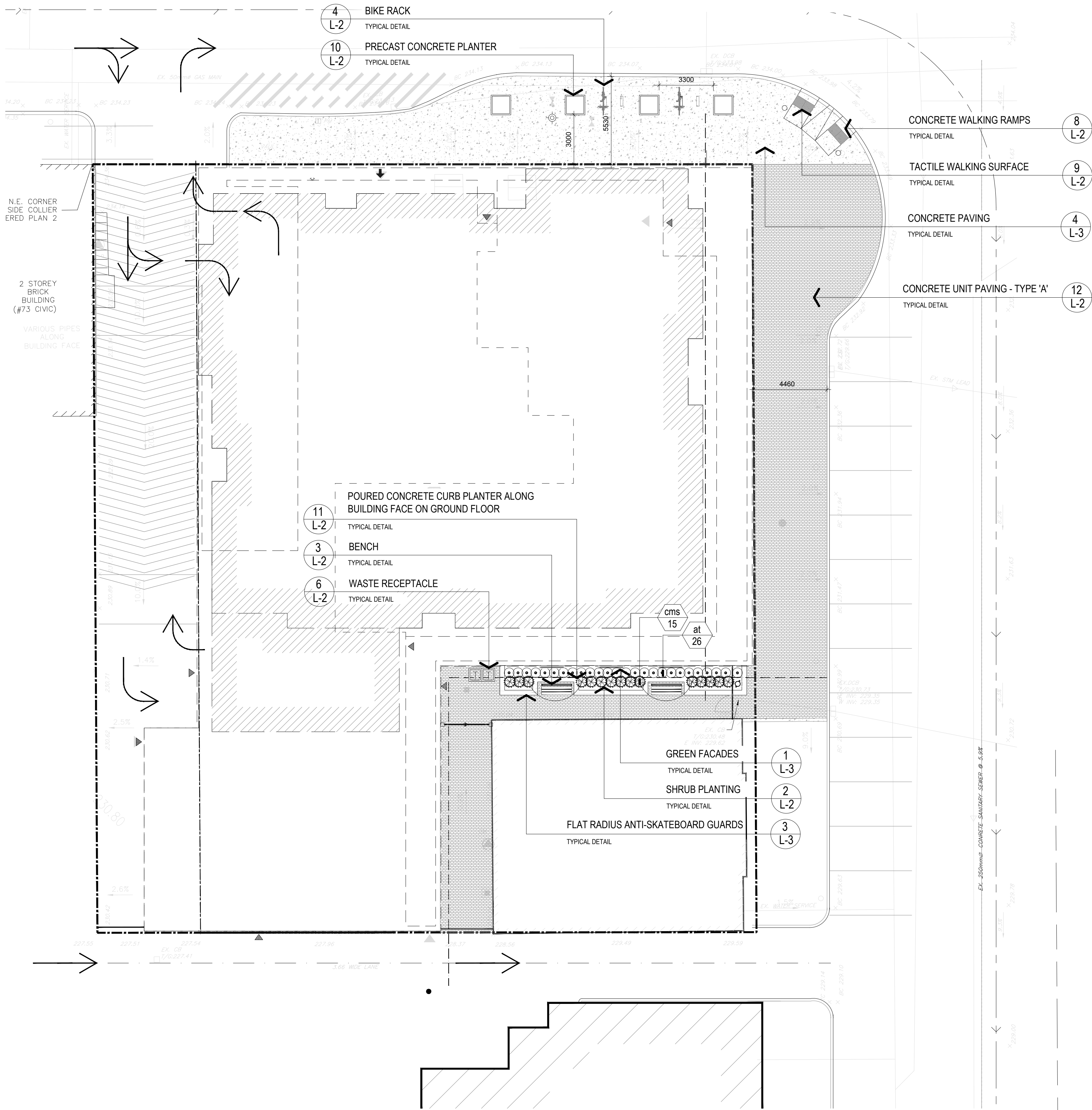
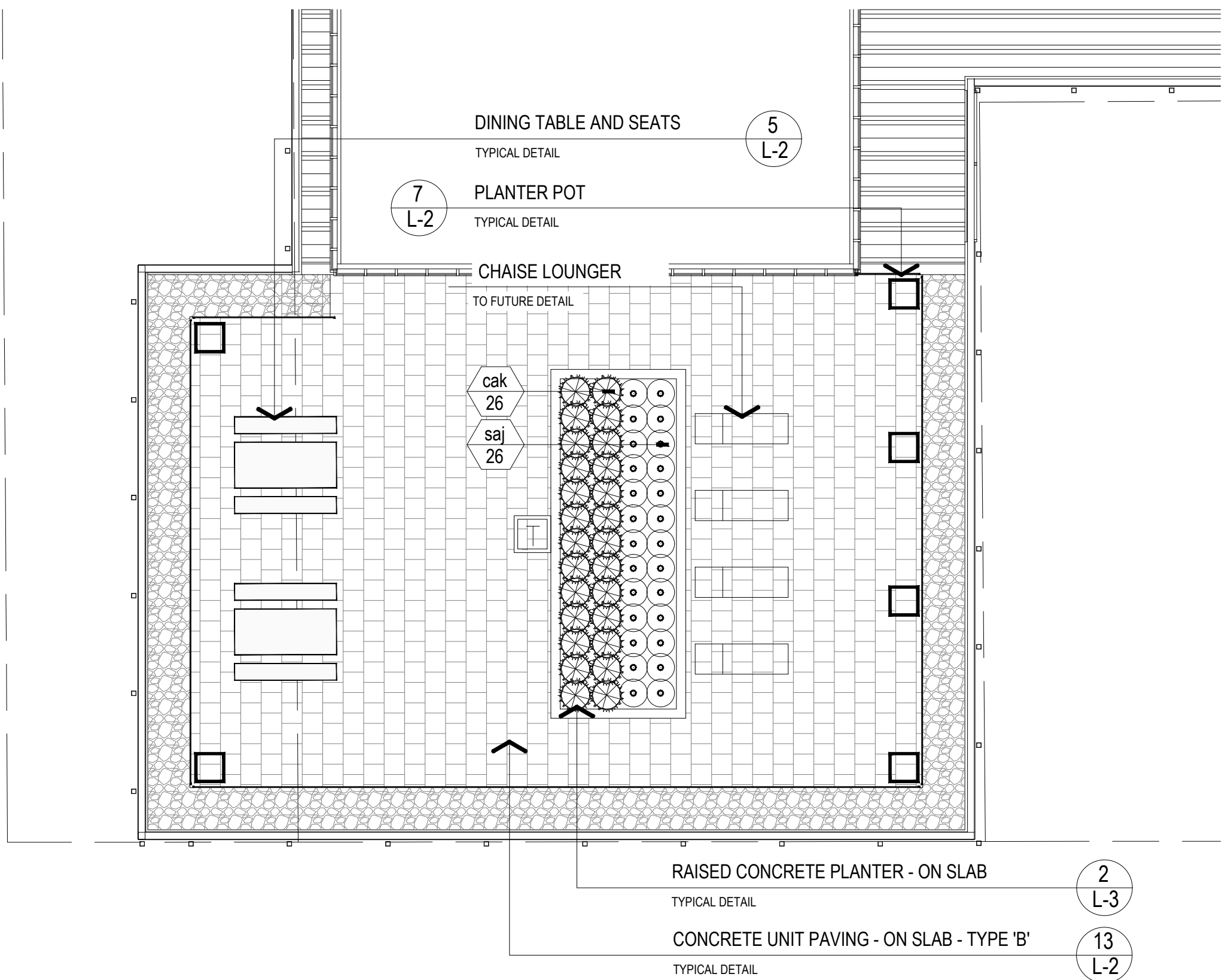




1
L-1
LANDSCAPE PLAN
1:150

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	DROUGHT TOLERANT	NATIVE	CALIPER	CONDITION	SPACING
PERENNIALS, GROUND COVERS AND GRASSES								
at	26	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED			----	1 gal. POT	500mm
cak	26	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	KARL FOERSTER FEATHER REED GRASS			----	1 gal. POT	500mm
cms	15	CAREX MORROWII 'SILVER SCEPTRE'	SILVER SCEPTRE SEDGE			----	1 gal. POT	----
saj	26	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP			----	1 gal. POT	----
VINES								
pq	3	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER			----	2 gal. POT	----



2
L-1
5TH FLOOR ROOFTOP AMENITY
1:100

KEY PLAN



LEGEND

- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- UNIT PAVING
- CONCRETE SIDEWALK
- PROPERTY LINE
- PROPOSED BIKE RACK
- PROPOSED BENCH
- PROPOSED TRASH RECEPTACLE
- PLANTING KEYS

GENERAL NOTES

- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
- This drawing is to be read in conjunction with the overall master plan and engineering drawings and site plans.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any work.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only. For layout of all work refer to construction drawings.
- Plant quantities indicated on the plan supercede the quantities from the plant list (report any discrepancies to the landscape architect).
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of construction at no extra cost.
- This drawing is Copyright MHBC 2021.

3.	JANUARY 26, 2021	ISSUED FOR RE-SUBMISSION	HH
2.	SEPTEMBER 10, 2020	ISSUED FOR SUBMISSION	HH
1.	AUGUST 13, 2020	ISSUED FOR REVIEW	HH
REVISION NO.	DATE	ISSUED / REVISION	BY

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DATE

AUGUST 2020

DRAWN BY

H.H.

PLAN SCALE

AS NOTED

FILE NO.

2069D

CHECKED BY

N.M.

OTHER

PROJECT

79 COLLIER STREET
BARRIE, ONTARIO

FILE NAME

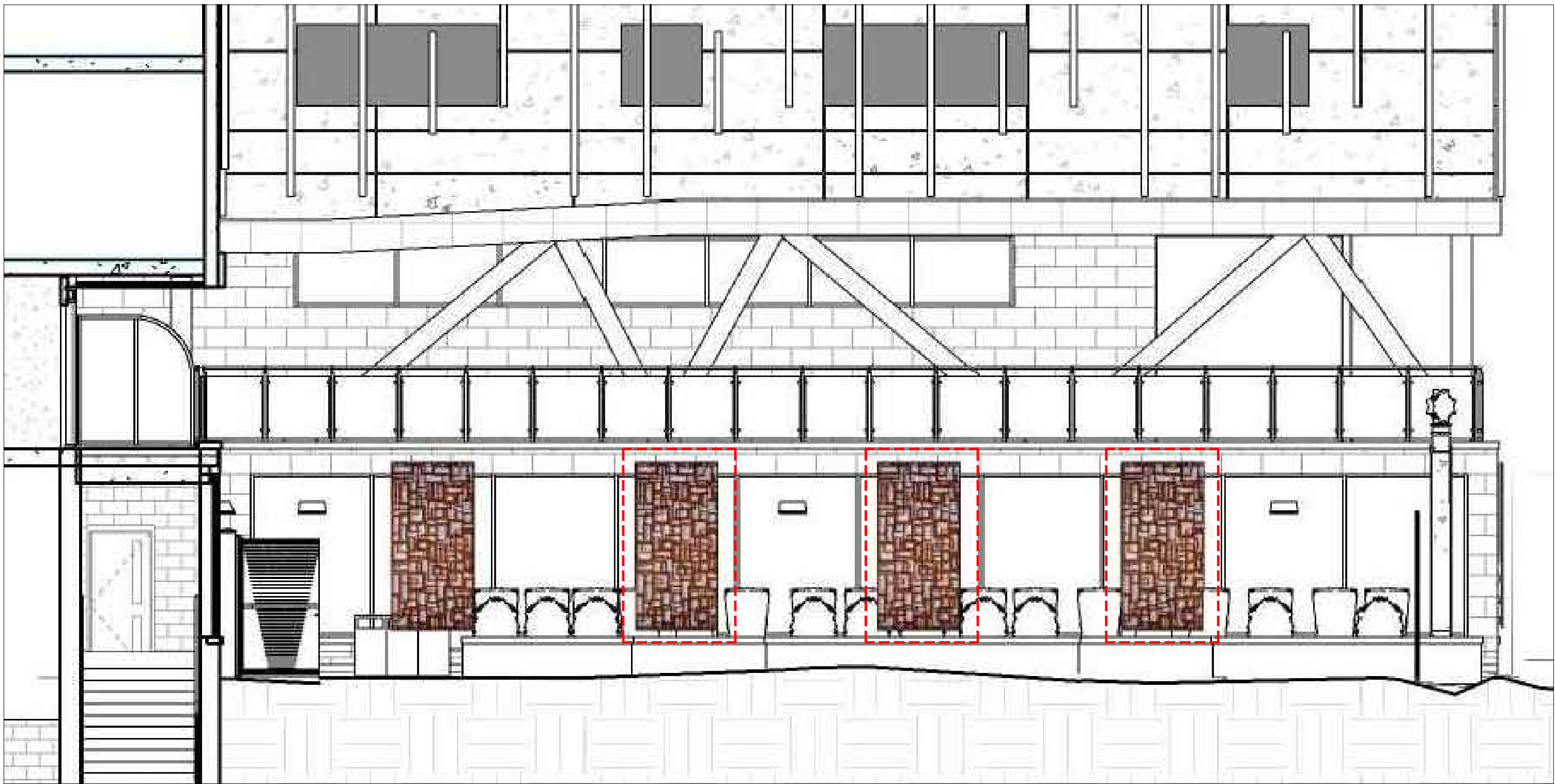
LANDSCAPE PLAN

SOURCE

N:\2069\0 - 79 Collier Street, Barrie\2. Drawings\4. Landscape\2069D - Landscape Plan - 01-26-21.dwg

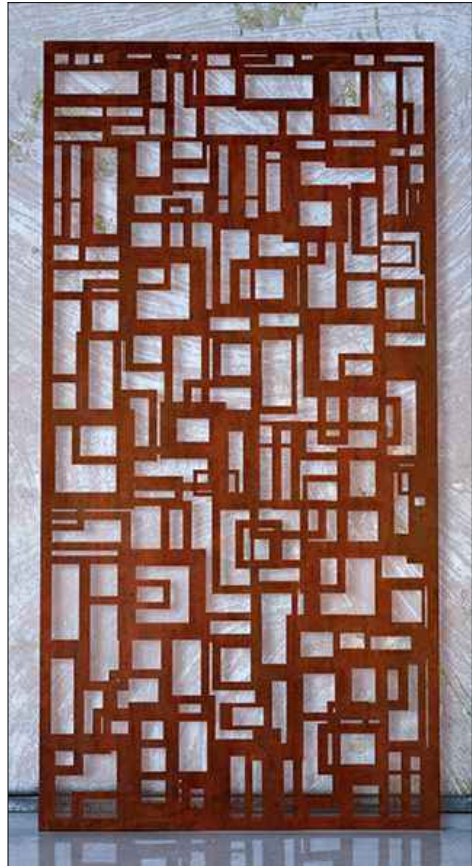
DWG NO.

L1



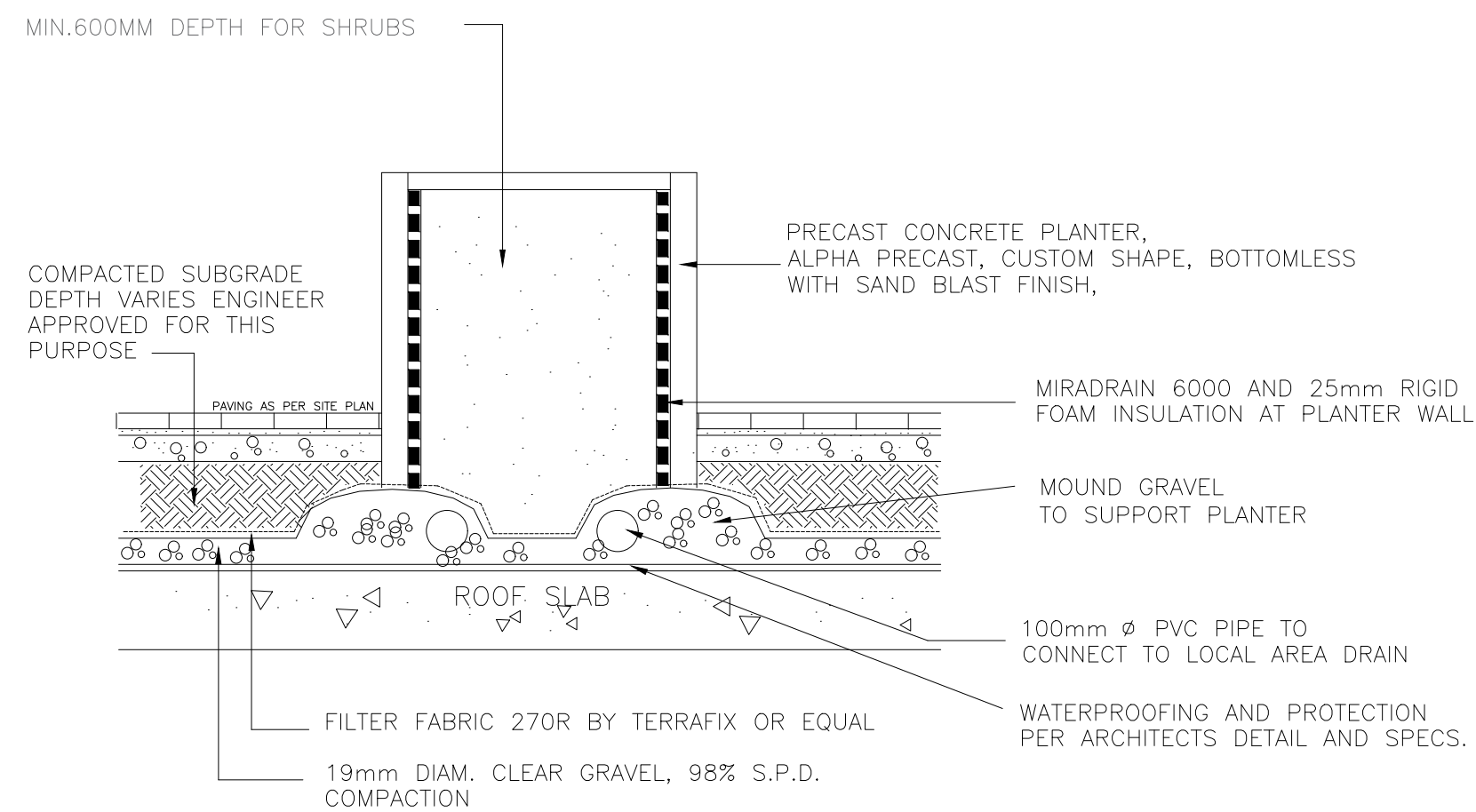
1
L3
GREEN FACADES
TYPICAL DETAIL

- NOTES:
1. STRUCTURAL WORKS SHALL BE REVIEWED AND CERTIFIED BY THE DESIGN ENGINEER AND THE CONTRACTOR IS RESPONSIBLE TO COORDINATE AND ACCOMMODATE REQUIRED INSPECTIONS.
 2. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO FOR FINAL APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.

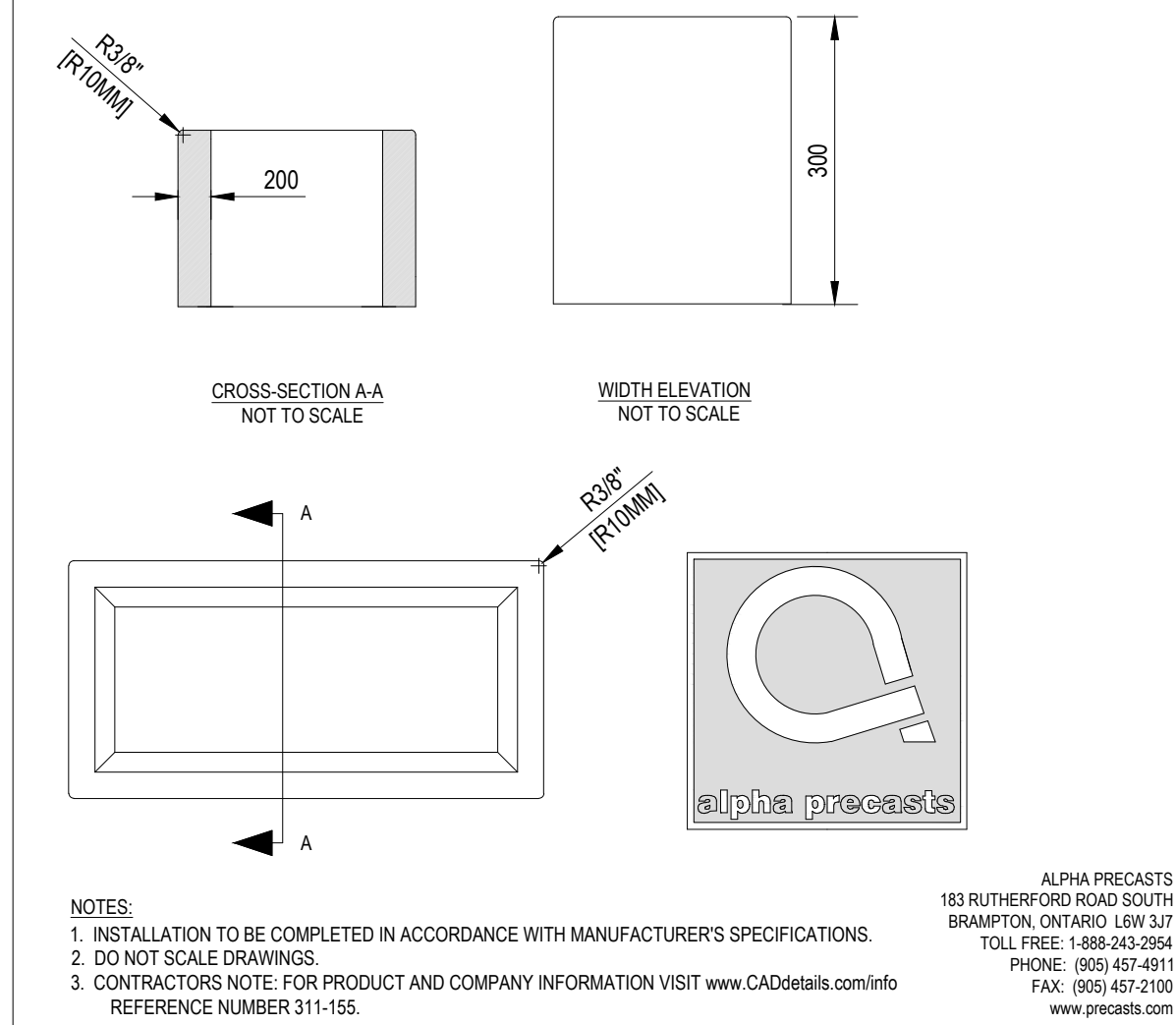


DECORATIVE PANEL

NTS



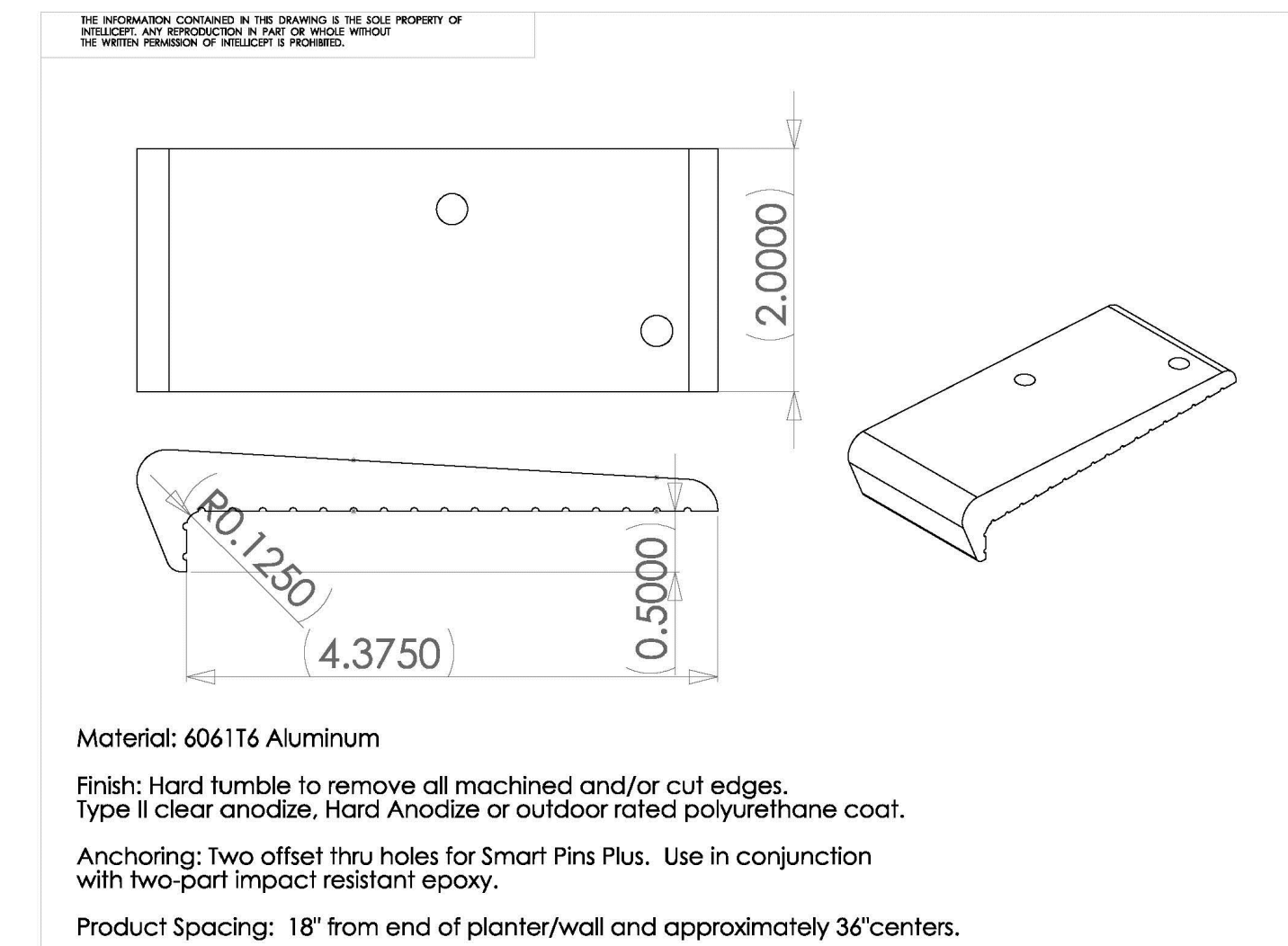
2
L3
RAISED CONCRETE PLANTER ON SLAB
TYPICAL DETAIL



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 311-155.

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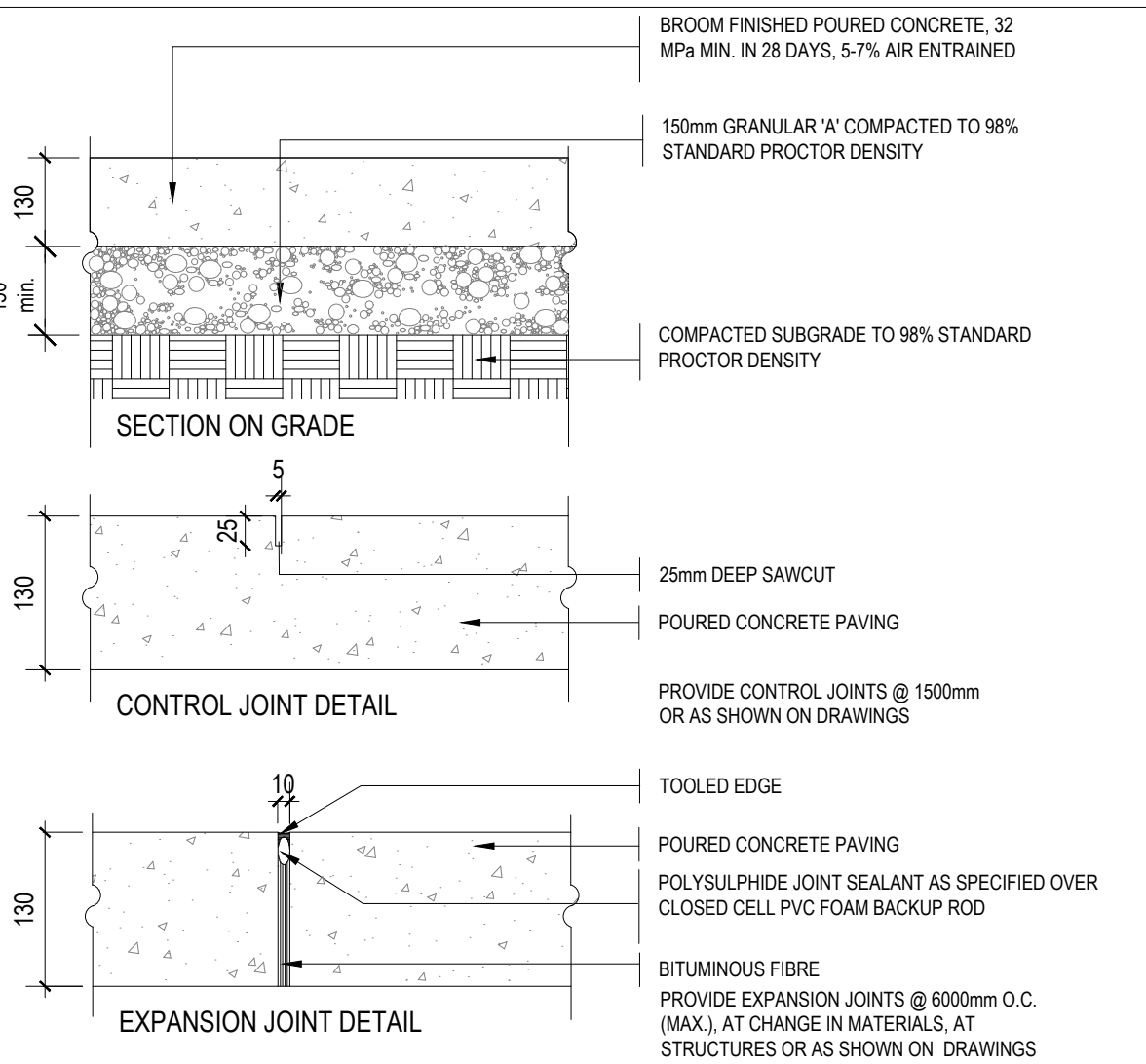
NTS



Material: 6061T6 Aluminum
Finish: Hard tumble to remove all machined and/or cut edges.
Type II clear anodize, Hard Anodize or outdoor rated polyurethane coat.
Anchoring: Two offset thru holes for Smart Pins Plus. Use in conjunction with two-part impact resistant epoxy.
Product Spacing: 18" from end of planter/wall and approximately 36" centers.

3
L3
FLAT RADIUS ANTI-SKATEBOARD GUARDS
TYPICAL DETAIL

NTS



4
L3
CONCRETE PAVING
TYPICAL DETAIL

NTS

GENERAL NOTES

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2. This drawing is to be read in conjunction with the overall master plan and engineering drawings and site plans.
3. The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any work.
4. The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
5. This drawing is to be used for development approval only. For layout of all work refer to construction drawings.
6. Plant quantities indicated on the plan supercede the quantities from the plant list (report any discrepancies to the landscape architect).
7. Do not leave any holes open overnight.
8. Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
9. Contractor to make good any and all damages outside of the development area that may occur as a result of construction at no extra cost.
10. This drawing is Copyright MHBC 2021.

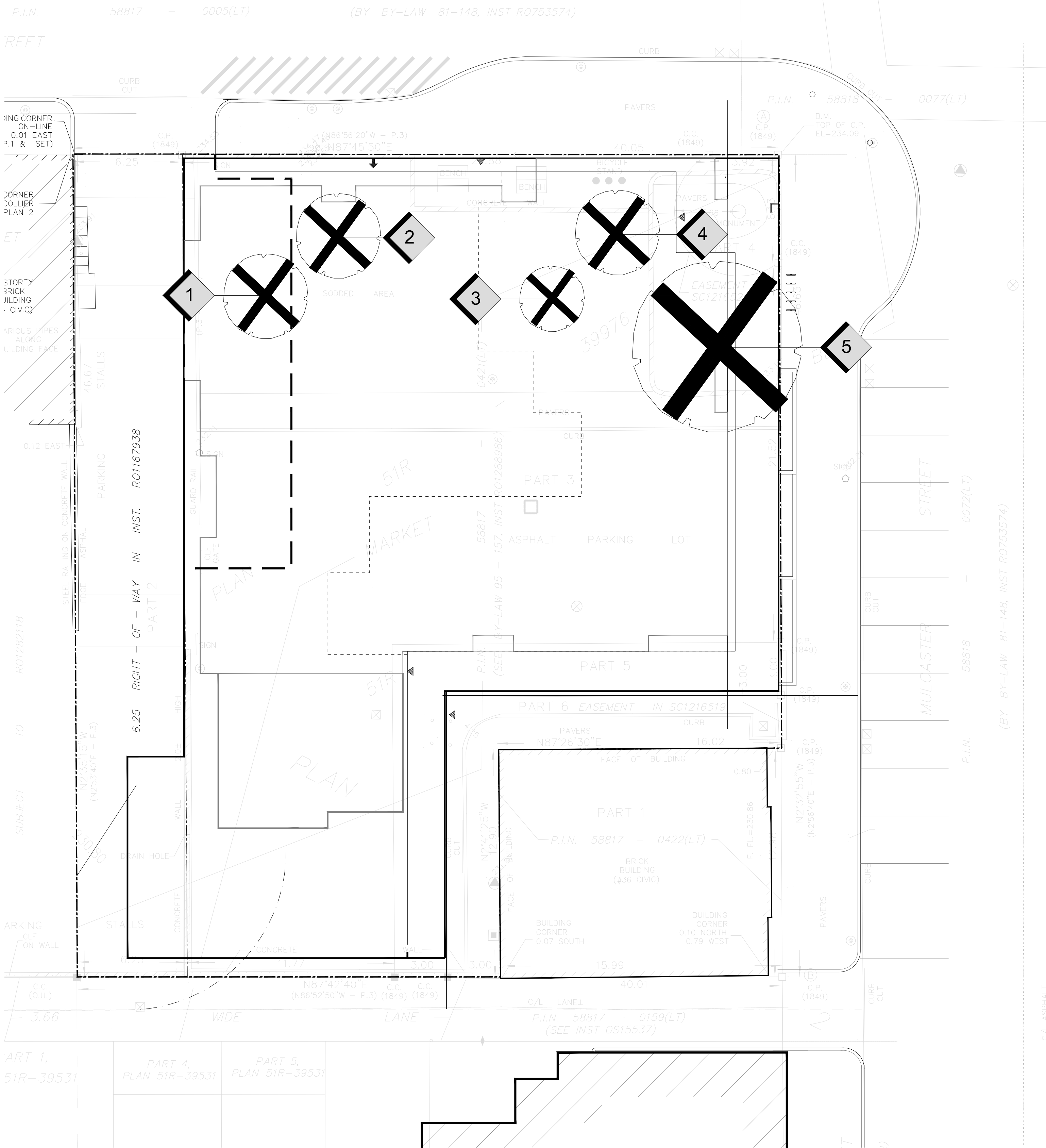
REVISION NO.	DATE	ISSUED / REVISION	BY
3.	JANUARY 26, 2021	ISSUED FOR RE-SUBMISSION	HH
2.	SEPTEMBER 10, 2020	ISSUED FOR SUBMISSION	HH
1.	AUGUST 13, 2020	ISSUED FOR REVIEW	HH



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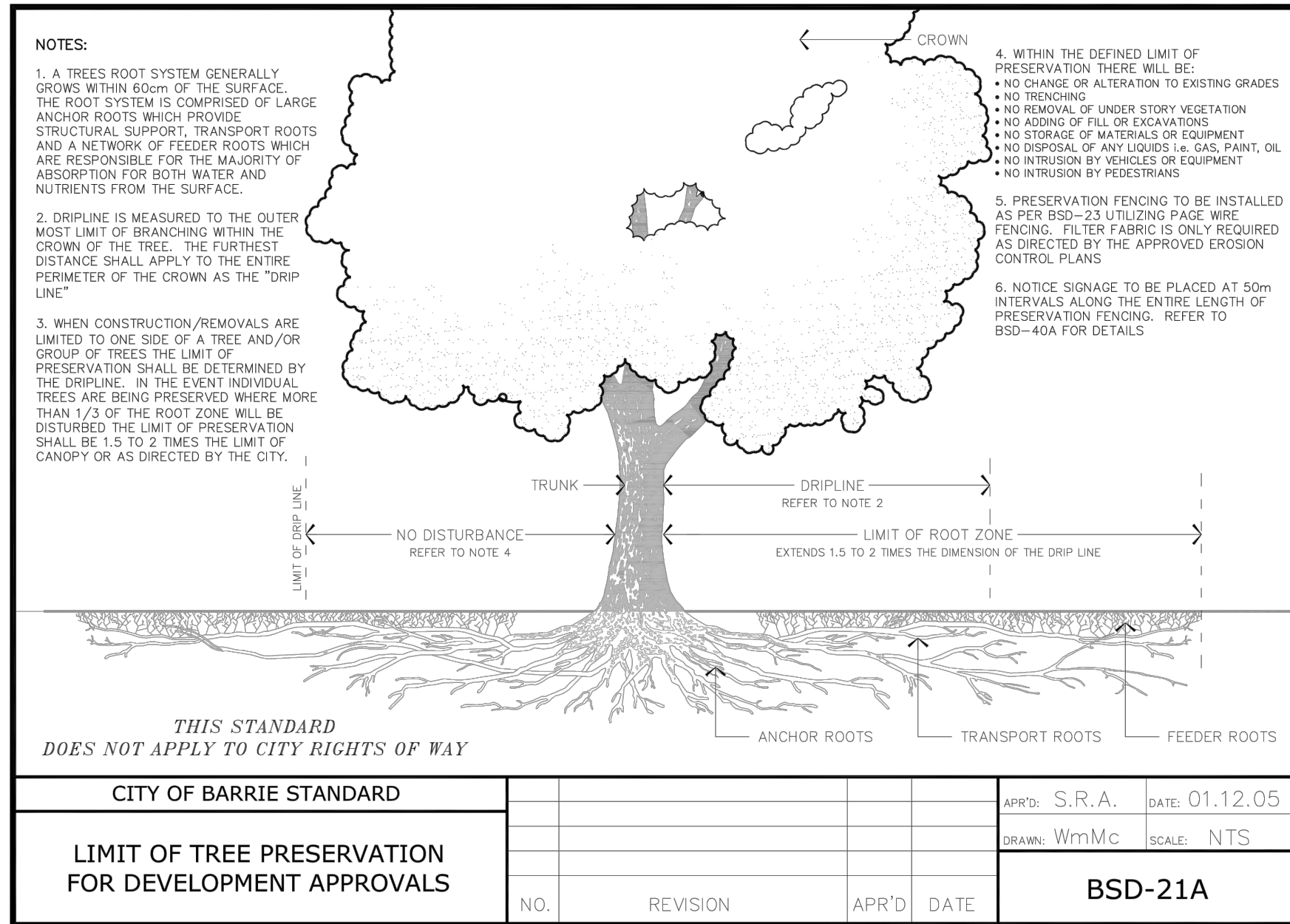
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	DRAWN BY H.H.
	PLAN SCALE AS NOTED
	FILE NO. 2069D
	CHECKED BY N.M.
	OTHER
PROJECT 79 COLLIER STREET BARRIE, ONTARIO	
FILE NAME LANDSCAPE DETAILS	DWG NO. L3



1
TI-1
TREE INVENTORY, REMOVALS, AND PROTECTION PLAN
SCALE: 1:150

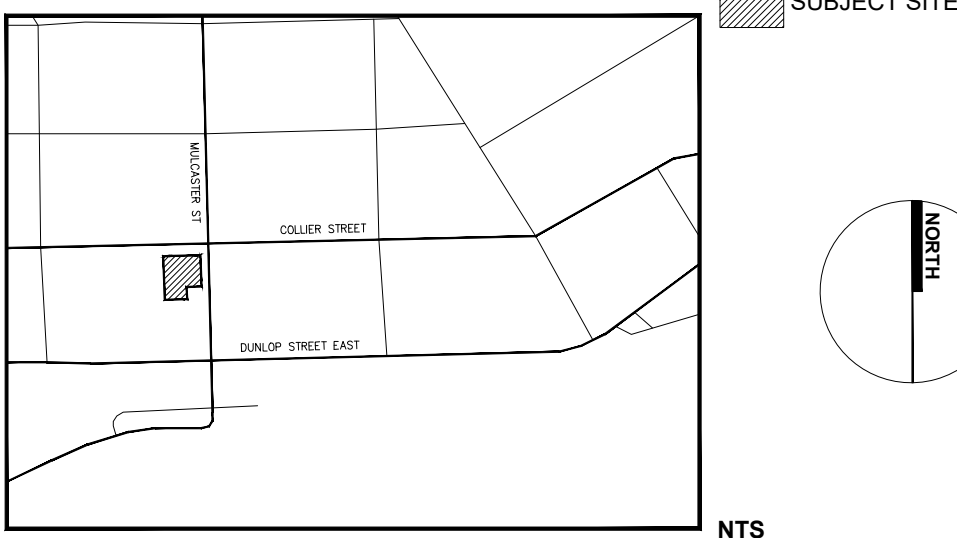
TREE INVENTORY NOTES

Tree #	Common Name	Botanical Name	DBH (CM)	Condition	Comments	Recommendation
1	Norway Maple	Acer platanoides	37	F/P	Signs of urban stress, tree is declining.	Remove due to construction
2	Norway Maple	Acer platanoides	30	P	Signs of rot in trunk, tree is declining.	Remove due to construction
3	Norway Maple	Acer platanoides	28	F/P	Signs of rot in trunk.	Remove due to construction
4	Norway Maple	Acer platanoides	30	F/P	Signs of urban stress, tree is declining.	Remove due to construction
5	Elm Sp.	Ulmus Sp.	78	F/P	Older growth tree, signs of urban stress.	Remove due to construction



2
TI-1
CITY OF BARRIE STANDARD
TREE PRESERVATION DETAIL

KEY PLAN



LEGEND

- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING TREE TO REMOVE (DECIDUOUS / CONIFEROUS)
- TREE PROTECTION FENCING PER CITY OF BARRIE STANDARDS THE FINAL LOCATION OF THE EXTENT OF PROPOSED TREE PROTECTION FENCING WILL BE CO-ORDINATED WITH THE ENGINEER AND ARBORIST TO ENSURE THAT DAMAGE TO EXISTING TREES IS MINIMIZED DURING CONSTRUCTION.
- PROPERTY LINE
- TREE IDENTIFICATION KEY (TREES TO BE RETAINED)
- TREE IDENTIFICATION KEY (TREES TO BE REMOVED)

GENERAL NOTES

- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
- This drawing is to be read in conjunction with the project site plan, landscape plan, and engineering plan.
- The tree inventory includes assessment of trees >10cm DBH. The trees have been assessed based on species, size and condition.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any removals.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only.
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of tree removals at no extra cost.
- This drawing is Copyright MHBC Planning, 2020.

2.	JANUARY 26, 2021	ISSUED FOR RE-SUBMISSION	HH
1.	AUGUST 21, 2020	ISSUED FOR SUBMISSION	HH

REVISION NO.	DATE	ISSUED / REVISION	BY
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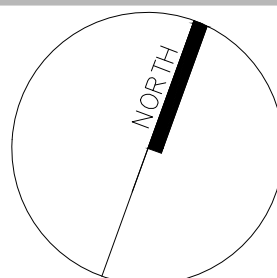
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	CHECKED BY	N.M.
	OTHER	

PROJECT

79 COLLIER STREET
BARRIE, ONTARIO



FILE NAME	TREE INVENTORY, PROTECTION, AND REMOVALS	DWG NO.	TI-1
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