

City of Barrie – 320 Bayfield Street – D28-003-2021

**Neighbourhood Meeting
January 11, 2022**

Agenda

- Meeting Purpose
- Subject Lands
- Proposal
- Similar Project → Whitby Mall
- Official Plan
- Zoning By-Law
- Process & Timeline

Meeting Purpose

- A pre-consultation meeting with City Staff occurred in March 2021.
- Through that meeting, Staff advised that a neighbourhood meeting would be required prior to formal application submission.
- This meeting is intended to provide residents and neighbours the opportunity to share comments and feedback on the proposal prior to submission.

Subject Lands

- The Subject Lands are located at 320 Bayfield Street (Bayfield Mall)
- Lands are situated northwest of Highway 400 between Bayfield Street to the east and Coulter Street to the west.
- Bayfield Mall totals a site area of 126,484.8 m² and currently hosts a diverse selection of retail stores and services.
- The immediate surrounding areas to Bayfield Mall contain:
 - residential areas to the north;
 - Commercial and retail to the east; and,
 - Environmental/open space to the south and west.

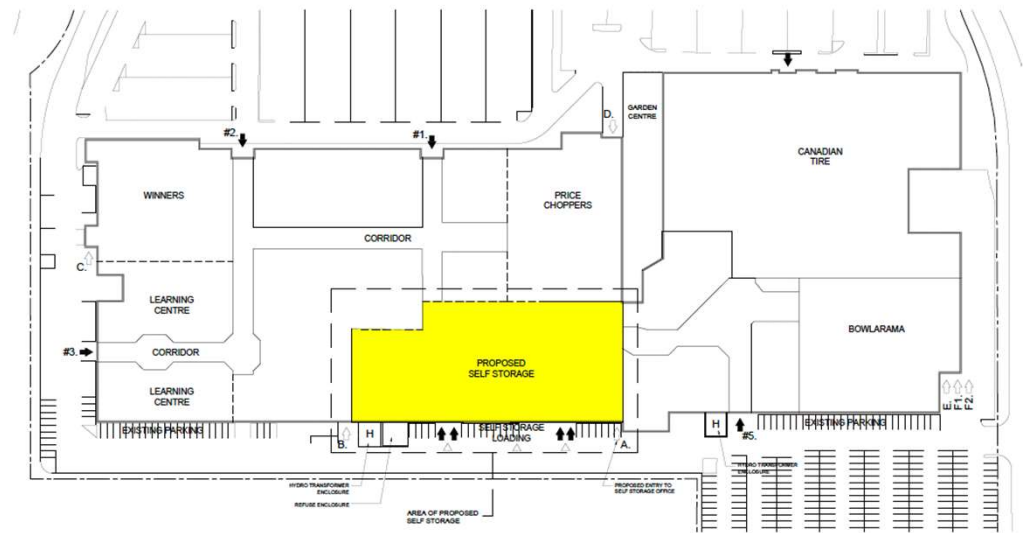


Subject Lands



Proposal

- The proposed development is to convert vacant space within Bayfield Mall for the purpose of a self-storage facility to help maximize the mall's tenancy opportunities.
- This development will primarily involve internal renovations with only minor exterior façade improvements.
- The proposal is strategically positioned at the south side of the mall to be generally out of sight and to avoid impeding future intensification opportunities along Bayfield Street.



Proposal



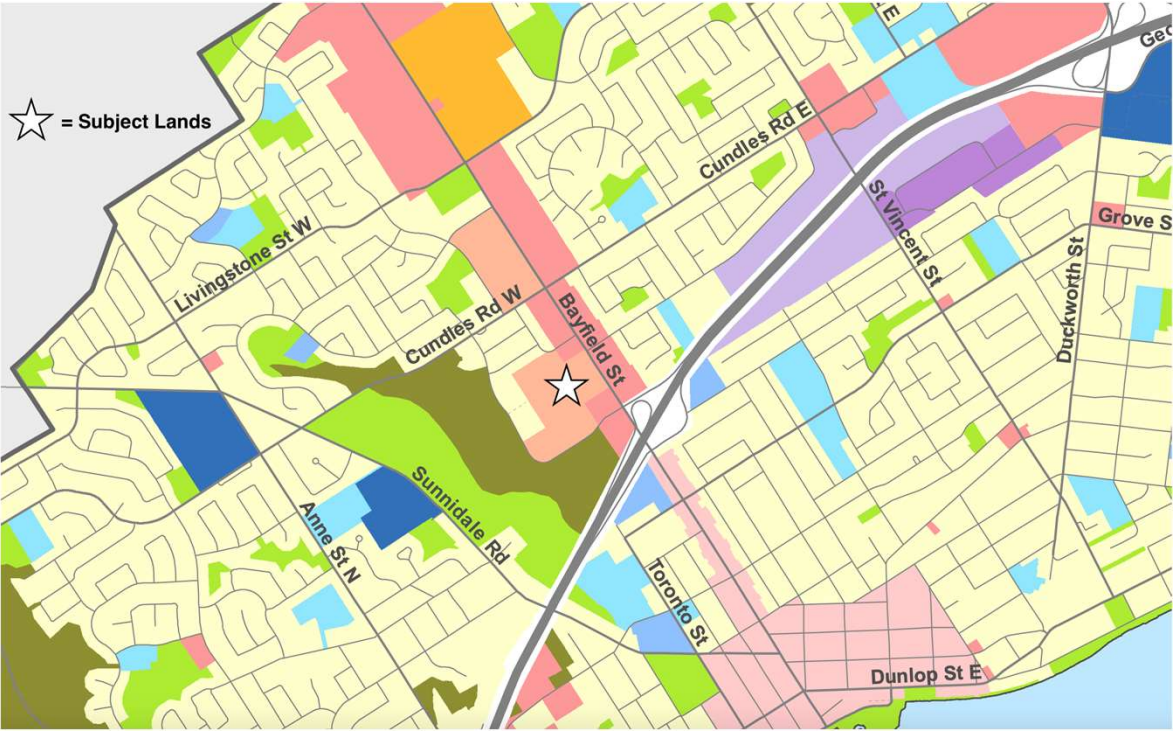
Proposal



Official Plan

OFFICIAL PLAN
Schedule A
Land Use
Office Consolidation
January 2018

	Residential		Institutional		Waste Disposal Assessment Area
	City Centre		Educational Institutional		City Boundary
	General Commercial		Major Institutional		Application Before the Ontario Municipal Board (OMB)
	Community Centre Commercial		Open Space		Secondary Plan Boundary
	Regional Centre Commercial		Environmental Protection Area		Settlement Area Boundary
	Mixed Use Nodes and Corridors		Special Rural Area		
	Business Park		Water Treatment Centre		
	Highway 400 Industrial		Waste Management Facility		
	General Industrial		Future Urban		
	Restricted Industrial				



Official Plan



- ❑ **Existing:** Community Centre Commercial
- ❑ **Proposed:** Community Centre Commercial with a Defined Policy Area to permit self-storage
Located within the Bayfield Planning Area on Schedule 'B'

- *The current Official Plan designation does not permit the proposed storage use and is therefore required to be amended prior to its permission.*
- The proposed development will require a Defined Policy Area (amendment to Schedule C) where the proposed use will occur.
- The proposed development will need to emphasize conformity to the following Official Plan policies:
 - 3.1 – Growth Management
 - 3.7 – Energy Conservation and Renewable Energy Systems
 - 4.3 – Commercial
 - 5.0 – Servicing and Transportation
 - 6.5 – Urban Design Guidelines

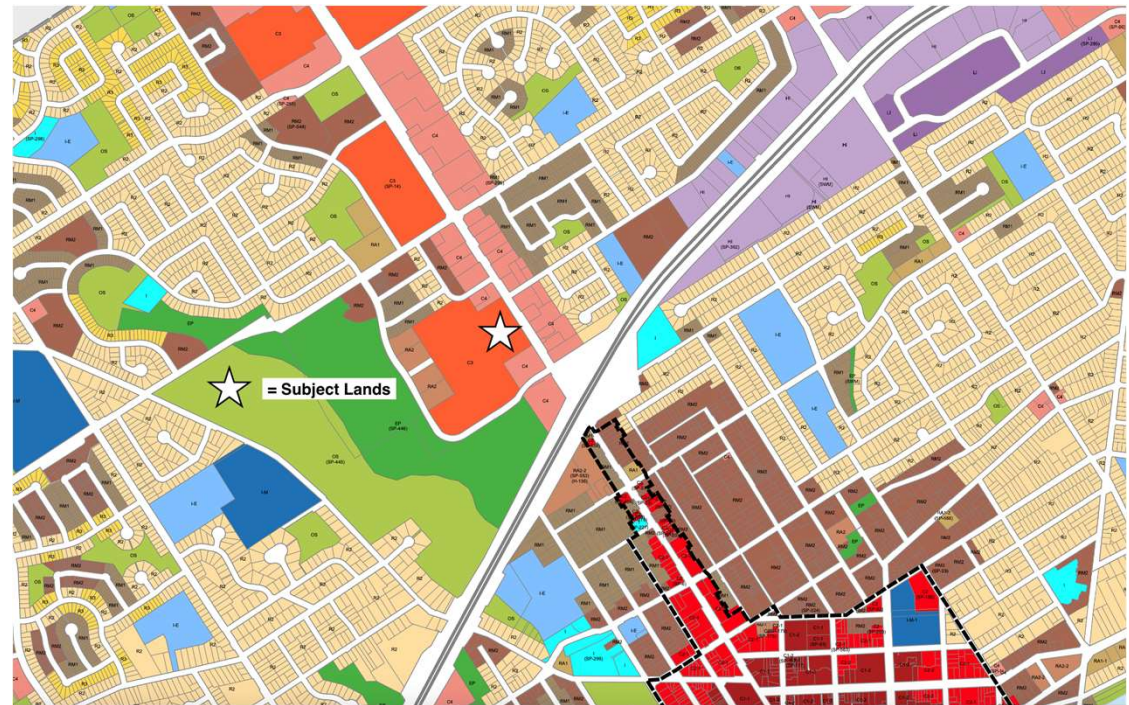
Zoning By-law



ZONING BY-LAW 2009-141 NORTH SECTION Office Consolidation January 2021

	Central Area Commercial (C1, C1-1, C1-2)
	Transition Centre Commercial (C2, C2-1, C2-2)
	Shopping Centre Commercial (C3)
	General Commercial (C4)
	Convenience Commercial (C5)
	Mixed Use Node (MU1)
	Mixed Use Corridor (MU2)
	Residential Hold (RH)
	Residential Single Detached Dwelling First Density (R1)
	Residential Single Detached Dwelling Second Density (R2, R2-WS)
	Residential Single Detached Dwelling Third Density (R3, R3-WS)
	Residential Single Detached Dwelling Fourth Density (R4, R4-WS)
	Residential Apartment Dwelling First Density (RA1, RA1-1, RA1-2, RA1-3)
	Residential Apartment Dwelling Second Density (RA2, RA2-1, RA2-2)
	Residential Multiple Dwelling First Density (RM1, RM1-SS, RM1-WS)
	Residential Multiple Dwelling Second Density (RM2, RM2-TH, RM2-TH WS)

*consolidated



Zoning By-law



- ☐ **Existing:** Shopping Centre Commercial (C3)
- ☐ **Proposed:** Shopping Centre Commercial with Site Specific Provisions (C3 SP-XXX) to permit self-storage

- The current zoning for the proposed development does not permit a self-storage use and a Zoning By-law Amendment to include site-specific provisions for the self-storage conversion would be required should the applicant proceed with the application.
- The Project Justification Report will outline all site-specific zoning provision(s) that will substantiate the proposed development as good planning.

Next Steps and Timelines

- Completion of neighborhood meeting - January 2022
- Receival of resident and councilor comments - January 2022
- Preparation and refinement of concept plan – January 2022
- Completion of technical and supporting studies (Planning Justification Report) - January 2022
- Submission of application - January / February 2022
- Receipt of staff and agency comments - March 2022
- Revision and resubmission of applications – April 2022
- Presentation to council and committee - May 2022
- Council/Committee Decision - TBD



Thank you!