persons / BED	0					
		2ND FLOOR	C	2 Persons / BED	0					
		3RD FLOOR	C	2 Persons / BED 24 (6 per TH)	0					
		TOTAL		24 Persons						
9.15	Barrier-free Design:	☐ YES ☒ NO Explanation:				9.5.2.				
9.16	Hazardous Substances:	☐ YES ☒ NO Explanation:				9.10.1.3.				
9.17	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly	Non-combustible in lieu of rating?	9.10.8.1.				
		Floors over basement	.N/A	.N/A	☐ YES ☒ NO ☐ N/A					
		Floors	.3/4 HR	SB-3	☐ YES ☒ NO ☐ N/A					
		Mezzanine	.N/A	.N/A	☐ YES ☐ NO ☒ N/A					
		Roof	.N/A	.N/A	☐ YES ☐ NO ☒ N/A					
9.18	Spatial Separation	Wall	Area of EBF (m²)	L.D. (m)	Required FRR (h)	Construction Type Required	Cladding Type Required	9.10.14.4. & 9.10.14.5		
		North	51.91 m²	10.45 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible			
		South	51.91 m²	6.5 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible			
		East	119.93 m²	1.8 m	1 hr	☒ Non-combustible ☐ Non-combustible	☒ Non-combustible ☐ Non-combustible			
		West	119.93 m²	1.8 m	1 hr	☒ Non-combustible ☐ Non-combustible	☒ Non-combustible ☐ Non-combustible			

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Project Name: COOK ST. TOWNHOUSES BLOCK 3 - 5 UNITS Project Location: 95 Cook St. Barrie, ON Date: August 2, 2024						Ontario's Building Code Data Matrix Part 9 Housing and Small Buildings			Building Code Reference
9.00	Building Code Version:	O.Reg. 332/12	Last Amendment: 88/19						
9.01	Project Type:	☒ New ☐ Change of Use	☐ Addition ☐ Addition and Renovation	Description: BLOCK 3 - TOWNHOUSES			[A]1.1.2.		
9.02	Major Occupancy Classification:	Occupancy: GROUP C - RESIDENTIAL					9.10.2.		
9.03	Superimposed Major Occupancies:	☒ No ☐ Yes ☐ N/A	Description:				9.10.2.3.		
9.04	Building Area (m²)		Existing 0	New 427.6	Total 427.6	[A]1.4.1.2.			
9.05	Gross Area (m²)		Existing 0	New 1264	Total 1264	[A]1.4.1.2.			
9.06	Mezzanine Area (m²)		Existing 0	New 0	Total 0	9.10.4.1.			
9.07	Building Height	— 3 — Storeys Above Grade — <10m. (m) Above Grade — 0 — Storeys Below Grade					[A]1.4.1.2. & 9.10.4.		
9.08	Number of Streets Firefighter access	2 STREETS - FIRE ROUTE ON SITE & COOK ST.							9.10.20.
9.09	Sprinkler System	☐ Required	☒ Not Required	☐ entire building ☐ selected floor areas ☐ in lieu of roof rating	☐ selected compartments ☐ basement ☐ none	9.10.8.2.-4.			
9.10	Fire Alarm System	☐ Required	☒ Not Required	☐ Single Stage	☐ not applicable	☐ Two Stage	9.10.18.		
9.11	Water Service / Supply is Adequate	☒ YES ☐ NO							
9.12	Construction Type	Restrictions: ☒ Combustible permitted Actual: ☒ Combustible ☐ Non-combustible Heavy Timber Construction: ☐ YES ☒ NO	☐ Non-combustible required ☐ Combination				9.10.6.		
9.13	Post Disaster Building	☐ YES ☒ NO	[A] 1.1.2.2 (2)						
9.14	Occupant Load	Floor Level / Area	Occupancy Type	Based On	Occupancy Load (Persons)	3.1.17.1			
		GROUND FLOOR	C	2 Persons / BED	0				
		2ND FLOOR	C	2 Persons / BED	0				
		3RD FLOOR	C	2 Persons / BED 30 (6 per TH)	0				
		TOTAL		30 Persons					
9.15	Barrier-free Design:	☐ YES ☒ NO	Explanation:	9.5.2.					
9.16	Hazardous Substances:	☐ YES ☒ NO	Explanation:	9.10.1.3.					
9.17	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly	Non-combustible in lieu of rating?	9.10.8.1.			
		Floors over basement	.N/A	.N/A	☐ YES ☐ NO ☒ N/A				
		Floors	.3/4 HR	SB-3	☐ YES ☒ NO ☐ N/A				
		Mezzanine	.N/A	.N/A	☐ YES ☐ NO ☒ N/A				
		Roof	.N/A	.N/A	☐ YES ☐ NO ☒ N/A				
9.18	Spatial Separation	Wall	Area of EBF (m²)	L.D. (m)	Required FRR (h)	Construction Type Required	Cladding Type Required	9.10.14. 9.10.15.	
		North	51.91 m²	10.60 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible		
		South	51.91 m²	6.39 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible		
		East	93.08 m²	9.70 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Non-combustible ☐ Non-combustible		
		West	119.93 m²	1.8 m	1 hr	☒ Non-combustible ☐ Non-combustible	☒ Non-combustible ☐ Non-combustible		

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Project Name: COOK ST. TOWNHOUSES BLOCK 4 - 6 UNITS Project Location: 95 Cook St. Barrie, ON Date: August 2, 2024										Ontario's Building Code Data Matrix Part 9 Housing and Small Buildings		Building Code Reference
9.00	Building Code Version:		O.Reg. 332/12 Last Amendment : 88/19									
9.01	Project Type:		☒ New ☐ Addition ☐ Change of Use ☐ Addition and Renovation Description: BLOCK 4 - TOWNHOUSES							[A]1.1.2.		
9.02	Major Occupancy Classification:		Occupancy: GROUP C - RESIDENTIAL							9.10.2.		
9.03	Superimposed Major Occupancies:		☒ No ☐ Yes ☐ N/A Description:							9.10.2.3.		
9.04	Building Area (m ²)				Existing	New		Total		[A]1.4.1.2.		
					0	460		460				
9.05	Gross Area (m ²)				Existing	New		Total		[A]1.4.1.2.		
					0	1358.4		1358.4				
9.06	Mezzanine Area (m ²)				Existing	New		Total		9.10.4.1.		
					0	0		0				
9.07	Building Height		—3— Storeys Above Grade —≤10m— (m) Above Grade —0— Storeys Below Grade								[A]1.4.1.2. & 9.10.4.	
9.08	Number of Streets Firefighter access		2 STREETS - FIRE ROUTE ON SITE & COOK ST.								9.10.20.	
9.09	Sprinkler System		☐ Required ☒ Not Required Proposed: ☐ entire building ☐ selected compartments ☐ selected floor areas ☐ basement ☐ in lieu of roof rating ☐ none							9.10.8.2.-4.		
9.10	Fire Alarm System		☐ Required ☒ Not Required Proposed: ☐ Single Stage ☐ not applicable ☐ Two Stage							9.10.18.		
9.11	Water Service / Supply is Adequate		☒ YES ☐ NO									
9.12	Construction Type		Restrictions: ☒ Combustible permitted ☐ Non-combustible required Actual: ☒ Combustible ☐ Non-combustible ☐ Combination Heavy Timber Construction: ☐ YES ☒ NO								9.10.6.	
9.13	Post Disaster Building		☐ YES ☒ NO							[A]1.1.2.2 (2)		
9.14	Occupant Load		Floor Level / Area		Occupancy Type	Based On		Occupancy Load (Persons)		3.1.17.1		
			GROUND FLOOR		C	2 Persons / BED		0				
			2ND FLOOR		C	2 Persons / BED		0				
			3RD FLOOR		C	2 Persons / BED 36 (6 per TH)		0				
						TOTAL		36 Persons				
9.15	Barrier-free Design:		☐ YES Explanation: ☒ NO							9.5.2.		
9.16	Hazardous Substances:		☐ YES Explanation: ☒ NO							9.10.1.3.		
9.17	Required Fire Resistance Ratings		Horizontal Assembly		Rating	Supporting Assembly		Non-combustible in lieu of rating?		9.10.8.1.		
			Floors over basement		N/A	N/A		☐ YES ☒ NO ☐ N/A				
			Floors		3/4 HR	SB-3		☐ YES ☒ NO ☐ N/A				
			Mezzanine		N/A	N/A		☐ YES ☒ NO ☐ N/A				
			Roof		N/A	N/A		☐ YES ☒ NO ☐ N/A				
9.18	Spatial Separation		Wall	Area of EBE (m ²)	L.D. (m)	Required FSR (H)	Construction Type Required	Cladding Type Required		9.10.14.4, 9.10.14.5		
			North	51.91 m ²	8.75 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Required ☐ Non-combustible				
			South	51.91 m ²	6.2 m	3/4 hr	☐ Non-combustible ☐ Non-combustible	☐ Required ☐ Non-combustible				
			East	102.03 m ²	5 m	1 hr	☐ Non-combustible ☐ Non-combustible	☐ Required ☐ Non-combustible				
			West	102.03 m ²	3 m	1 hr	☒ Non-combustible ☒ Non-combustible	☒ Required ☒ Non-combustible				



2 context plans
A101 nts



The highest waterable elevation as per the hydrogeological report dated February 18, 2022 by Cambium is 263.33 masl. The lowest ground existing elevation on site is 266.80masl. Foundations have a depth of 1.2m. Therefore the distance between the aquifer and the building foundations is at least 2.2m.

- No foundation support to be constructed within the municipal supply aquifer.

12-08-24
17-11-23
d-m-yr

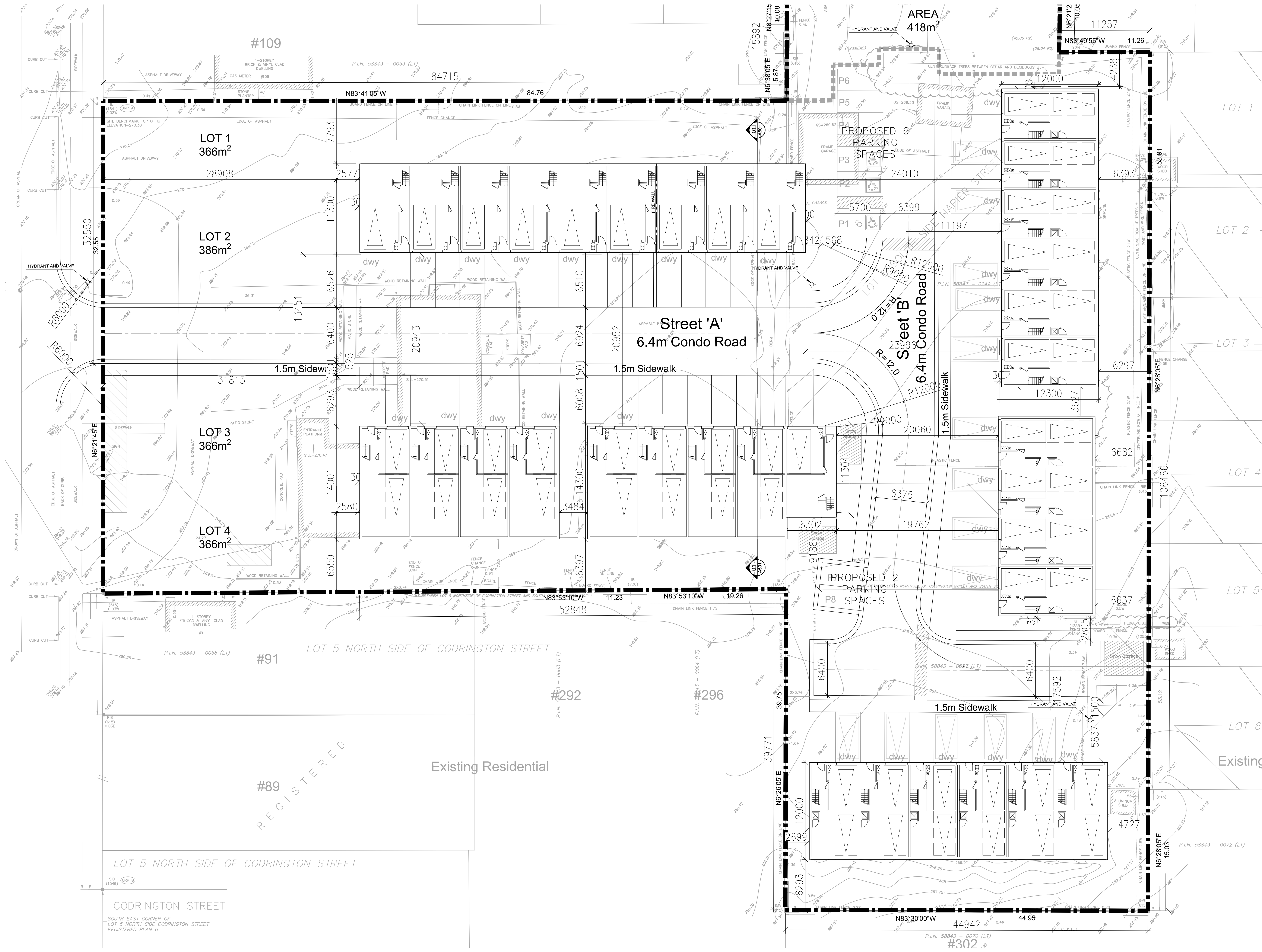
mark zwicker
melina andretta
ernesto sosa



site and context
plan

date:
scale:
project:
drawn by:





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The Designer of these plans and specifications gives no warranty or representation to any party about the constructability of the represented by them. All construction or subcontractor must satisfy themselves when bidding and at all times that they can properly construct the work represented by these plans.

notes:

2 issued for rezoning
1 issued for rezoning
revisions:

architectural team :
mark zwicker
melina andretto
ernesto sosa

planning:
structural:
electrical:
mechanical:
landscape:
site services:
owner:

project:
95 Cook St
barrie, ontario

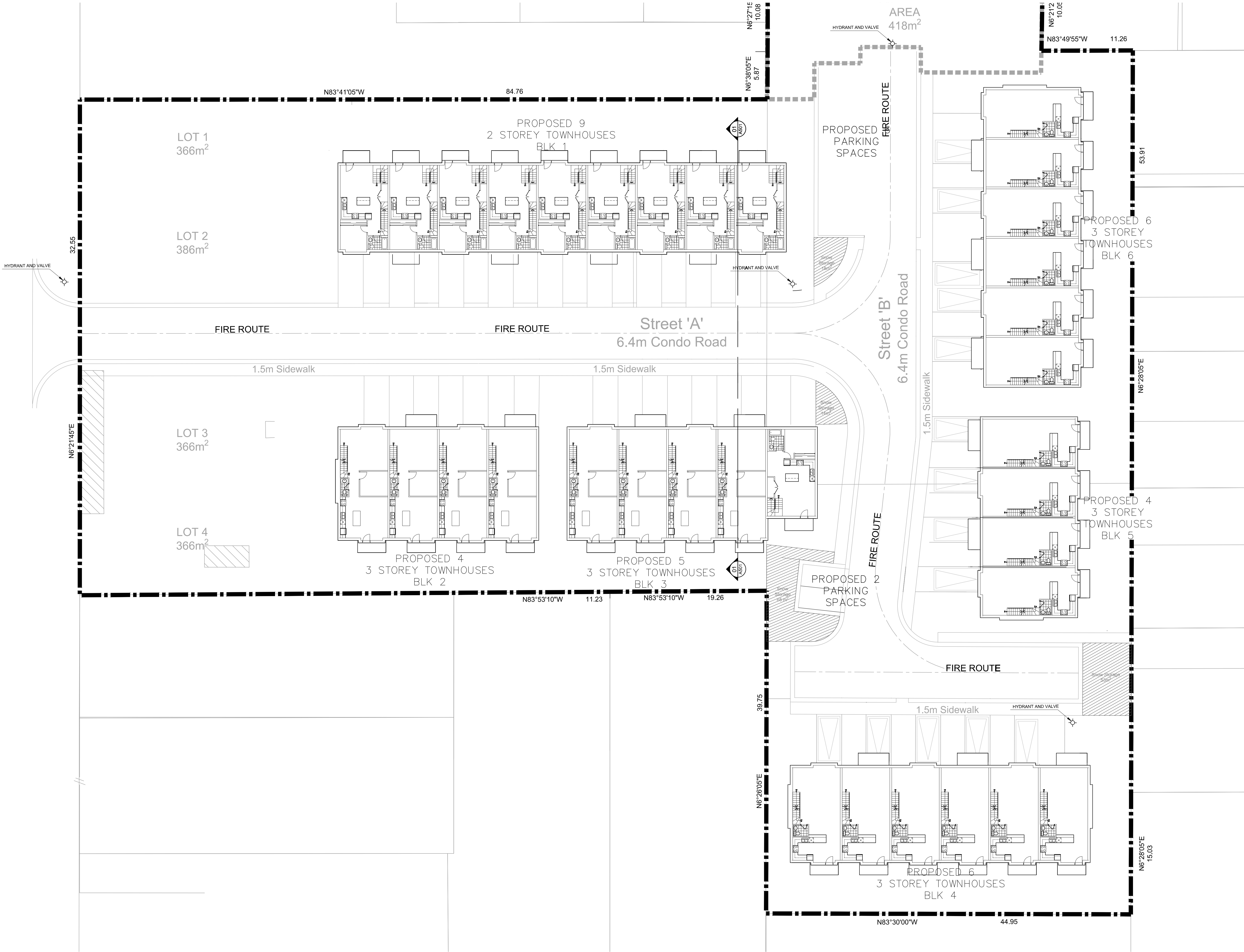
aug. 12, 2024
1: 200
22-39
ma

date:
scale:
project:
drawn by:

drawing number:
A301

268 duferin street, toronto, on. M6K 1Z8
tel: (416) 601.5416 info@unfolded.ca

architectureunfolded



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notes:

2 issued for rezoning
1 issued for rezoning
revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa

planning:

structural:

electrical:

mechanical:

landscape:

site services:

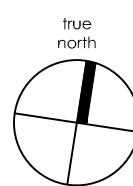
owner:

project:
95 Cook St
barrie, ontario

second floor plan

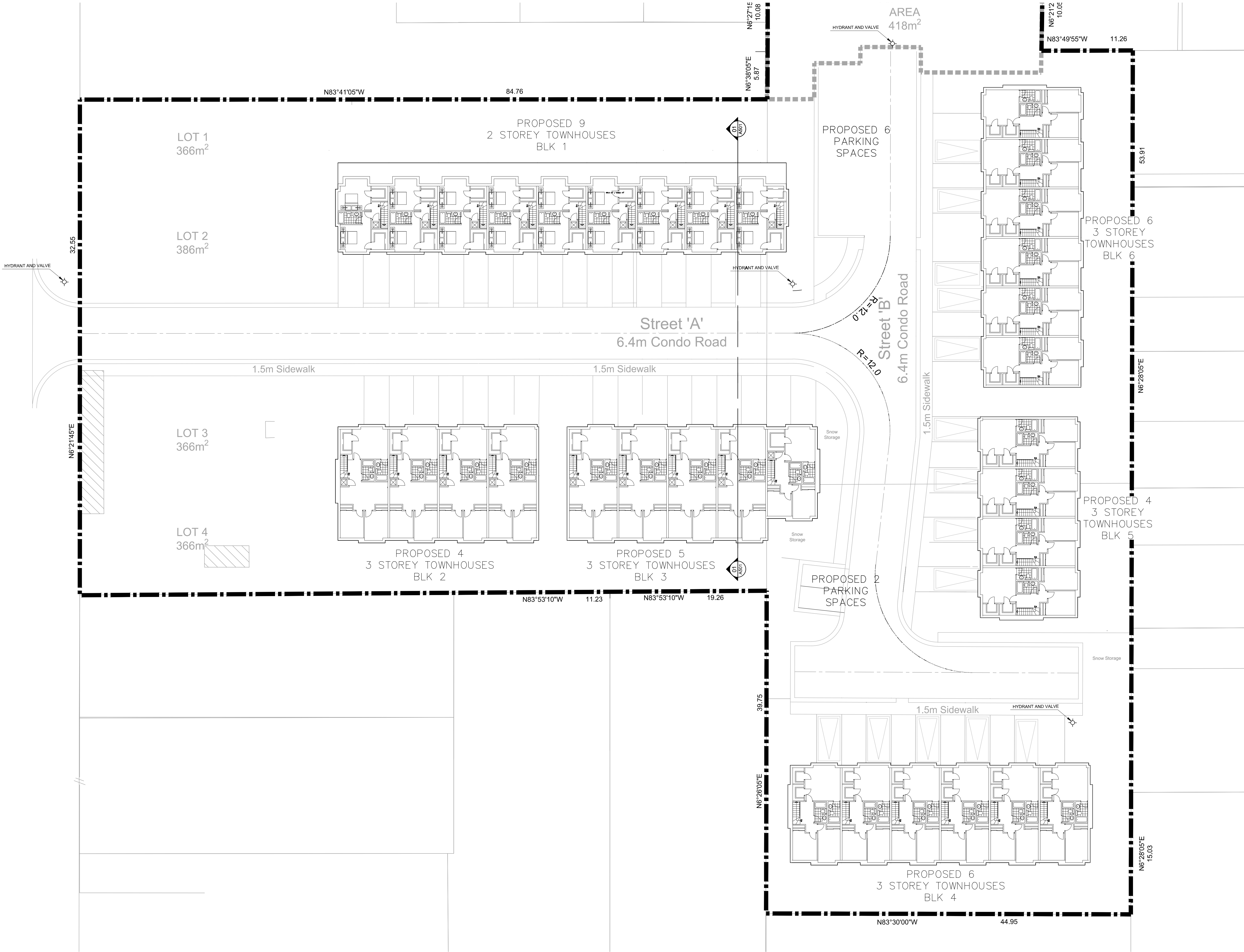
aug. 12, 2024
1: 200
22-39
ma

date:
scale:
project:
drawn by:



drawing number:
A302





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notes:

2 issued for rezoning
1 issued for rezoning
revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

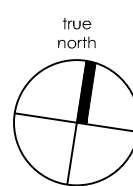
owner:

project:
95 Cook St
barrie, ontario

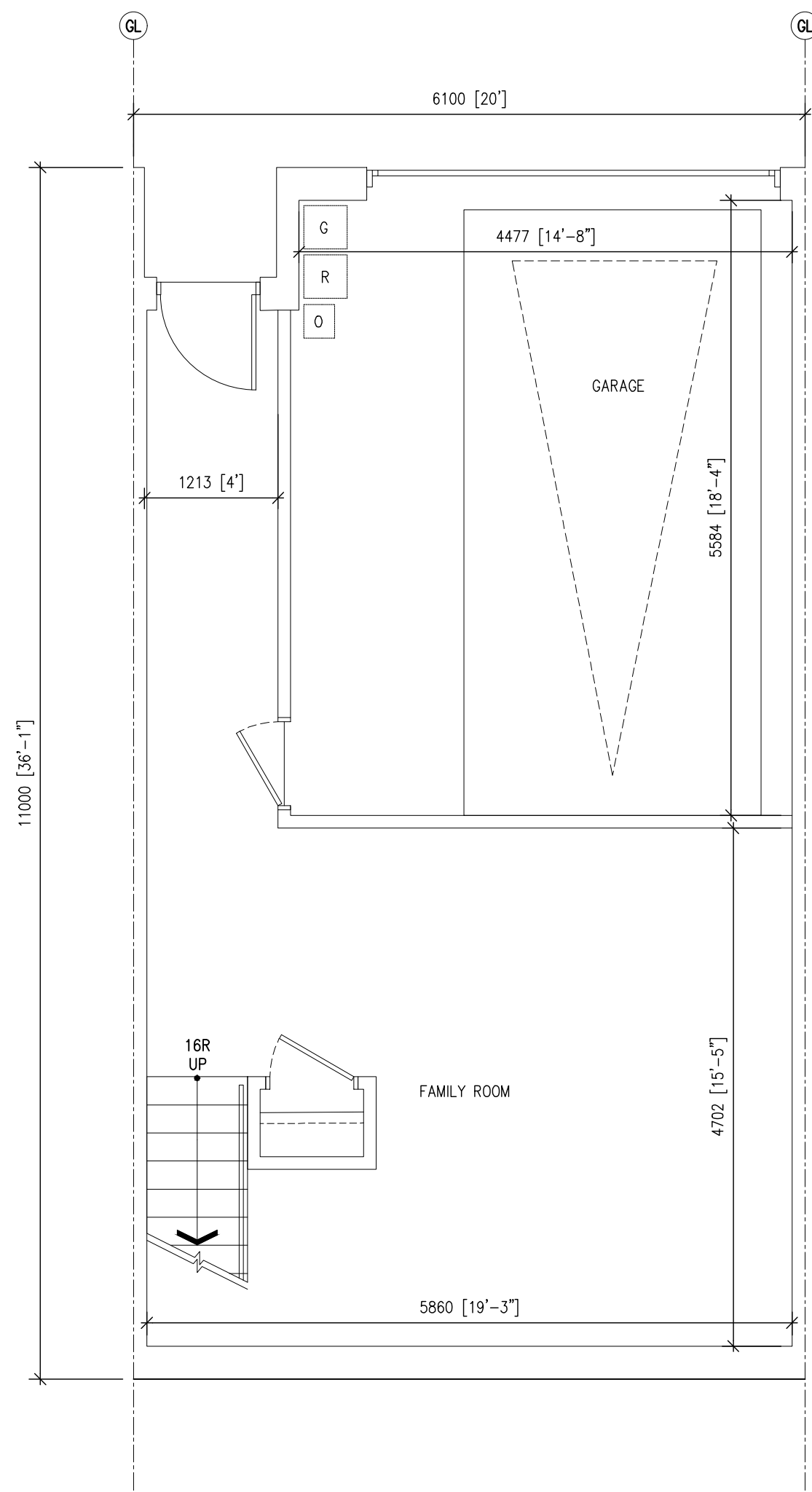
third floor plan

aug. 12, 2024
1: 200
22-39
ma

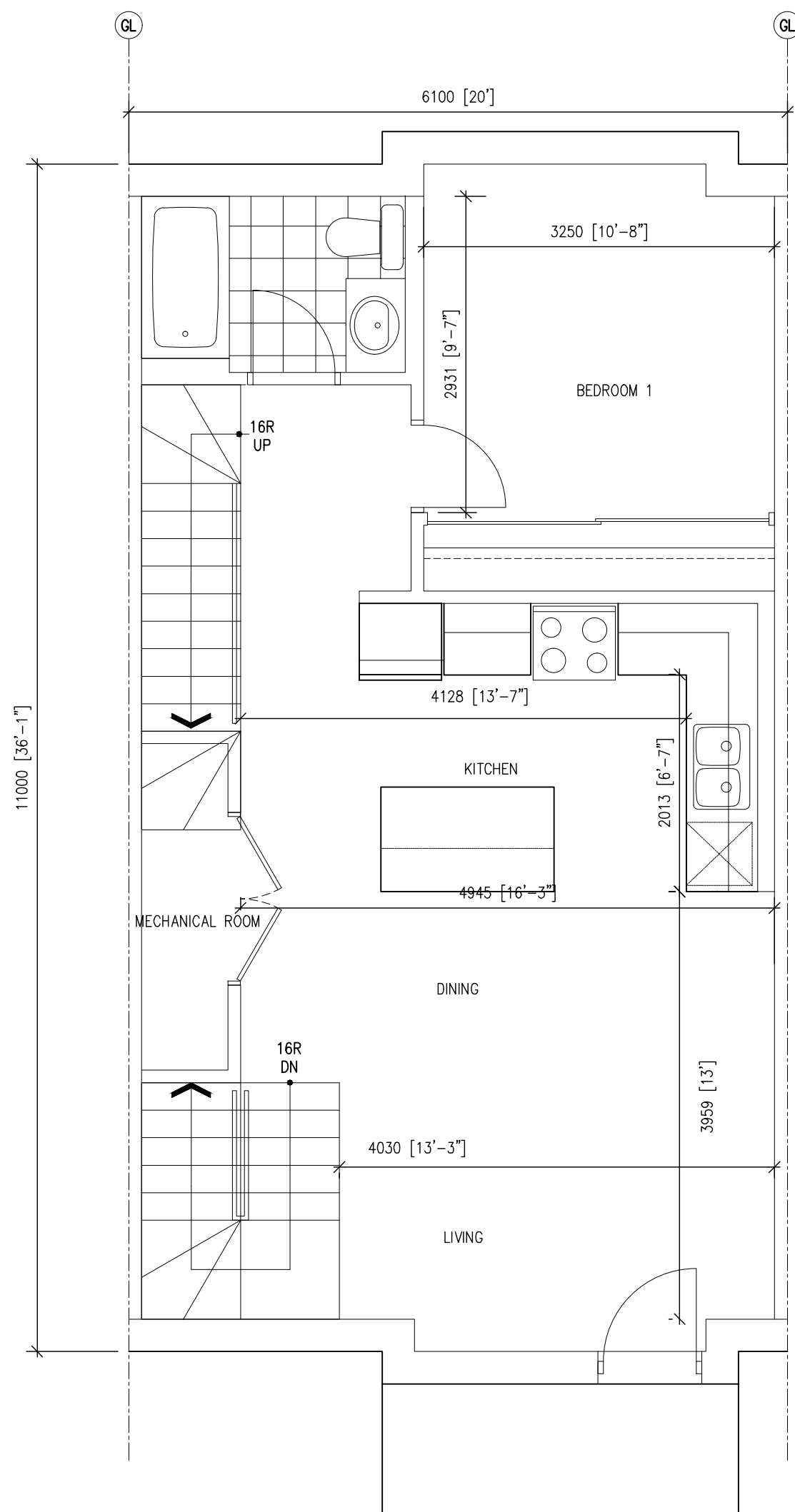
date:
scale:
project:
drawn by:



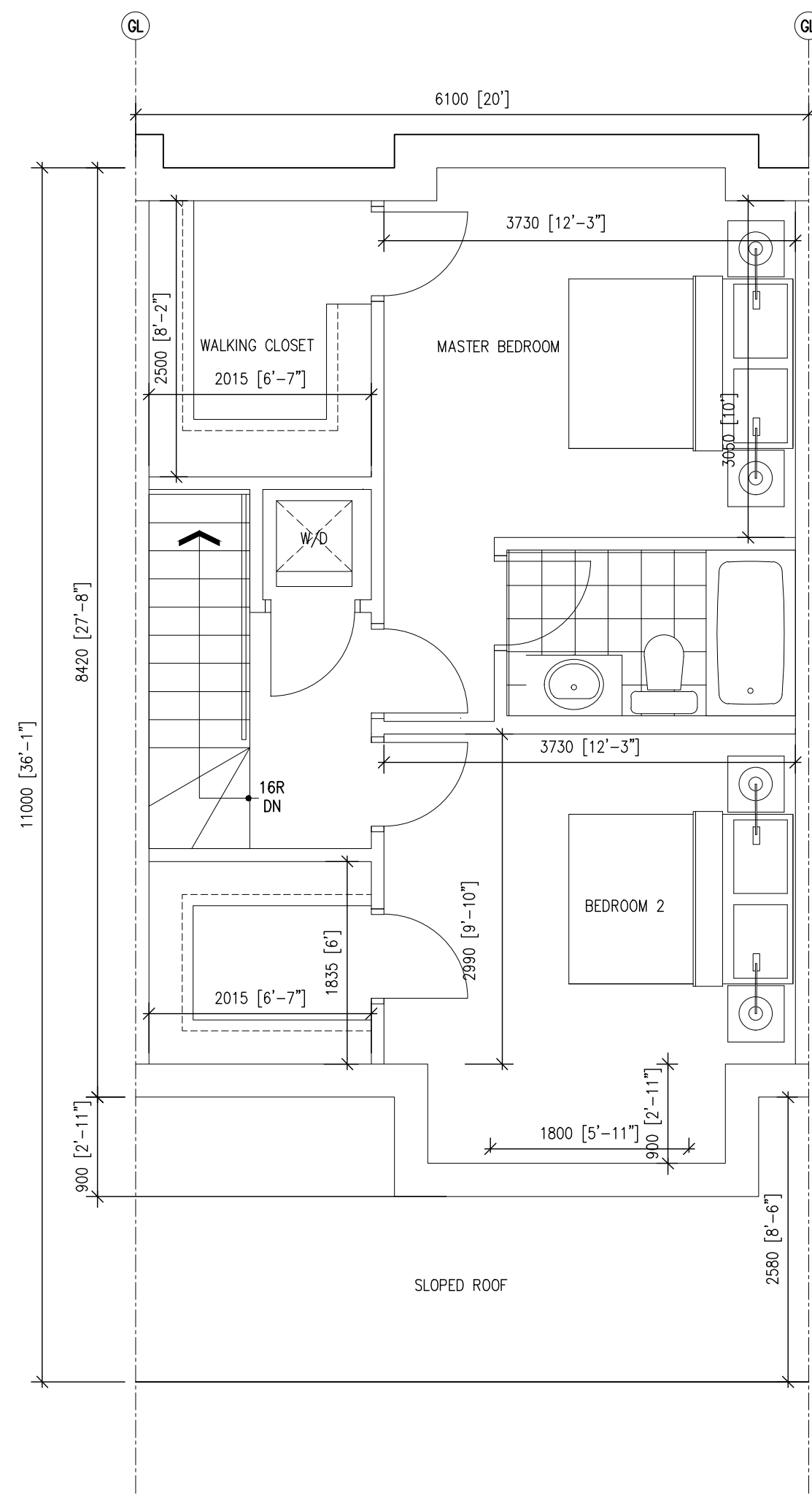
drawing number:
A303



1 ground floor plan 11m
A304



2 2nd floor plan 11m
A304



3 mezzanine plan 11m
A304

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ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

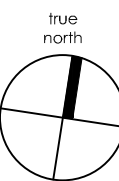
owner:

project:
95 Cook St
barrie, ontario

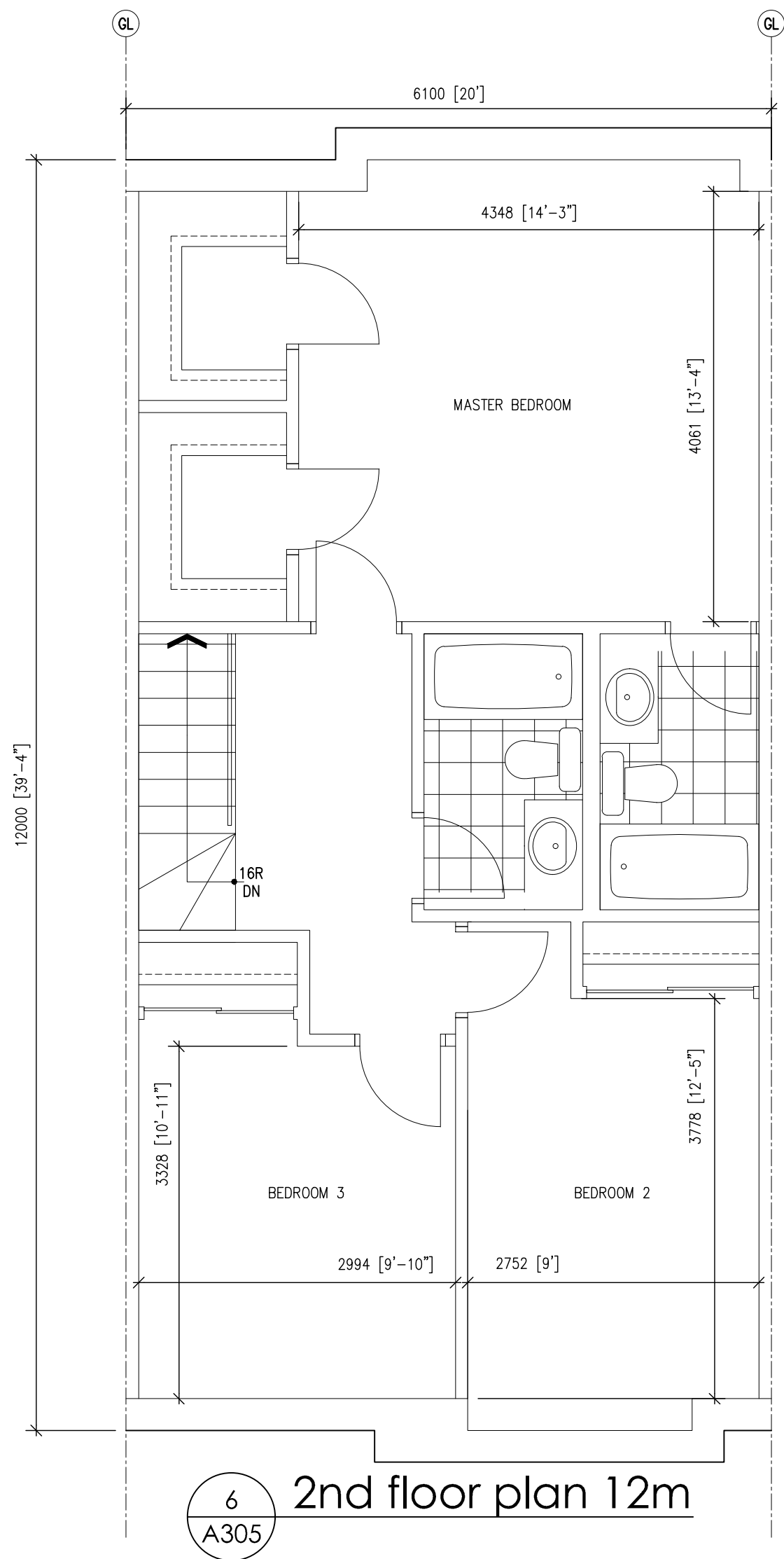
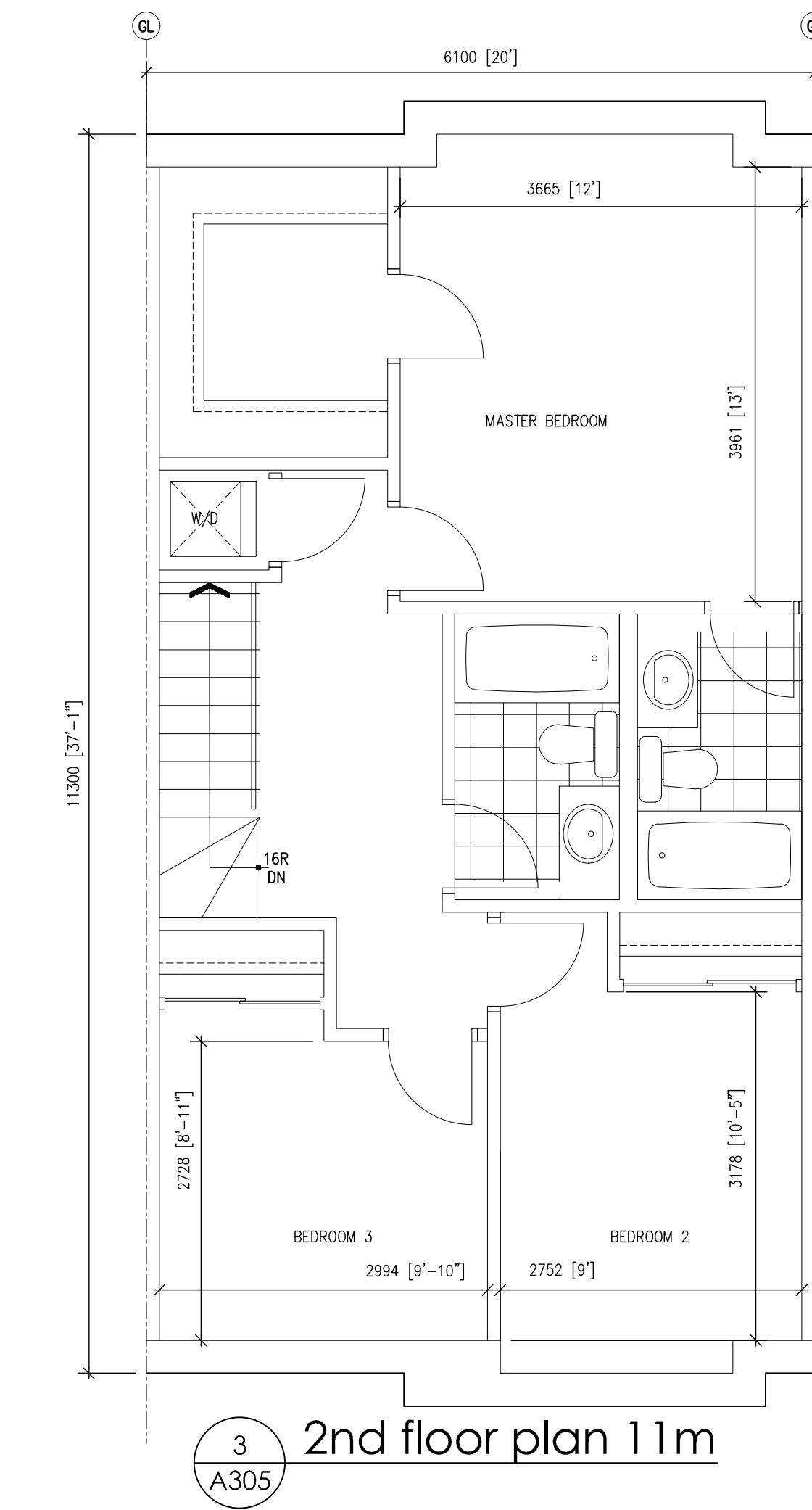
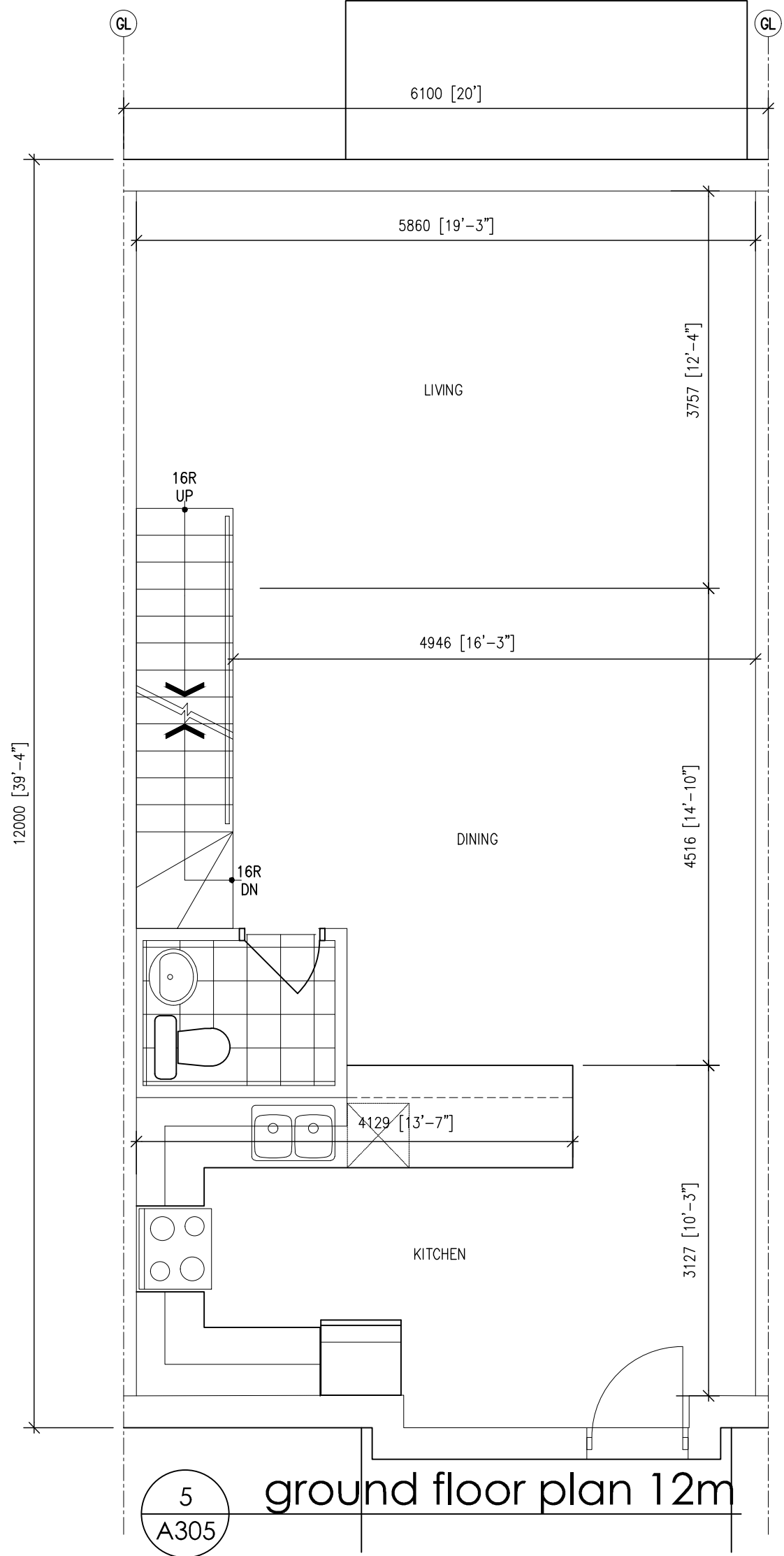
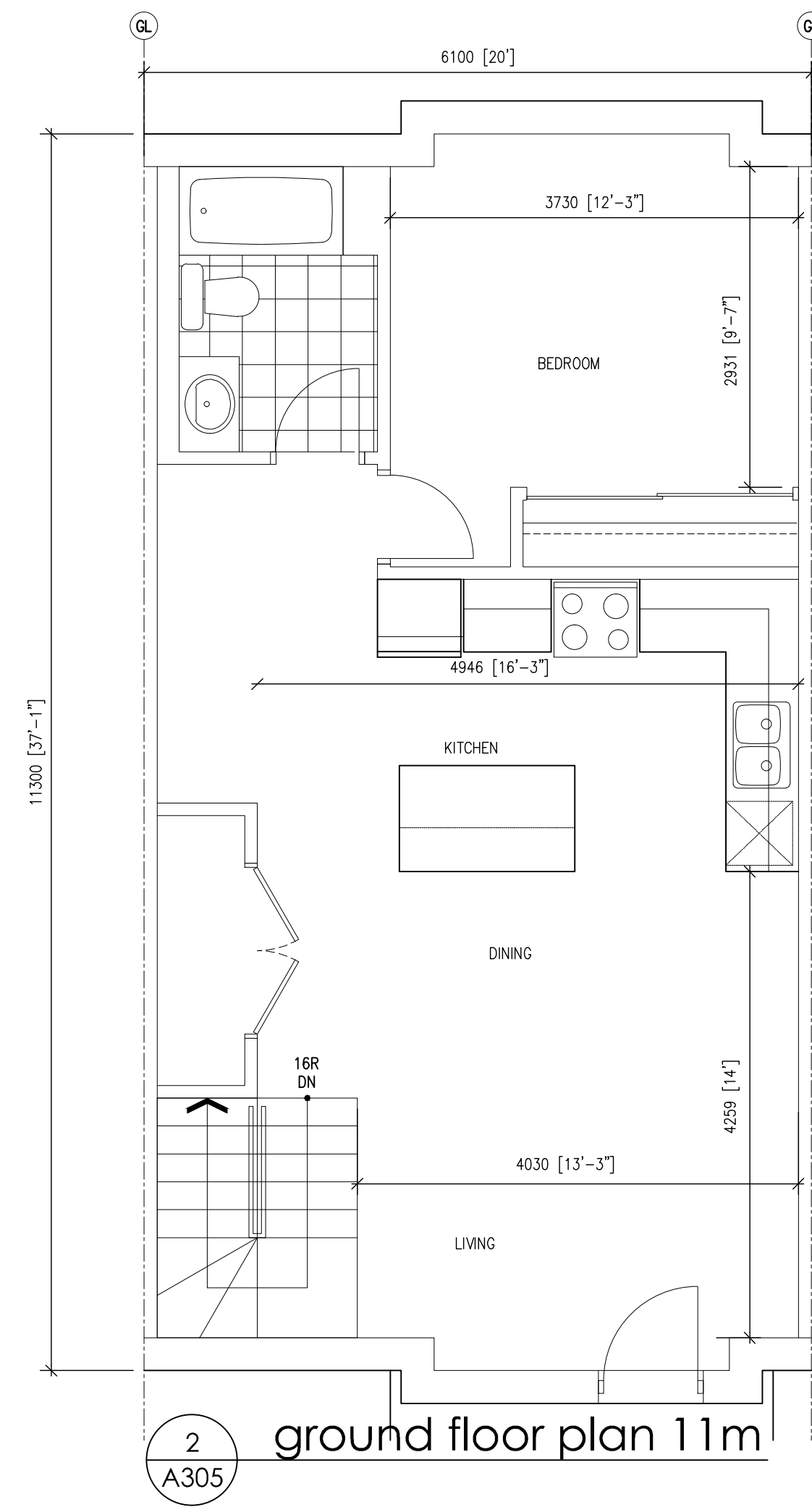
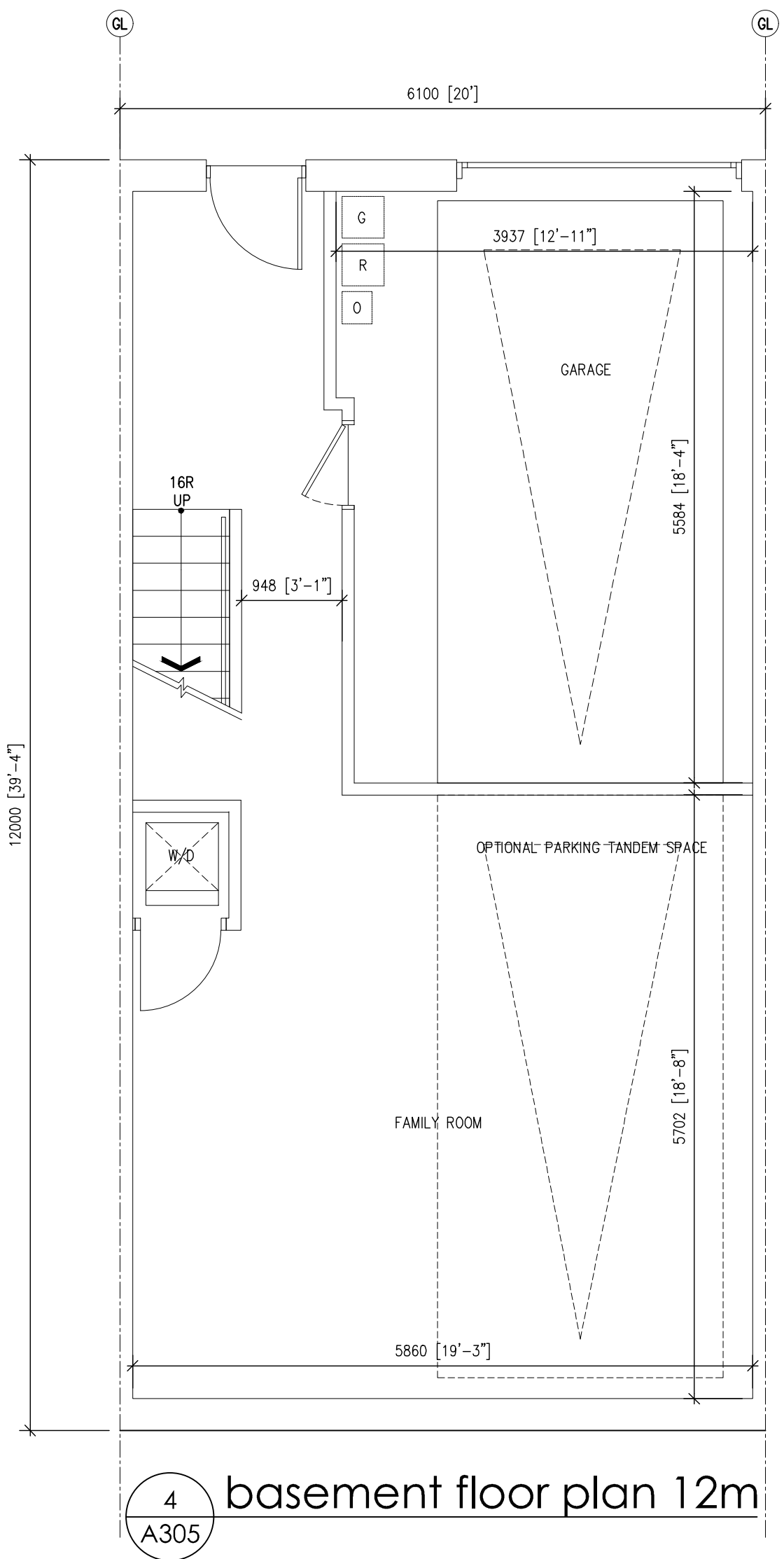
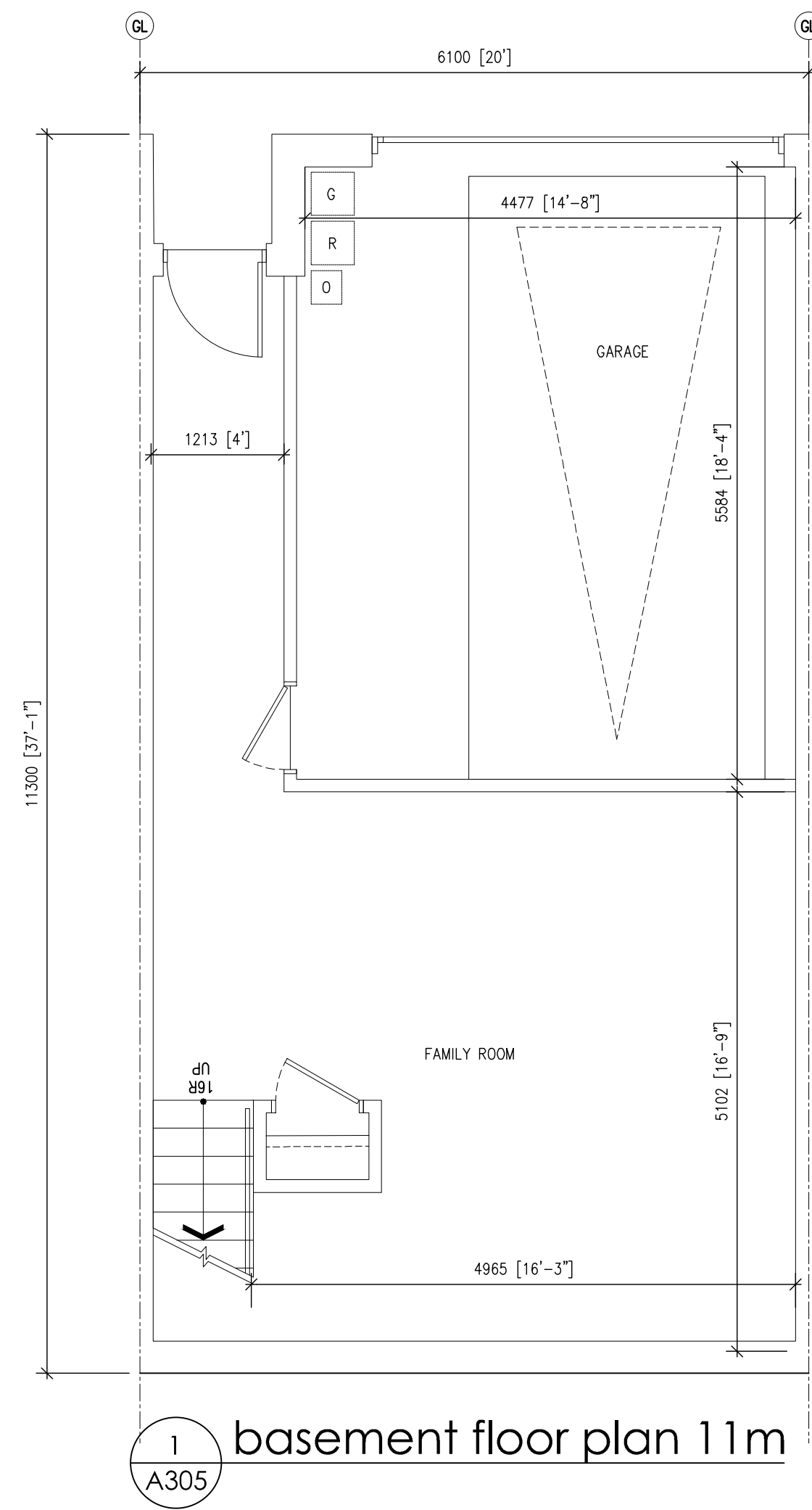
two storey
typology

aug. 12, 2024
1: 50
22-39
ma

date:
scale:
project:
drawn by:



drawing number:
A304



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notes:

2 issued for rezoning
1 issued for rezoning
revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

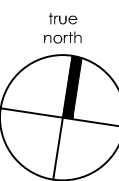
owner:

project:
95 Cook St
barrie, ontario

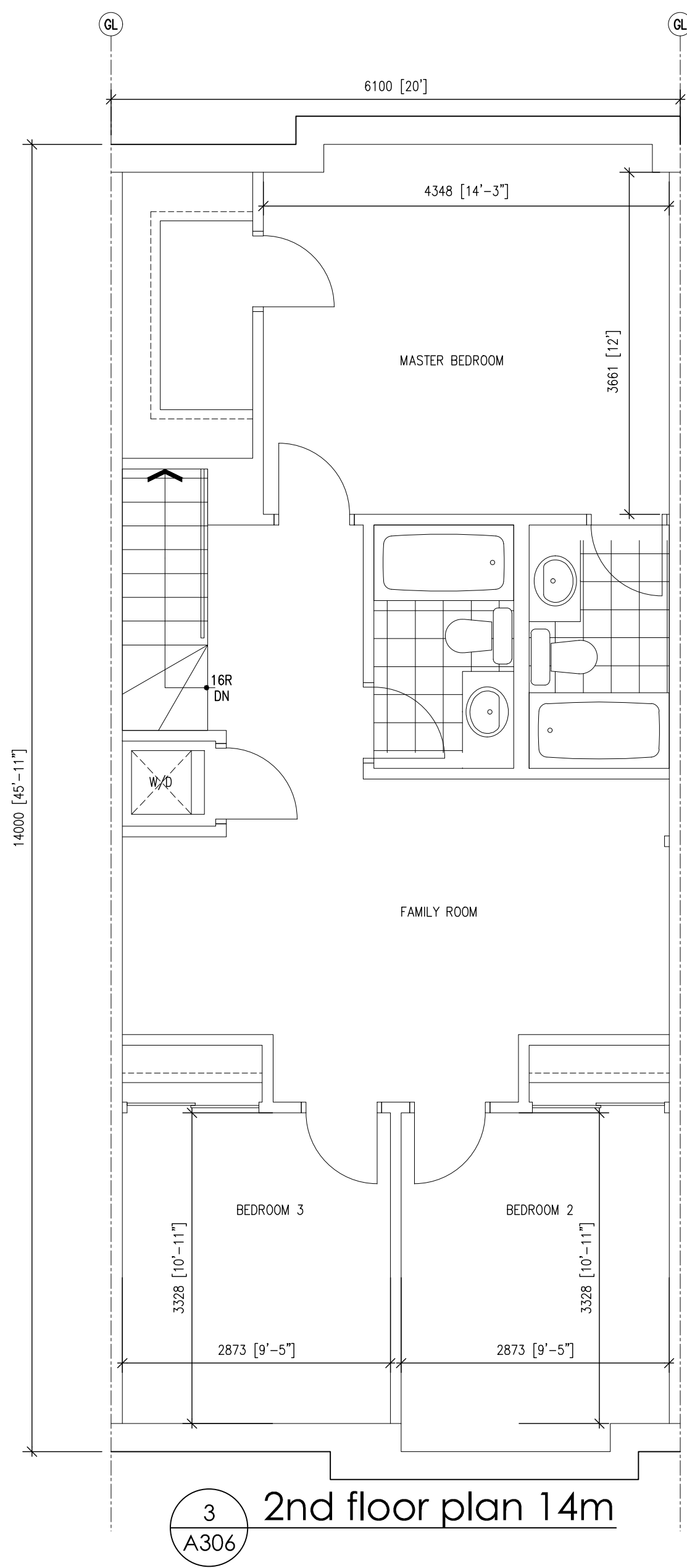
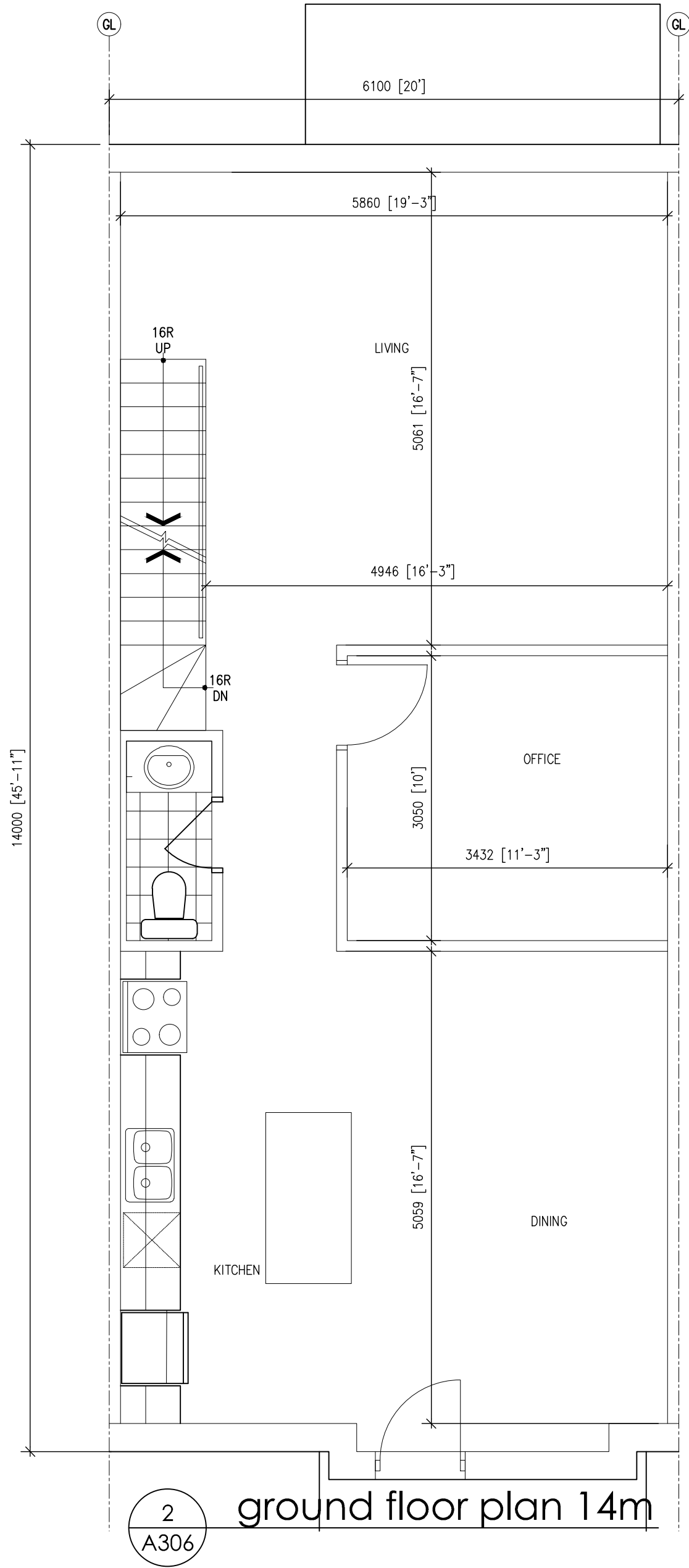
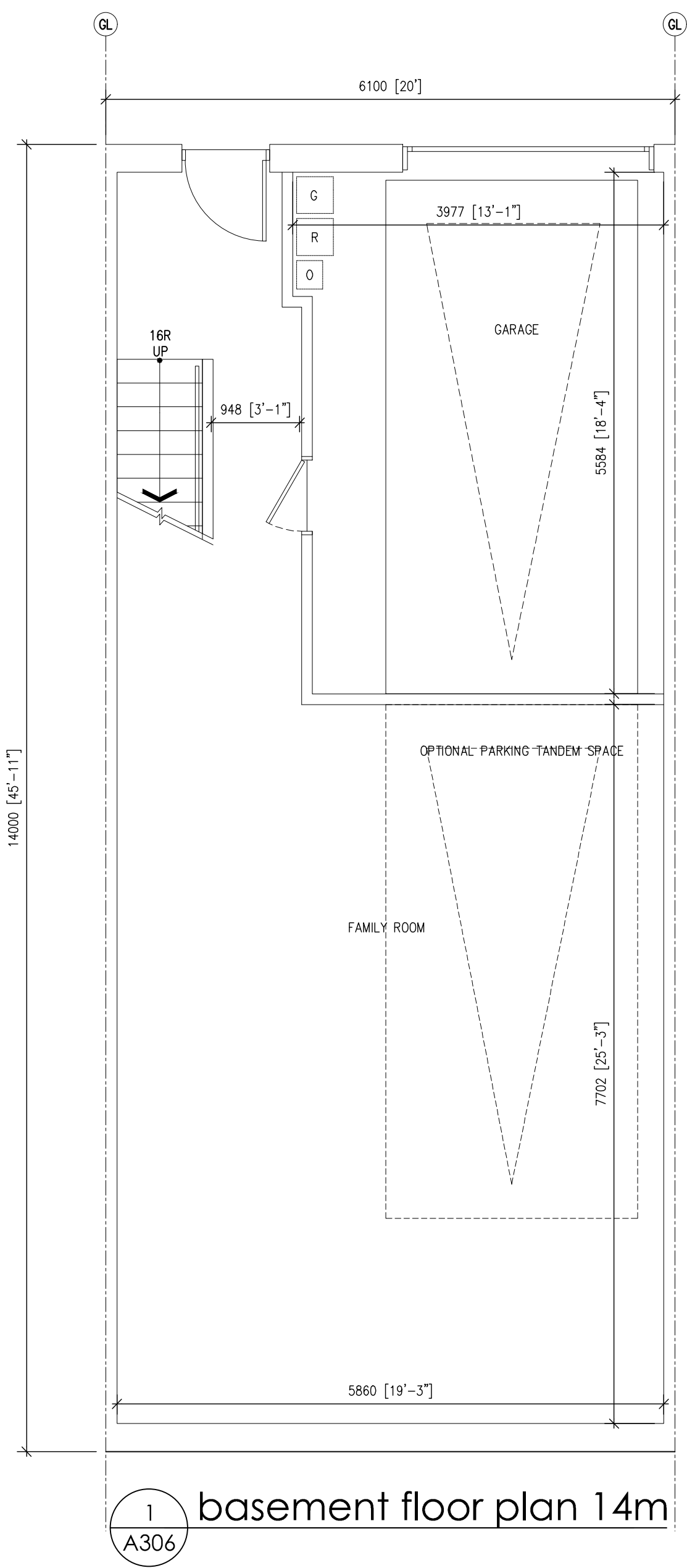
three storey
typology

aug. 12, 2024
1:50
22-39
ma

date:
scale:
project:
drawn by:



drawing number:
A305



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revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

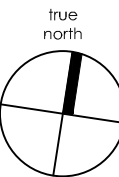
owner:

project:
95 Cook St
barrie, ontario

three storey
typology

aug. 12, 2024
1: 50
22-39
ma

date:
scale:
project:
drawn by:



drawing number:
A306



1
A401 front elevation



2
A401 side elevation



3
A401 back elevation



4
A401 side elevation

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notes:

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revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

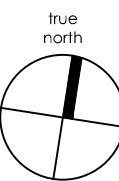
site services:

owner:

project:
95 Cook St
barrie, ontario

block 1 elevations

aug. 12, 2024
1:100
22-39
ma
date:
scale:
project:
drawn by:



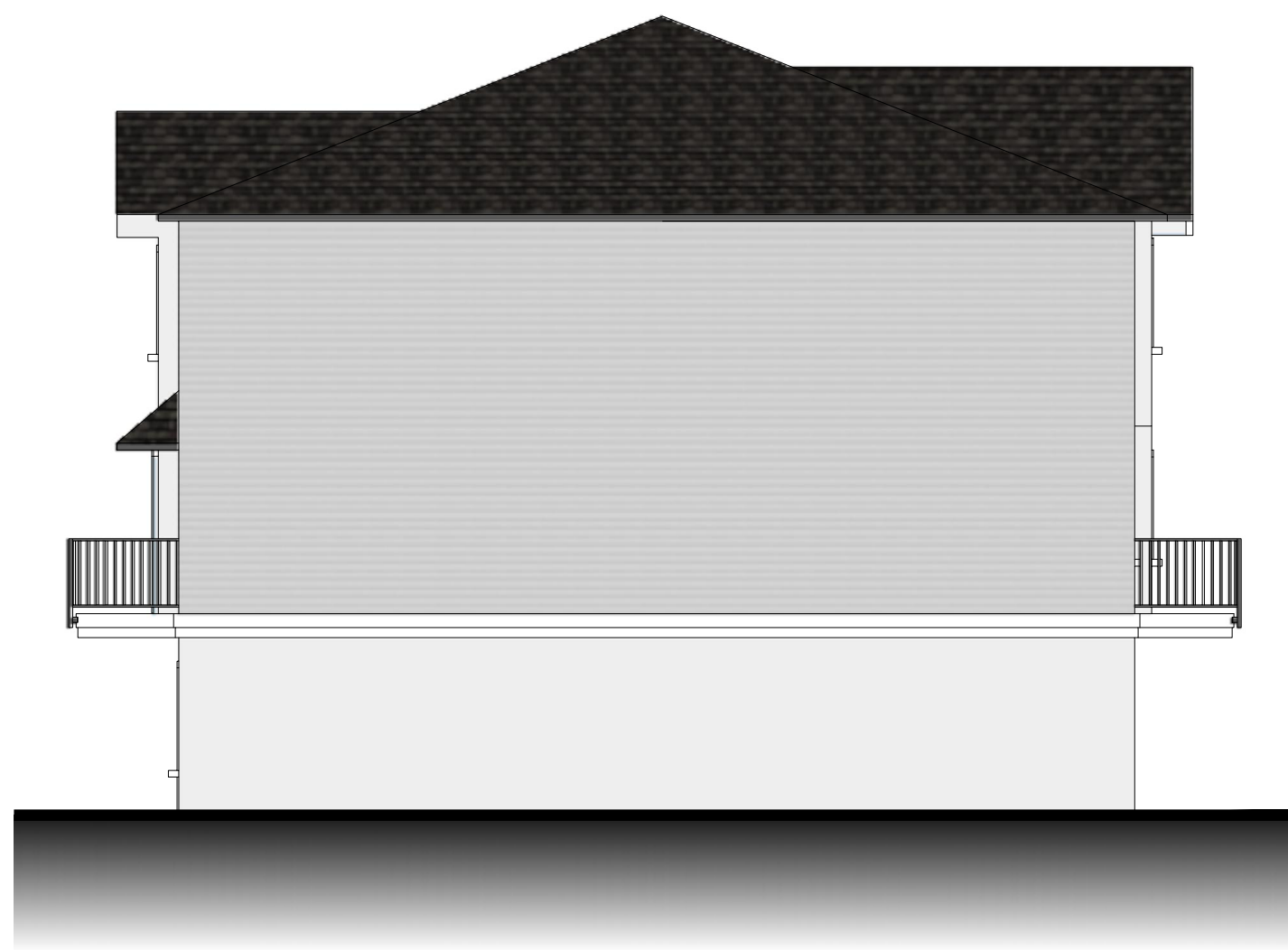
drawing number:
A401



1
A402 front elevation



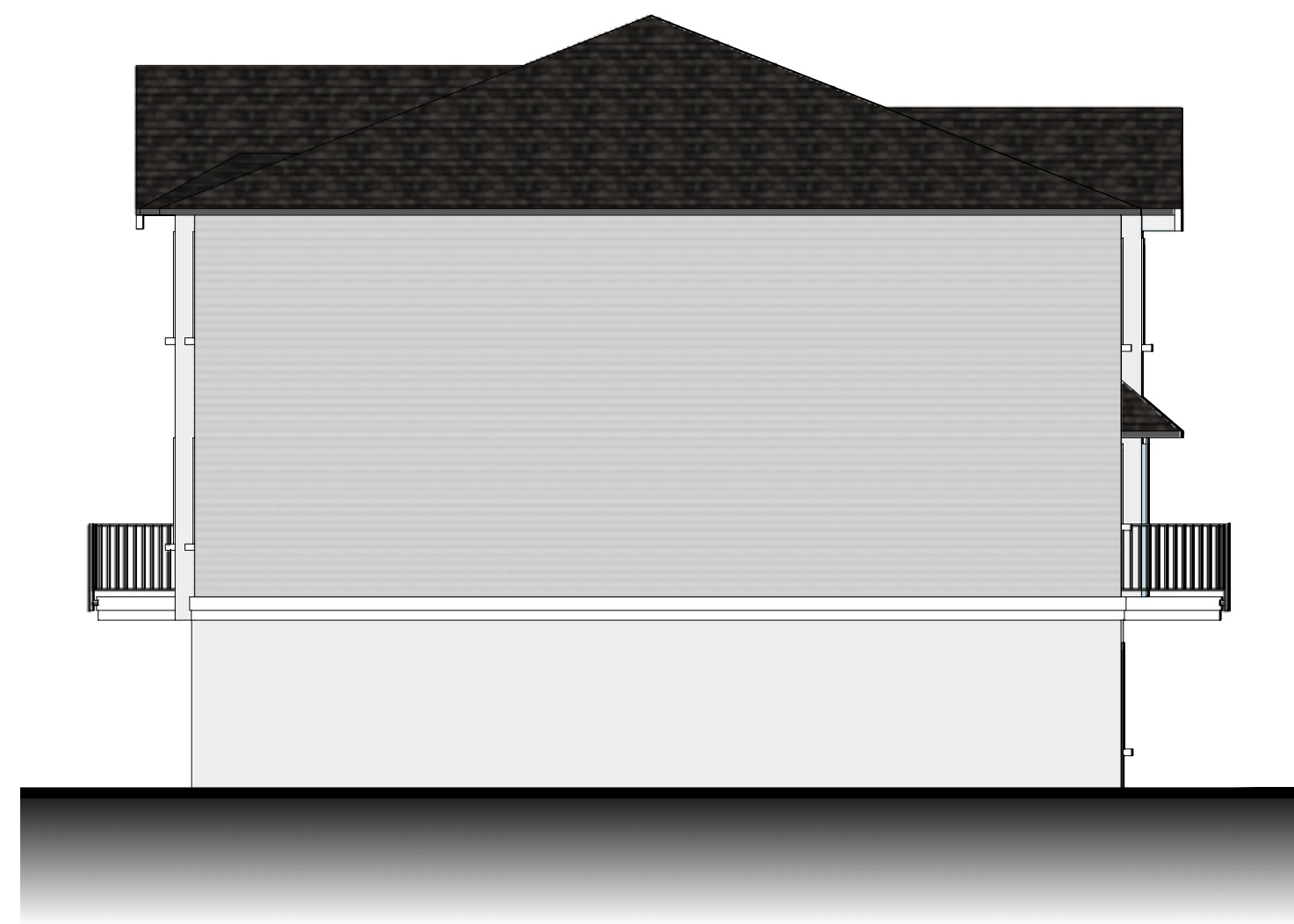
2
A402 back elevation



3
A402 block 2 - east elevation



4
A402 block 3 - east elevation



5
A402 block 3 - east elevation



6
A402 block 2 - west elevation

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notes:

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1 issued for rezoning
revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

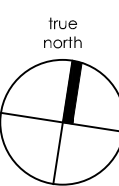
owner:

project:
95 Cook St
barrie, ontario

blocks 2 & 3
elevations

aug. 12, 2024
1:100
22-39
ma

date:
scale:
project:
drawn by:



drawing number:
A402



1 front elevation
A402



2 east elevation
A402



3 back elevation
A402



4 west elevation
A402

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notes:

2 issued for rezoning
1 issued for rezoning
revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

owner:

project:
95 Cook St
barrie, ontario

block 4 elevations

aug. 12, 2024
1:100
22-39
ma
date:
scale:
project:
drawn by:



drawing number:
A403



1
A402 front elevation



2
A402 back elevation



3
A402 block 5 - north elevation

4
A402 block 5 - south elevation

5
A402 block 6 - north elevation

6
A402 block 6 - south elevation

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revisions:
12-08-24
17-11-23
d-m-yr

architectural team :

mark zwicker
melina andretto
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

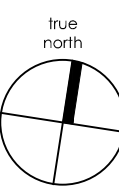
owner:

project:
95 Cook St
barrie, ontario

blocks 5 & 6
elevations

aug. 12, 2024
1:100
22-39
ma

date:
scale:
project:
drawn by:



drawing number:
A404



1
A403 2 storey TH
block 1 elevation



2
A403 3 storey TH
block 2-3 elevation



3
A403 3 storey TH
block 2-3-5-6 elevation



4
A403 3 storey TH
block 4 elevation

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mark zwicker
melina andretho
ernesto sosa



planning:

structural:

electrical:

mechanical:

landscape:

site services:

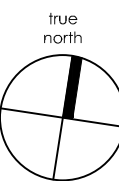
owner:

project:
95 Cook St
barrie, ontario

perspectives

aug. 12, 2024
nts
22-39
ma

date:
scale:
project:
drawn by:



drawing number:
A405