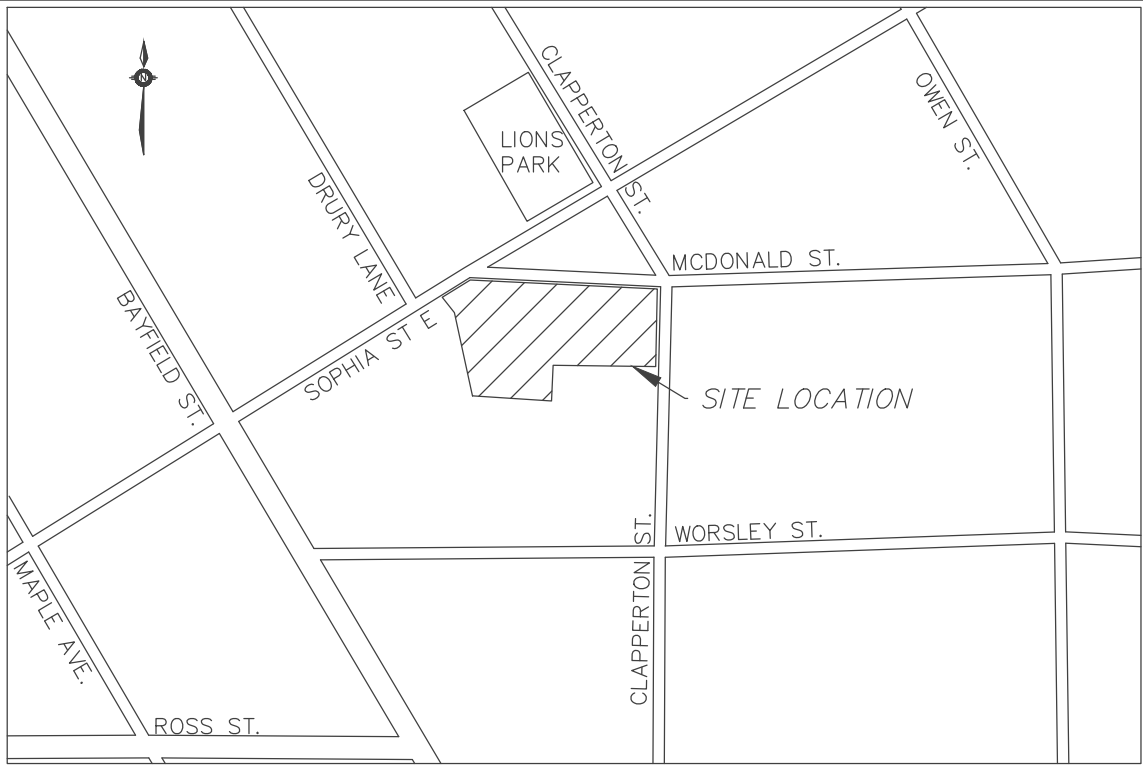


NOTES FOR SEDIMENT & EROSION CONTROL

- DISTURBED AREAS THAT HAVE FAILED TO HAVE STABLE GROUND COVER ESTABLISHED BY OCTOBER 30TH SHALL BE PROTECTED WITH A SILTATION CONTROL FENCE OR STRAW MULCH ETC. AND MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION BECOMES ESTABLISHED IN THE SUBSEQUENT GROWING SEASON.
- ANY DEWATERING WASTE SHALL BE DISCHARGED TO A VEGETATED AREA AT LEAST 30 M FROM ANY WATERCOURSE AND FILTERED. FILTERING METHODS MUST BE APPROVED BY THE SITE ADMINISTRATOR.
- SILT FENCE SHALL BE PUT IN PLACE PRIOR TO AND MAINTAINED DURING ALL GRADING. SILT FENCE SHALL COMPLY WITH OPSD 219.110 FOR LIGHT DUTY AND / OR OPSD 219.130 FOR HEAVY DUTY; UNLESS NOTED OTHERWISE. SILT FENCE TO BE INSPECTED PRIOR TO COMMENCEMENT OF EARTH GRADING ACTIVITIES. SILT FENCE TO BE INSPECTED AND REPAIRED OR REPLACED IF DAMAGED AS DIRECTED BY THE SITE ADMINISTRATOR. SILT CONTROLS TO BE INSPECTED ON A REGULAR BASIS AND AFTER EVERY RAIN EVENT. INSTALLATION SHALL BE TO THE MANUFACTURER'S SUGGESTED SPECIFICATIONS.
- THE CONTRACTOR SHALL BE PREPARED FOR UNEXPECTED CONDITIONS AND ACCORDINGLY HAVE STOCKPILED MATERIALS ON SITE FOR NECESSARY REPAIRS AS A RESULT OF FAILED OR INADEQUATE CONTROL MEASURES. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK, AND AFTER EVERY RAINFALL EVENT.
- MUD MATS WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES THE SITE SHALL BE USED. MUD MATS TO BE 300mm IN DEPTH, 6.0m WIDE BY 20.0m LONG, FIRST 10.0m TO 150mmØ CLEAR STONE WITH THE REMAINING 10.0m CONSISTING OF 50mmØ CLEAR STONE; OR MEET MUNICIPAL STANDARDS WHERE IDENTIFIED.
- CONTRACTOR SHALL OBTAIN A CURRENT COPY AND BECOME FAMILIAR WITH OPSS 805, CONSTRUCTION SPECIFICATION FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS WELL AS ALL APPLICABLE MUNICIPAL STANDARDS.
- THE CONTRACTOR MAY CONSIDER ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES. SUCH MEASURES SHOULD BE PRESENTED IN WRITING FOR APPROVAL OF THE SITE ADMINISTRATOR AND MUST BE APPROVED IN WRITING BY THE CONSERVATION AUTHORITY.
- THE TOPS OF ALL FILTER FABRIC MUST BE A MINIMUM OF 1.0 METRES ABOVE THE GROUND LEVEL AND ATTACHED TO THE FENCE WITH A CONTINUOUS STEEL WIRE. ALTERNATIVELY, THE FILTER FABRIC MUST BE FOLDED OVER THE TOP OF THE FENCE AND ATTACHED TO THE FENCE WITH WIRE LOOPED THROUGH THE FABRIC ON BOTH SIDES OF THE FENCE. FILTER FABRIC IS TO BE TERRAFIX 270R OR EQUIVALENT.
- ALL DISTURBED GROUND LEFT INACTIVE SHALL BE STABILIZED BY SEEDING, SODDING, MULCHING, OR COVERING OR OTHER EQUIVALENT CONTROL MEASURES. THIS PERIOD OF INACTIVITY SHALL BE AT THE DISCRETION OF THE MUNICIPAL DIRECTOR OF ENGINEERING BUT SHALL NOT EXCEED THIRTY DAYS OR SUCH LONGER PERIOD DEEMED ADVISABLE BY THE MUNICIPAL DIRECTOR OF ENGINEERING.
- CONTRACTOR SHALL INSTALL AND MAINTAIN CATCHBASIN SEDIMENT BARRIERS THROUGHOUT THE SITE DURING ALL CONSTRUCTION ACTIVITIES IN ORDER TO TRAP SEDIMENT.

SEQUENCE OF CONSTRUCTION

- ENGINEER TO BE NOTIFIED PRIOR TO INITIATION OF ANY ON SITE WORKS.
- SILT FENCE AND CONSTRUCTION ACCESS MATS TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORKS ONSITE.
- VEGETATION REMOVAL MAY COMMENCE AFTER ALL SILT FENCE IS INSTALLED AND APPROVED BY THE ENGINEER.
- COMMENCE WITH EARTH EXCAVATION AND SITE SERVICING (TO BE REMOVED FROM SITE – NO STOCKPILE).
- EROSION CONTROL MEASURES TO BE MAINTAINED AS DIRECTED BY THE ENGINEER DURING THE CONSTRUCTION PERIOD. ADDITIONAL CONTROL MEASURES MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER.
- ALL DISTURBED GROUND LEFT INACTIVE FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH SEED, SOD, MULCH OR OTHER ADEQUATE COVERING, AS INSTRUCTED BY THE ENGINEER.

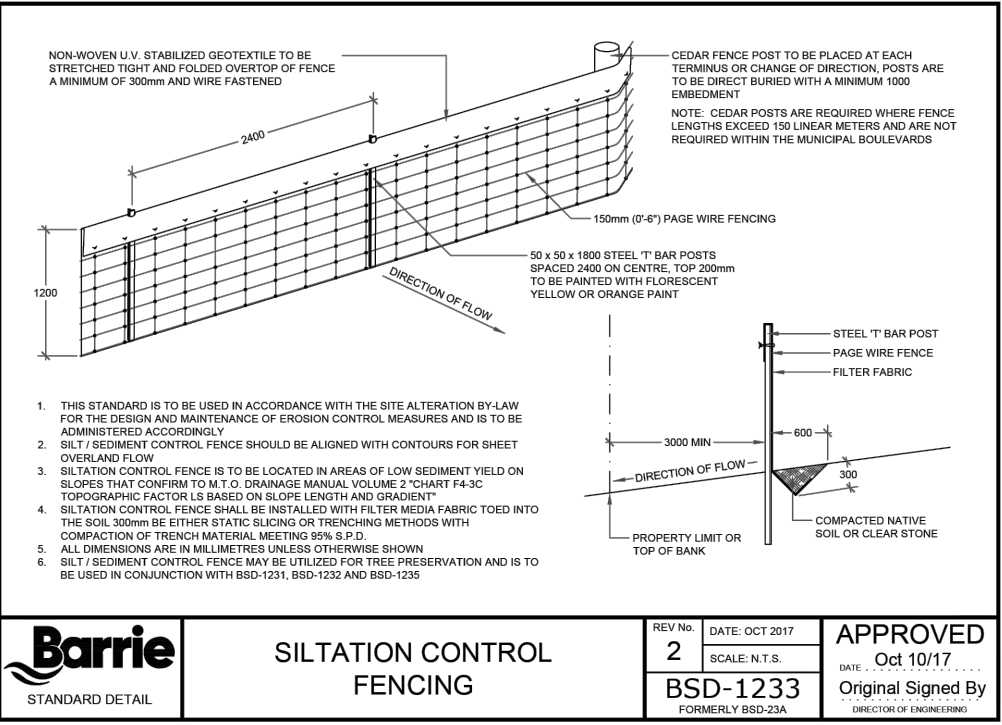
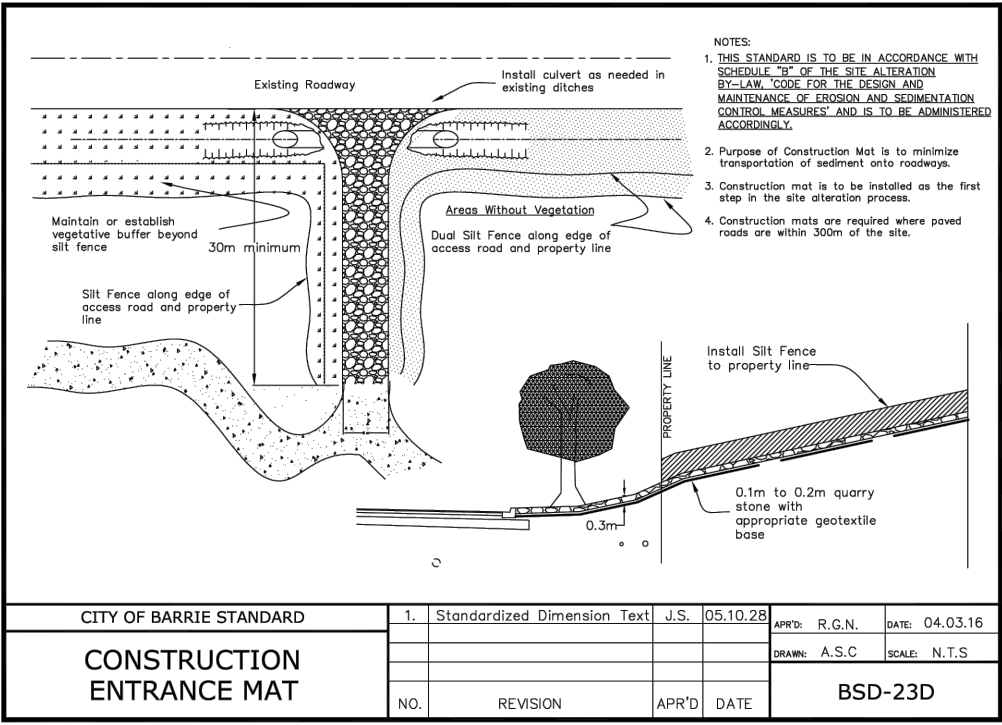
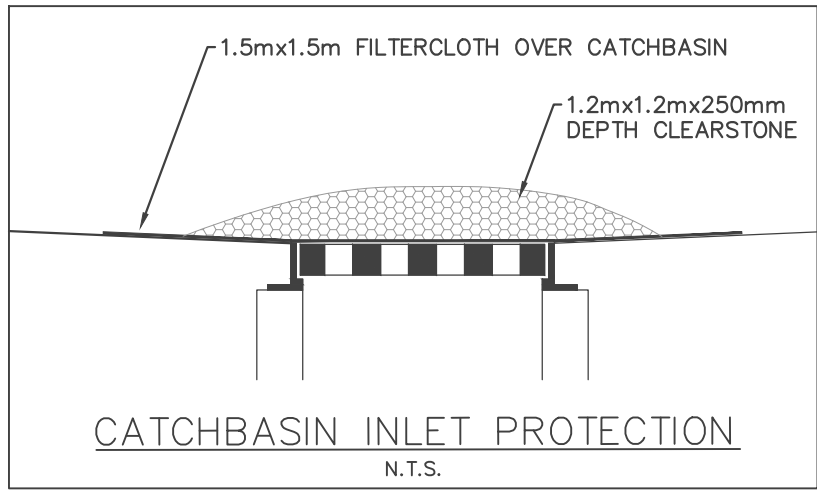
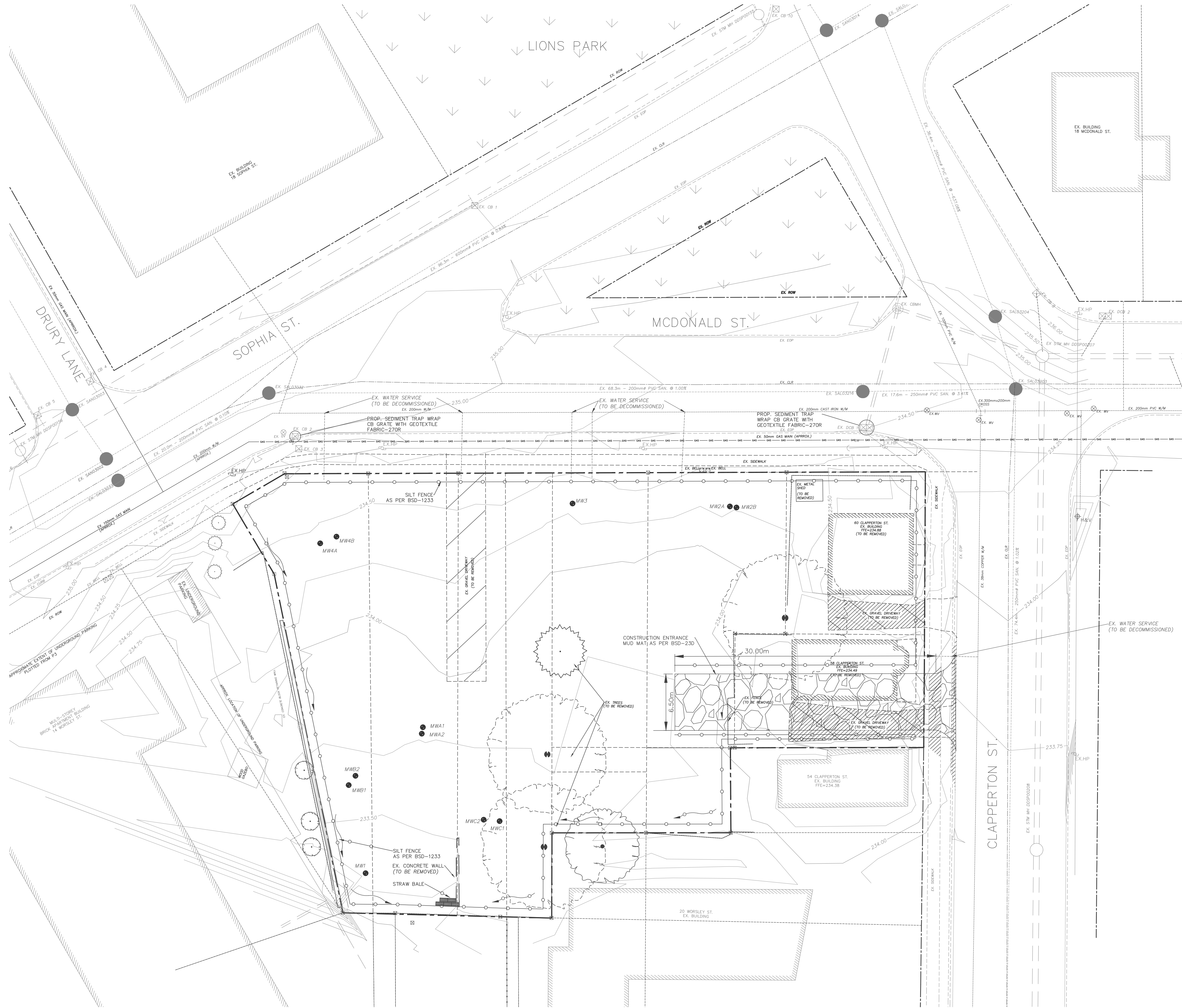


KEYMAP

N.T.S.

LEGEND

- SILT FENCE
- STRAW BALE
- DIRECTION OF INTERIM OVERLAND FLOW
- ASPHALT REMOVAL AREA
- CONCRETE REMOVAL AREA



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This drawing may have been reduced.
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No.	Issuance Description	YYMMDD
1.	CLIENT REVIEW	21/10/04
2.	ZONING BY-LAW AMENDMENT APPLICATION	22/04/11
3.	ZONING BY-LAW AMENDMENT APPLICATION	22/10/26

ZONING BYLAW
AMENDMENT APPLICATION

Client
BLACK CREEK GROUP

Project
17 SOPHIA STREET

17 Sophia Street
3.57 & 11 McDonald Street
58 & 60 CLAPPERTON STREET

EROSION & SEDIMENT
CONTROL PLAN
& REMOVALS PLAN

Project No. 1510-001-21 Designed by: RM Checked by: KF
Scale: 1:250 Drawn by: RM Approved by: NI

Orientation Stamp



Drawing No.

ESC-1

1. DRAWINGS

- THE NOTES ON THIS SHEET APPLY TO ALL WORKS UNDER THIS CONTRACT UNLESS OTHERWISE NOTED ON THE SPECIFIC DETAIL DWGS.
- THE CITY OF BARRIE STANDARD DRAWINGS, ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS (OPSD) AND THE ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) CONSTITUTE PART OF THE PLANS OF THIS CONTRACT.
- ORDER OF PRECEDENCE OF STANDARD DRAWINGS IS FIRSTLY THE LOCAL MUNICIPALITY AND SECONDLY ONTARIO PROVINCIAL STANDARD DRAWINGS.
- THE STANDARD DRAWINGS INCLUDED WITH THESE PLANS ARE PROVIDED FOR CONVENIENCE ONLY AND ARE NOT TO BE CONSTRUED TO BE A COMPLETE SET FOR THE PURPOSE OF THE CONTRACT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL RELEVANT STANDARD DRAWINGS AND SPECIFICATIONS AS REQUIRED FOR THIS CONTRACT.

2. MEASUREMENTS

- ALL DIMENSIONS ARE IN METRES, EXCEPT PIPE DIAMETERS, WHICH ARE IN MILLIMETRES, UNLESS SPECIFIED OTHERWISE.
- ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION, AND ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.

3. GENERAL

- EXISTING SERVICES AND UTILITIES SHOWN ON THESE CONTRACT DRAWINGS ARE BASED ON THE BEST INFORMATION AVAILABLE AND THEIR LOCATIONS ARE NOT GUARANTEED. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS THEY WISH WITH THE UNDERSTANDING THAT THE OWNER DISCLAIMS ALL RESPONSIBILITY FOR ITS ACCURACY AND/OR SUFFICIENCY. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- NATIVE MATERIAL, SUITABLE FOR BACKFILL, SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- GRANULAR MATERIAL, USED FOR BACKFILL, SHALL BE PLACED IN LAYERS 150mm IN DEPTH MAXIMUM AND COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- ALL DISTURBED AREAS ARE TO BE REINSTATED TO THEIR ORIGINAL CONDITION OR BETTER, AS DETERMINED BY THE ENGINEER. ALL GRASS AND VEGETATION COVERED AREAS SHALL BE RESTORED BY PLACING 200mm OF APPROVED TOPSOIL AND NURSERY SOD UNLESS NOTED OTHERWISE.

4. PARKING LOT

- THE PARKING LOT PAVEMENT STRUCTURE SHALL CONSIST OF THE FOLLOWING:
 - LIGHT DUTY**
 - 40mm HL3 or HL4 ASPHALT
 - 60mm HL8
 - 150mm GRANULAR 'A'
 - 300mm GRANULAR 'B'
 - HEAVY DUTY**
 - 50mm HL3 or HL4 ASPHALT
 - 70mm HL8
 - 150mm GRANULAR 'A'
 - 450mm GRANULAR 'B'
- NATIVE SUBGRADE TO BE COMPACTED TO MINIMUM 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- PAVEMENT STRUCTURE TO BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO START OF CONSTRUCTION

5. SEWERS

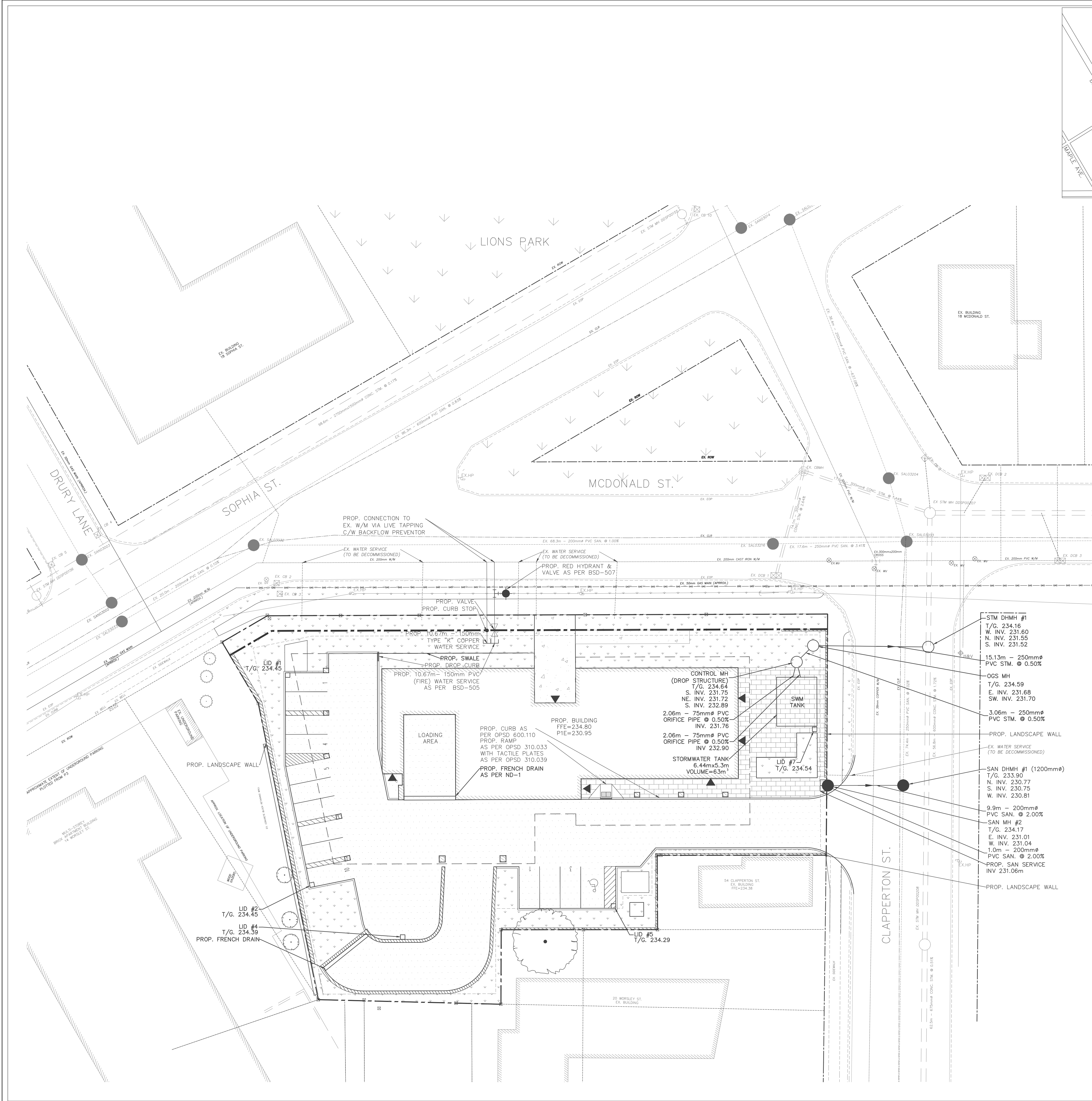
- INTERNAL SANITARY SEWERS AND LATERALS TO BE MINIMUM 150mm DIAMETER PVC DR 28 WITH JOINTS CONFORMING TO CSA STANDARD A257.3.
- SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS PER OPSD 802.010 (GRANULAR 'A' EMBEDMENT MATERIAL), UNLESS APPROVED OTHERWISE BY THE ENGINEER.
- PRECAST MANHOLES SHALL BE 1200mm DIAMETER UNLESS OTHERWISE SPECIFIED, AND SHALL BE IN ACCORDANCE WITH OPSD 701.010. FRAME AND GRATE TO BE WATERTIGHT AND TO CONFORM TO OPSD 401.030.
- MANHOLE TOPS ARE TO BE SET TO FINAL GRADE.

6. WATERMAINS

- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE WATERMAIN AND THE SANITARY/STORM SEWER IS TO BE 2.5 METERS.
- A MINIMUM OF 0.5m VERTICAL CLEARANCE BETWEEN THE WATERMAIN AND ALL UTILITIES MUST BE KEPT, WHILE STILL MAINTAINING A MINIMUM DEPTH OF COVER AT ALL TIMES. WHERE WATERMAIN CONFLICTS WITH SEWER PIPE, DEFLECT WATERMAIN HORIZONTALLY OR VERTICALLY TO OBTAIN MINIMUM COVER AND VERTICAL CLEARANCE.
- WATERMAINS SHALL BE PVC DR 18 AND INSTALLED WITH A MINIMUM COVER OF 1.7m OVER THE MAINS. IF MINIMUM COVER CAN NOT BE ACHIEVED, INSULATION AS PER DETAIL (THIS SHEET) WILL BE REQUIRED.
- WATERMAIN SHALL BE CONSTRUCTED WITH BEDDING AS PER OPSD 802.010 (GRANULAR 'A' EMBEDMENT MATERIAL) FOR FLEXIBLE PIPES.
- COPPER WATER SERVICES 25mm DIA. SHALL BE EMBEDDED IN SAND 100mm ABOVE AND BELOW TO CONFORM TO OPSD 1104.010.
- WATERMAIN BEDDING SHALL CONSIST OF WINTER SAND, 150mm BELOW AND 300mm ABOVE THE WATERMAIN.
- CONCRETE THRUST BLOCKS ARE TO BE INSTALLED AT ALL TEES, BENDS, HYDRANTS, ENDS OF MAINS AND CONNECTIONS 100mm AND LARGER AS PER STANDARD DRAWINGS. ALL BENDS TO BE RESTRAINED.
- ALL JOINTS MUST BE RESTRAINED AND THRUST BLOCKED.
- ANY EXISTING, ON SITE, WATER WELLS MUST BE DECOMMISSIONED.
- WHERE A COPPER SERVICE MUST BE JOINED UNDER THE FLOOR, THE COPPER SHALL BE JOINED BY SILVER SOLDER CONNECTION ONLY.
- ALL SERVICE PIPE MATERIAL MUST BE DUCTILE IRON FROM THE RESTRAINING FLANGE TO A MINIMUM OF 3 METERS OUTSIDE THE FOUNDATION. REFER TO BSD-61. ALL DUCTILE SHALL BE POLY WRAPPED FOR ADDED PROTECTION.
- OPERATION OF FIRE HYDRANTS AND VALVES ON POTABLE WATER BY OTHER THAN MUNICIPAL WORKS DEPARTMENT IS PROHIBITED.
- THE CITY WILL SWAB, CHLORINATE AND FLUSH ALL NEW SERVICES. THE CONTRACTOR SHALL PERFORM PRESSURE TEST WITH WATER FIELD COORDINATOR WITNESSING.
- EXTERNAL CONTRACTOR TO COORDINATE WITH INTERNAL CONTRACTOR ON ALL INSTALLATION, SWABBING, CHLORINATING AND TESTING WITNESSED BY WATER FIELD SERVICES COORDINATOR.
- RESTRAINING WILL BE REQUIRED ON ALL HYDRANTS A MINIMUM OF THREE LENGTHS OF PIPE. HYDRANTS TO BE PAINTED RED.
- TRACING WIRE (#12 TWU STRANDED COPPER) TO BE INSTALLED ON THE TOTAL LENGTH OF ALL PVC WATERMAINS AND BROUGHT UP AT EACH HYDRANT AND CONNECTED TO FLANGE BOLT.
- SERVICE TAPINGS SHALL BE PLACED AT A MINIMUM SEPARATION OF 1.0m AND A MINIMUM OF 0.6m FROM JOINTS.
- CONTRACTOR TO PROVIDE PLAN FOR REMOVING CHLORINATED WATER FROM SITE.
- A CHLORINATION TAIL SHALL BE INSTALLED JUST BEHIND TAPPING VALVE TO FACILITATE CHLORINATING SERVICE, TO BE REMOVED AFTER TESTING.

GENERAL NOTES				
1. GENERAL				
A. ALL DRAWINGS SHALL BE PROVIDED IN ACCORDANCE WITH CURRENT CITY OF BARRIE STANDARDS AND SPECIFICATIONS (OPSD) AND THE ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD).				
B. MEASUREMENTS				
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LEGEND

- PRIVACY FENCE
- ACOUSTIC FENCE
- CHAIN LINK FENCE
- SILT FENCE
- GAS LINE
- HYDRO LINE
- BELL LINE
- UNDERGROUND PARKING
- ROOF OVERHANG
- EXISTING SANITARY MAINTENANCE HOLE
- PROPOSED SANITARY MAINTENANCE HOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING STORM MAINTENANCE HOLE
- PROPOSED STORM MAINTENANCE HOLE
- SERVICE CAP
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE BOX
- EXISTING VALVE BOX
- PROPOSED SIGN
- EXISTING LIGHT POLE
- MANDOOR
- OVERHEAD DOOR
- FIRE DEPT CONNECTION

- LANDSCAPE AREA
- ASPHALT AREA
- CONCRETE AREA
- INTERLOCK AREA

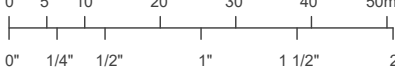


222 Mapleview Drive West, Suite 300
Barrie, ON L4N 9E7 Canada
Tel: 705.737.3303
Fax: 705.737.1772
www.gerritseng.com

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No.	Issuance Description	YYMMDD
1.	CLIENT REVIEW	21/10/04
2.	ZONING BY-LAW AMENDMENT APPLICATION	22/04/11
3.	ZONING BY-LAW AMENDMENT APPLICATION	22/10/26

ZONING BYLAW AMENDMENT APPLICATION

Client
BLACK CREEK GROUP

Project
17 SOPHIA STREET

17 Sophia Street
3.57 & 11 McDonald Street
58 & 60 CLAPPERTON Street

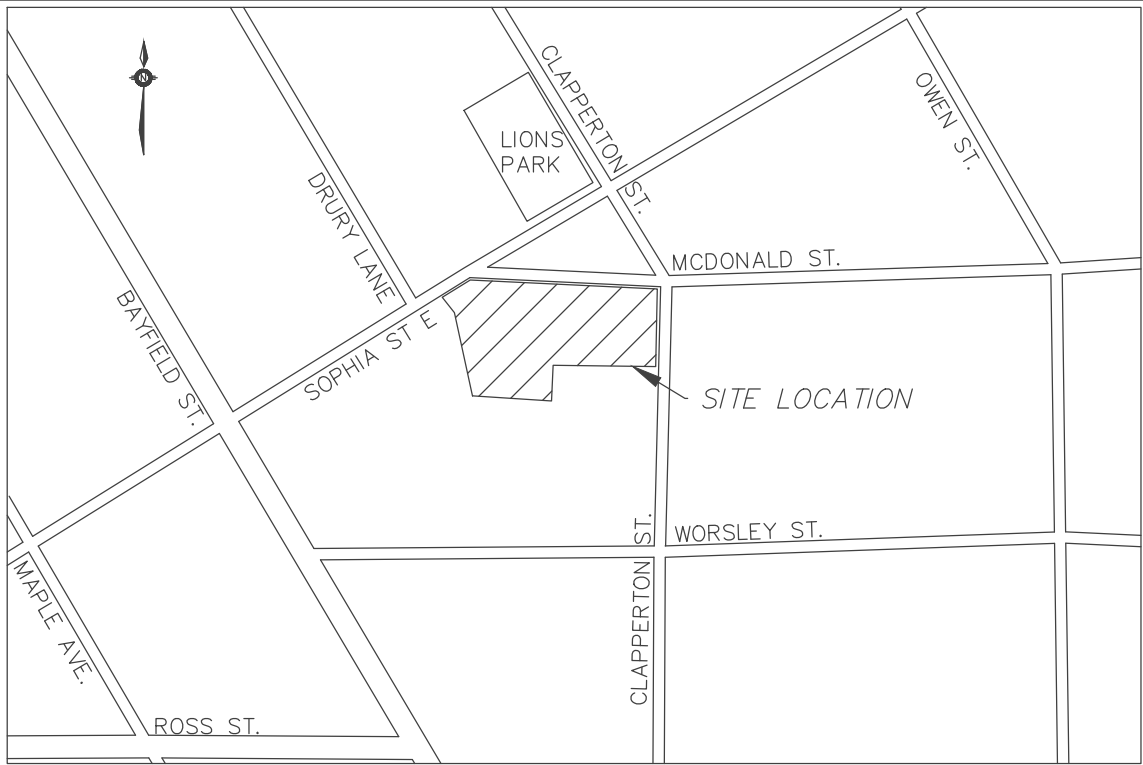
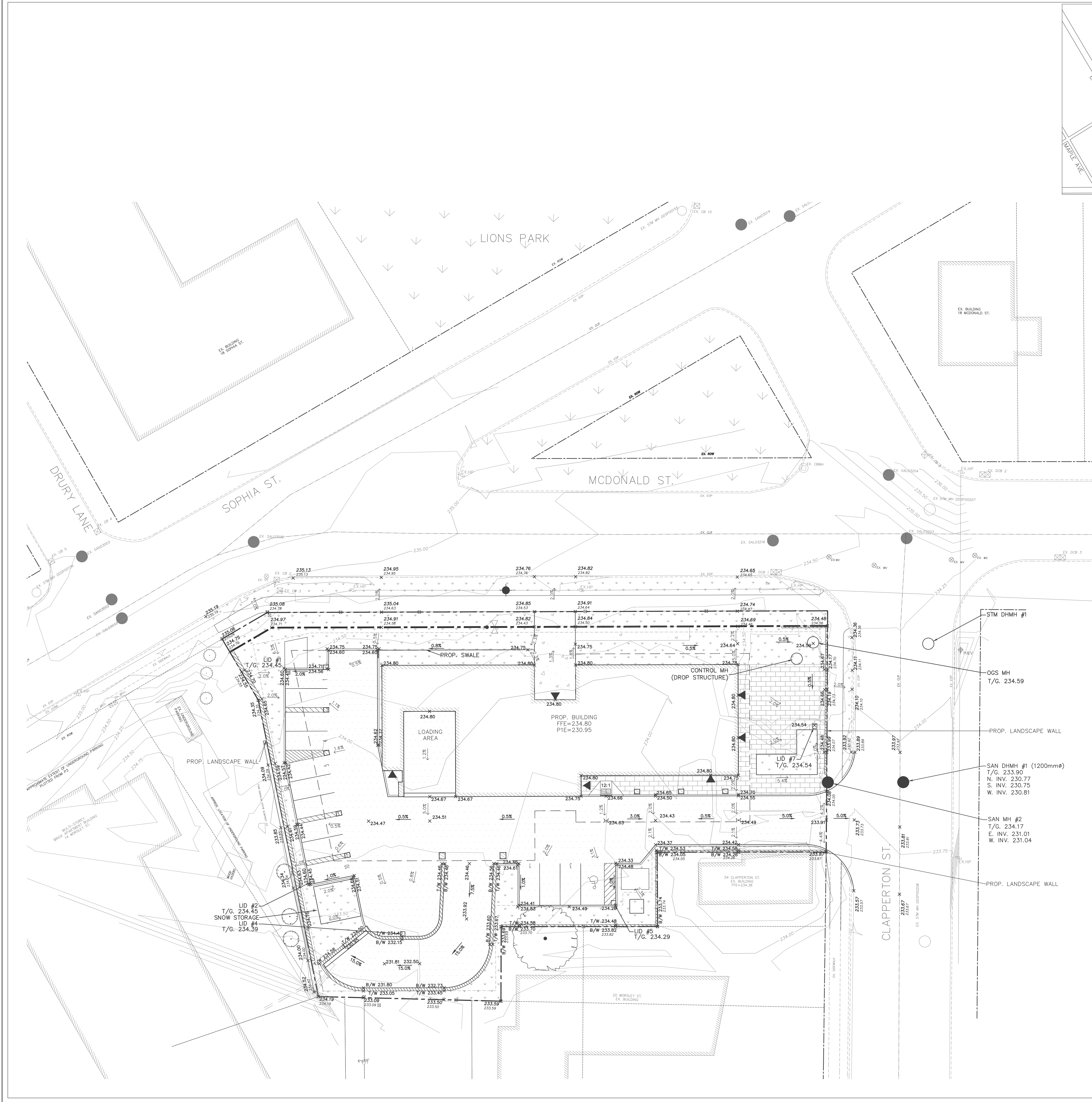
SITE SERVICING PLAN

Project No.	1510-001-21	Designed by:	RM	Checked by:	KF
Scale:	1:250	Drawn by:	RM	Approved by:	NI
Orientation	Stamp				



Drawing No.

SS-1



KEYMAP
N.T.S

LEGEND

- PRIVACY FENCE
- ACOUSTIC FENCE
- CHAIN LINK FENCE
- SILT FENCE
- GAS LINE
- HYDRO LINE
- BELL LINE
- UNDERGROUND PARKING
- ROOF OVERHANG
- EXISTING SANITARY MAINTENANCE HOLE
- PROPOSED SANITARY MAINTENANCE HOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING STORM MAINTENANCE HOLE
- PROPOSED STORM MAINTENANCE HOLE
- SERVICE CAP
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE BOX
- EXISTING VALVE BOX
- PROPOSED SIGN
- EXISTING LIGHT POLE
- MANDOOR
- OVERHEAD DOOR
- FIRE DEPT CONNECTION

- LANDSCAPE AREA
- ASPHALT AREA
- CONCRETE AREA
- INTERLOCK AREA
- PROPOSED ELEVATION T/W-TOP WALL
- EXISTING ELEVATION B/W-BOTTOM WALL
- PROPOSED GRADE
- HIGH POINT
- MECHANICAL PLANT ROOM
- ELECTRICAL PLANT ROOM



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0 5 10 20 30 40 50mm
0" 1/4" 1/2" 1" 1 1/2" 2"

No.	Issuance Description	YYMMDD
1.	CLIENT REVIEW	21/10/04
2.	ZONING BY-LAW AMENDMENT APPLICATION	22/04/11
3.	ZONING BY-LAW AMENDMENT APPLICATION	22/10/26

ZONING BYLAW
AMENDMENT APPLICATION

Client
BLACK CREEK GROUP

Project
17 SOPHIA STREET

17 Sophia Street
3.57 & 11 McDonald Street
58 & 60 CLAPERTON Street

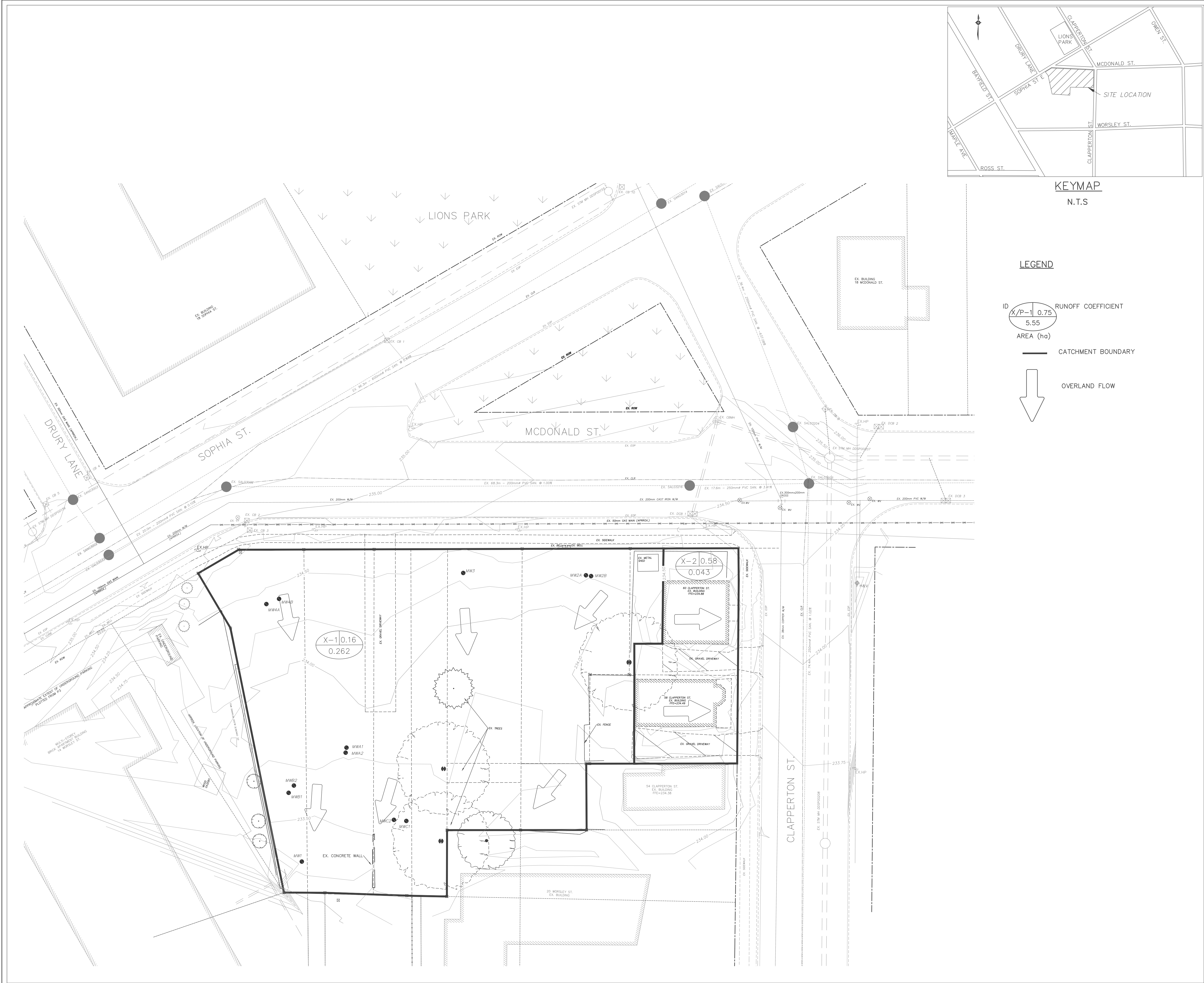
GRADING PLAN

Project No.	1510-001-21	Designed by:	RM	Checked by:	KF
Scale:	1:250	Drawn by:	RM	Approved by:	NI
Orientation	Stamp				



Drawing No.

GR-1



KEYMAP
N.T.S

LEGEND

- ID $\frac{X/P-1}{5.55}$ RUNOFF COEFFICIENT
AREA (ha)
CATCHMENT BOUNDARY
OVERLAND FLOW



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0" 1/4" 1/2" 1" 1 1/2" 2"

No.	Issuance Description	YY/MM/DD
1.	CLIENT REVIEW	21/10/04
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3.	ZONING BY-LAW AMENDMENT APPLICATION	22/10/26

Issued For:
**ZONING BYLAW
AMENDMENT APPLICATION**

Client
BLACK CREEK GROUP

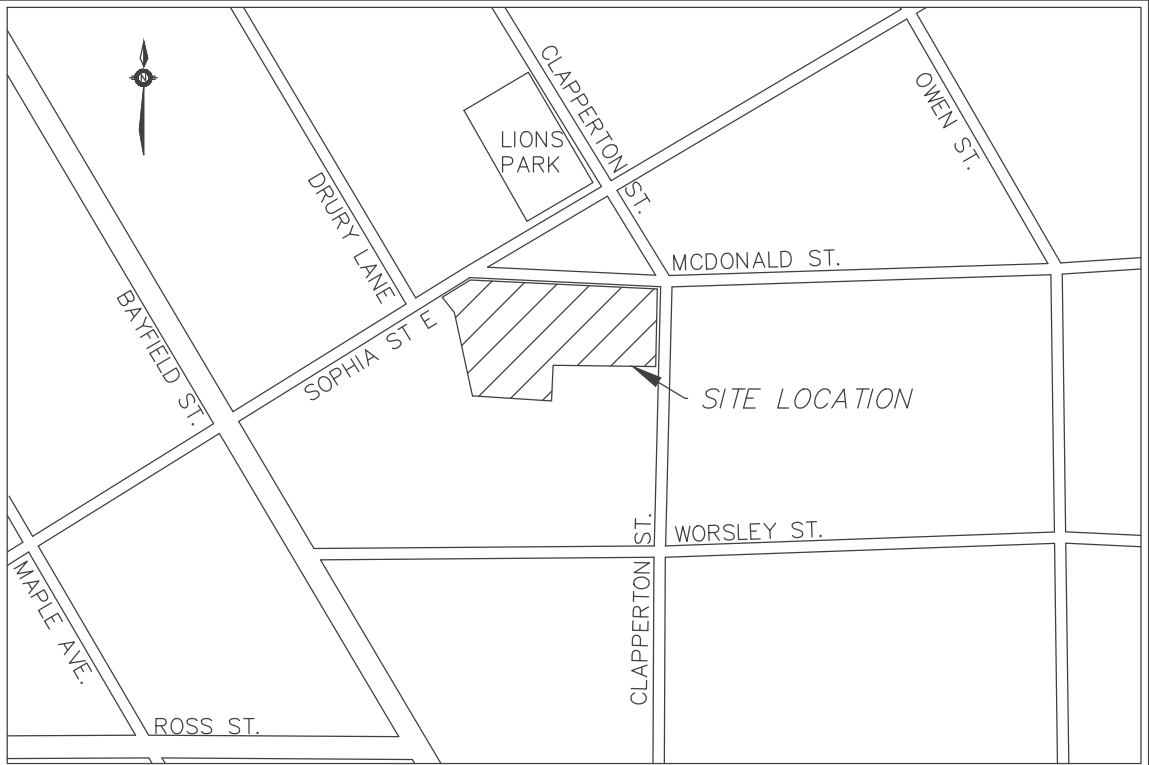
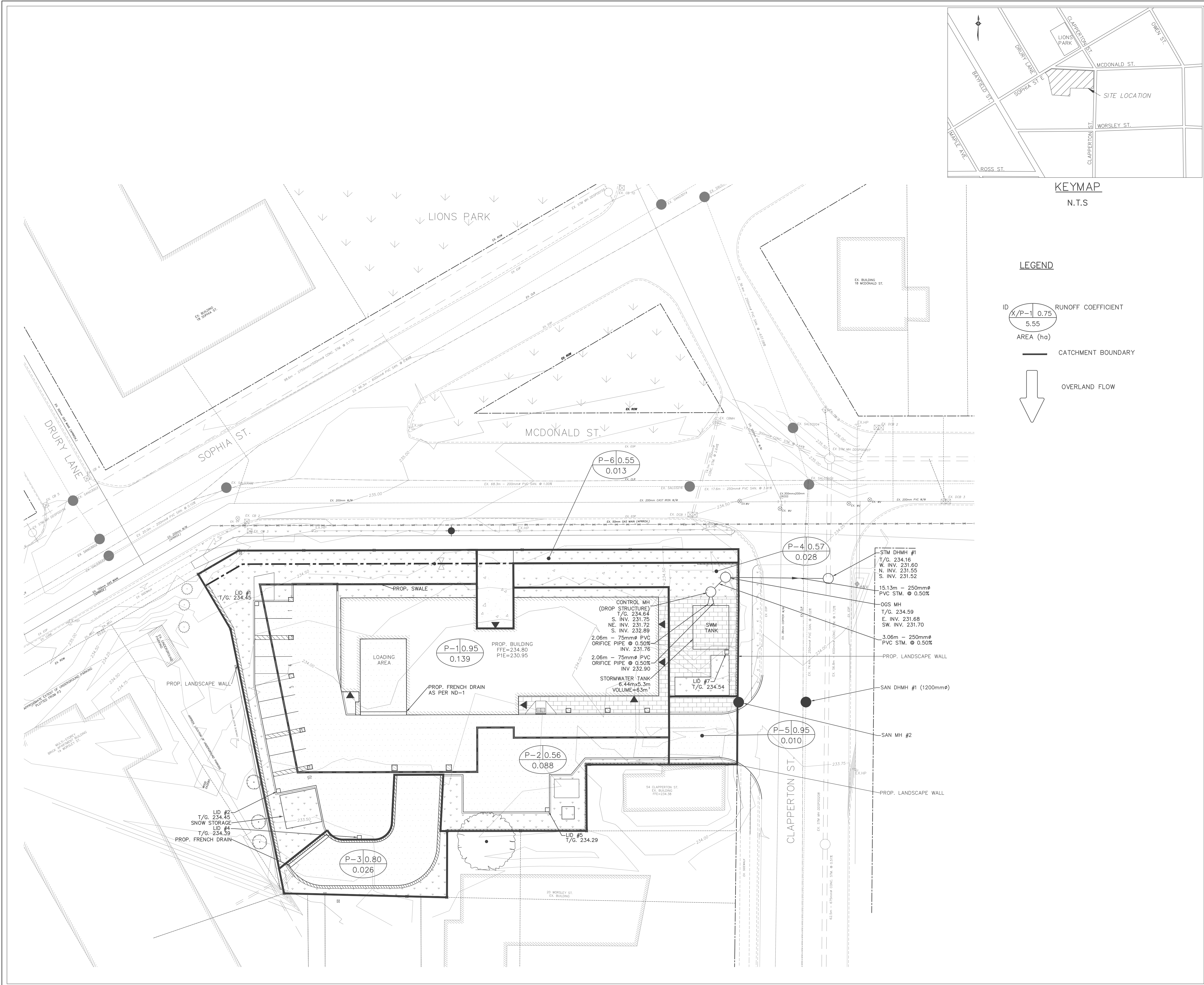
Project
17 SOPHIA STREET
17 Sophia Street
3.57 & 11 McDonald Street
58 & 60 Clapperton Street

Drawing:
**PRE-DEVELOPMENT
STORMWATER
MANAGEMENT PLAN**

Project No.	1510-001-21	Designed by:	RM	Checked by:	KF
Scale:	1:250	Drawn by:	RM	Approved by:	NI
Orientation	Stamp				

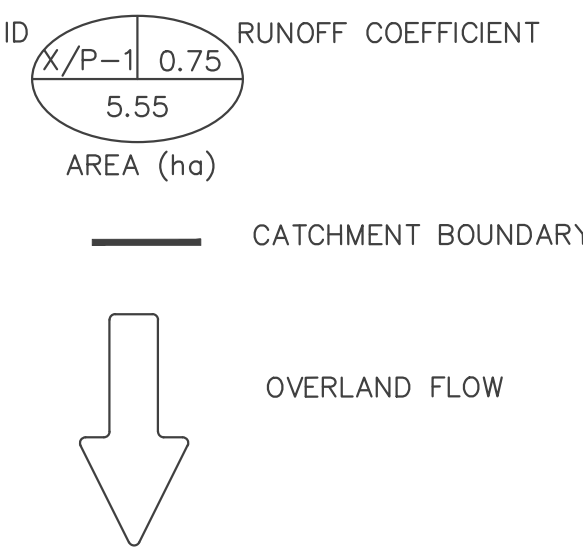


Drawing No. **STM-1**



KEYMAP
N.T.S

LEGEND



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0" 1/4" 1/2" 1" 1 1/2" 2"

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3.	ZONING BY-LAW AMENDMENT APPLICATION	22/10/26

Issued For:
**ZONING BYLAW
AMENDMENT APPLICATION**

Client
BLACK CREEK GROUP

Project
17 SOPHIA STREET
17 Sophia Street
3.57 & 11 McDonald Street
58 & 60 Clapperton Street

Drawing:
**POST-DEVELOPMENT
STORMWATER
MANAGEMENT PLAN**

Project No.	1510-001-21	Designed by:	RM	Checked by:	KF
Scale:	1:250	Drawn by:	RM	Approved by:	NI
Orientation	Stamp				



Drawing No.
STM-2