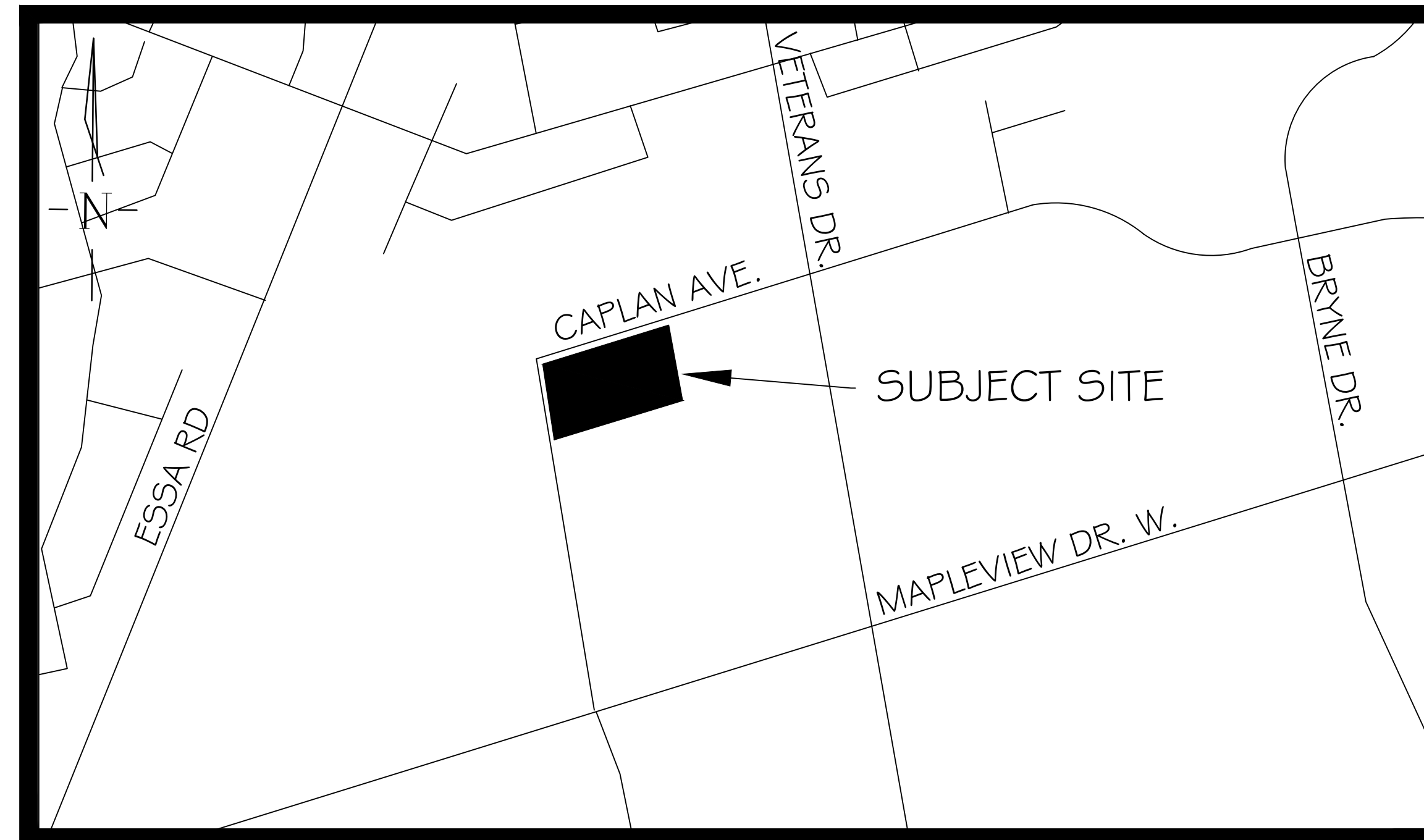


149 CAPLAN AVE,  
BARRIE, ON  
MUNICIPAL FILE: D11-029-2020

LANDMARK ENVIRONMENTAL GROUP LTD.

PROJECT NO. LA 486-20



KEY PLAN N.T.S.

DRAWING LIST:

- |      |                                   |
|------|-----------------------------------|
| LP-1 | OVERALL LANDSCAPE PLAN            |
| LP-2 | LANDSCAPE ENLARGEMENT (WEST SITE) |
| LP-3 | LANDSCAPE ENLARGEMENT (EAST SITE) |
| D-1  | DETAILS                           |

CLIENT:



AERARIUM DEVELOPMENT CORPORATION LTD.

80 BRADFORD STREET,  
BARRIE, ON L4N 6S7

MUNICIPALITY:



CITY OF BARRIE

70 COLLIER STREET, P.O. BOX 400,  
BARRIE, ON  
L4M 4T5

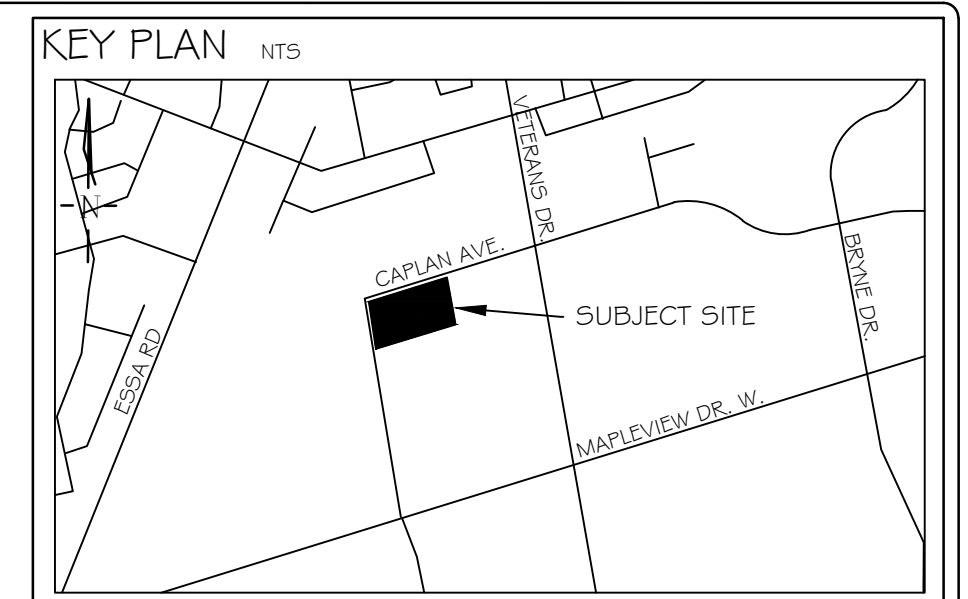
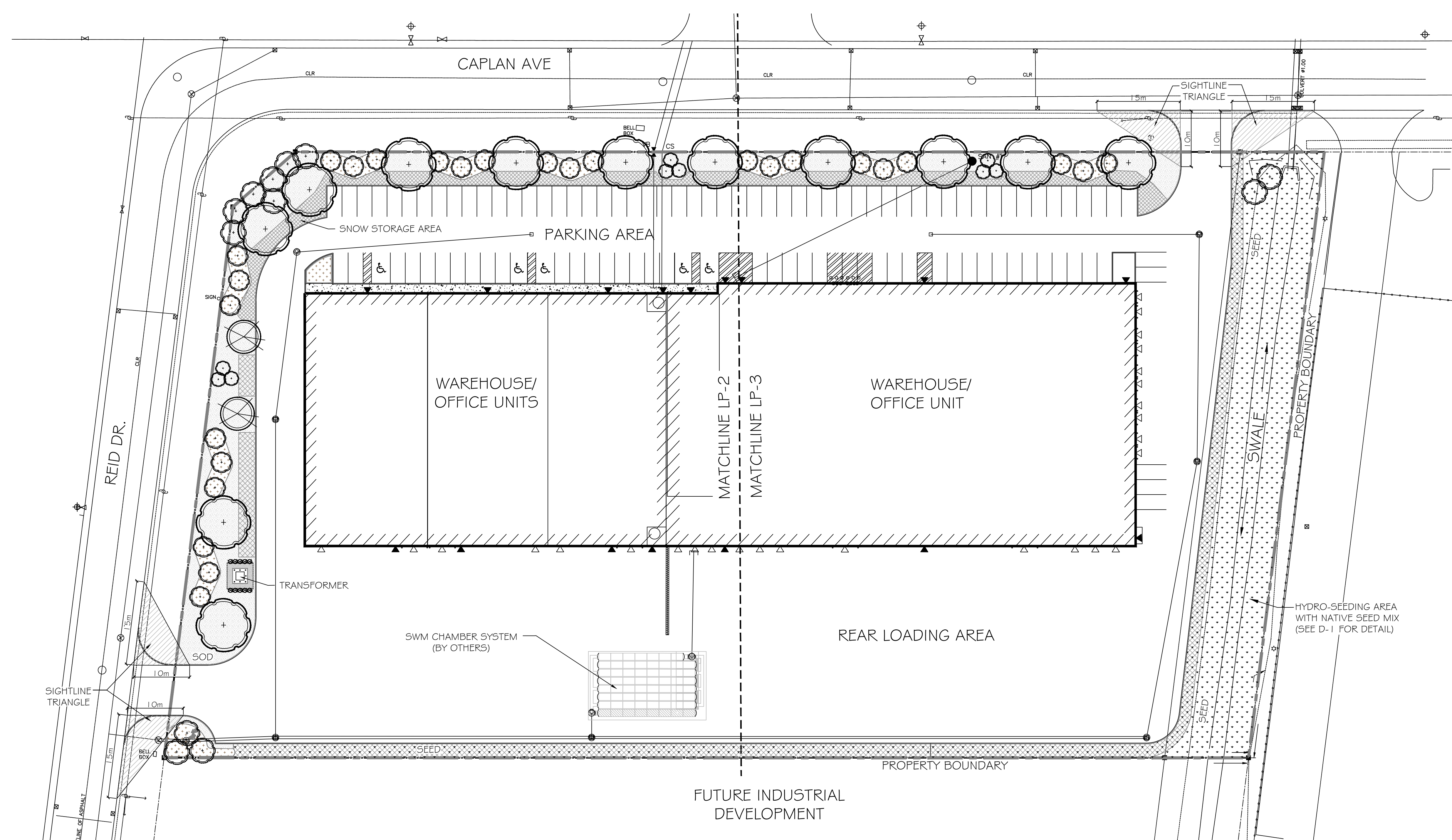
LANDSCAPE ARCHITECT:



LANDSCAPE ARCHITECTS  
& CONSULTING ARBORISTS

OFFICE: 705-796-1122

info@LEGroupLtd.com  
www.LEGroupLtd.com



**GENERAL NOTES**

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

All specifications and drawings are instruments of service and are the property and copyright of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction.

The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc.). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

© Copyright Landmark Environmental Group Ltd., 2020.

- LEGEND**
- Proposed Deciduous Tree
  - Proposed Coniferous Tree
  - Sod Area (1,530m<sup>2</sup>)
  - Hydro Seeding Area (1,960m<sup>2</sup>)
  - Mulch Treatment Area for Planting Beds (415m<sup>2</sup>)
  - Snow Storage Area
  - Transformer
  - Project Site Boundary

1	MARCH 5, 2021	S.K.	REVISED AS PER THE CITY COMMENTS
NO.	DATE	BY	REVISIONS

**STAMP**

**APPROVAL**

BASE PLAN PROVIDED BY GERRITS ENGINEERING  
(109-258 BASE CAD 2020-12-1)

**LANDMARK ENVIRONMENTAL GROUP LTD.**  
LANDSCAPE ARCHITECTS & CONSULTING ARBORISTS  
OFFICE: 705-796-1122  
info@LEGGroupLtd.com  
www.LEGroupLtd.com

**NOTES:**

- PLANTING DETAILS AND PLANTING NOTES ARE FOUND ON SHEET D-1.
- PLANT DENSITY CALCULATION TABLE, BOTH REQUIRED PLANT NUMBERS AND PROVIDED NUMBERS ARE SHOWN ON SHEET D-1.

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING ON CENTRE
<b>TREES</b>										
Ar	5	<i>Acer rubrum</i> 'Bowhall'	Bowhall Maple	60mm cal/WB	Ca	4	<i>Cornus amomum</i>	Silky Dogwood	2 gal pot/60cm ht	2.5m
As	4	<i>Acer saccharum</i> 'Endowment'	Endowment Sugar Maple	60mm cal/WB	Cf	68	<i>Cornus sericea</i> 'Farrow'	Arctic Fire Dogwood	2 gal pot/60cm ht	1.25m
Cb	9	<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal European Hornbeam	60mm cal/WB	Cr	3	<i>Cornus racemosa</i>	Grey Dogwood	2 gal pot/60cm ht	4m
Cj	12	<i>Cercidiphyllum japonicum</i>	Katsura Tree	60mm cal/WB	Rr	95	<i>Rosa rugosa</i>	Rugosa Rose	2 gal pot/60cm ht	1.25m
Gb	3	<i>Ginkgo biloba</i> 'Lakeview'	Lakeview Maidenhair Tree	60mm cal/WB	St	3	<i>Spiraea trilobata</i>	Dwarf Vanhouttei Spirea	2 gal pot/60cm ht	1.25m
Qm	12	<i>Quercus macrocarpa</i>	Burr Oak	60mm cal/WB	Jc	105	<i>Juniperus communis</i> 'Green Carpet'	Green Carpet Juniper	2 gal pot/45cm wd	0.8m
Tc	15	<i>Tilia cordata</i> 'Connithian'	Connithian Linden	60mm cal/WB	Jh	6	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	2 gal pot/45cm wd	2m
Pp	2	<i>Picea pungens</i> 'Fat Albert'	Fat Albert Blue Spruce	2m ht/WB	Ho	9	<i>Hosta</i> 'Diana remembered'	Hosta	1 gal pot/30cm ht	0.8m
Jv	10	<i>Juniperus virginiana</i> 'Blue Arrow'	Blue Arrow Juniper	2m ht/WB	Cx	10	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal pot/30cm ht	0.8m
<b>SHRUBS</b>										
<b>PERENNIALS</b>										

CLIENT: AERARIUM DEVELOPMENT CORPORATION LTD

PROJECT: 149 CAPLAN AVE BARRIE

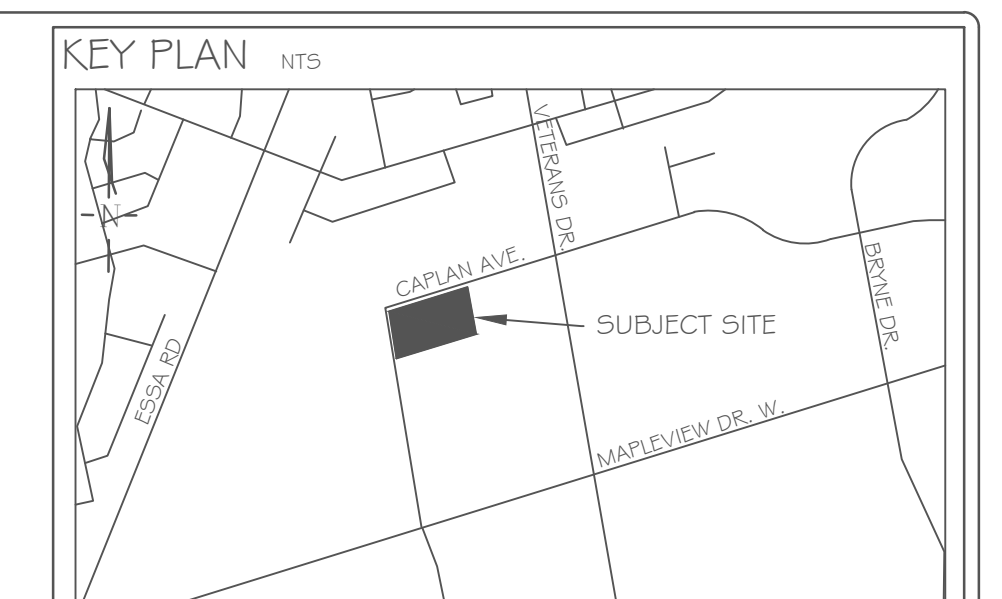
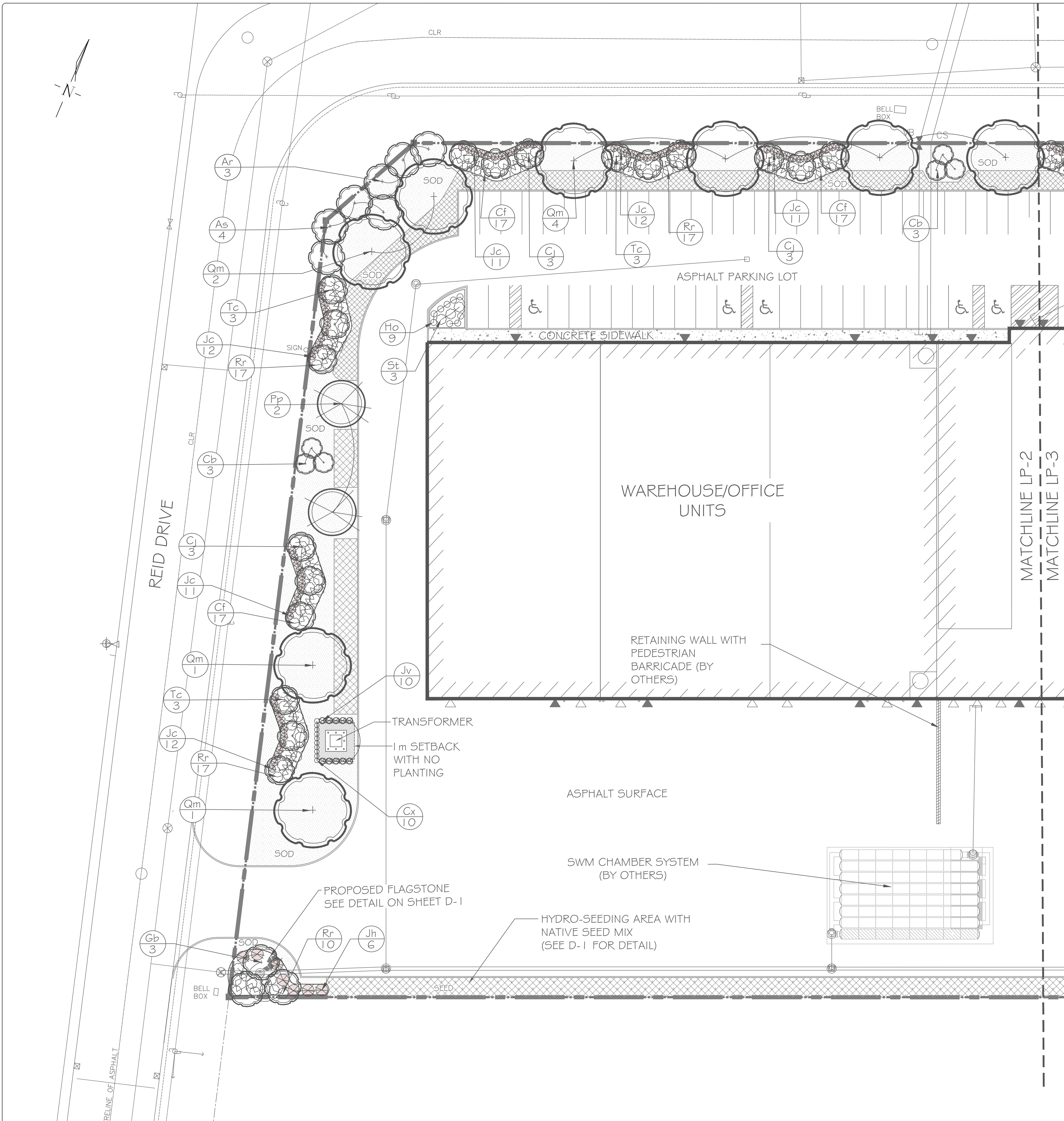
DRAWING: OVERALL LANDSCAPE PLAN

SCALE BAR: 8m 0 8 16 24  
Scale = 1:400

PROJECT NO.: LA 486-20  
MUNICIPAL FILE NO.:

SCALE: 1:400  
DATE: DEC. 11, 2020

DRAWN BY: S.K. CHECKED BY: J.H. DRAWING No.: LP-1



**GENERAL NOTES**

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd, or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction.

The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc.). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

© Copyright Landmark Environmental Group Ltd, 2020.

**LEGEND**

	Proposed Deciduous Tree		Proposed Coniferous Tree
	Proposed Deciduous Shrubs		Proposed Evergreen Shrubs
	Proposed Perennials		Plant Key
	Proposed Flagstone		Transformer
	Sod Area		Mulch Treatment Area (Planting Beds)
	Hydro-Seeding Area		Snow Storage Area
Project Site Boundary			

NO.	DATE	BY	REVISIONS
1	MARCH 5, 2021	S.K.	REVISED AS PER THE CITY COMMENTS

**STAMP**

APPROVAL

APPROVAL

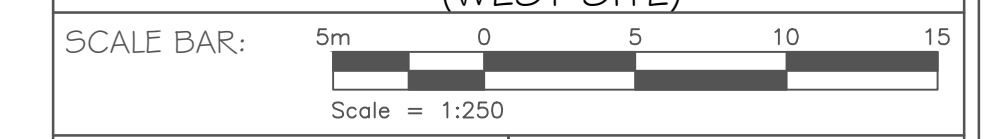
BASE PLAN PROVIDED BY GERRITS ENGINEERING (109-258 BASE CAD 2020-12-11)

**LANDMARK ENVIRONMENTAL GROUP LTD.**  
 LANDSCAPE ARCHITECTS & CONSULTING ARBORISTS  
 OFFICE: 705-796-1122  
 info@LEGroupLtd.com  
 www.LEGroupLtd.com

CLIENT: AERARIUM DEVELOPMENT CORPORATION LTD

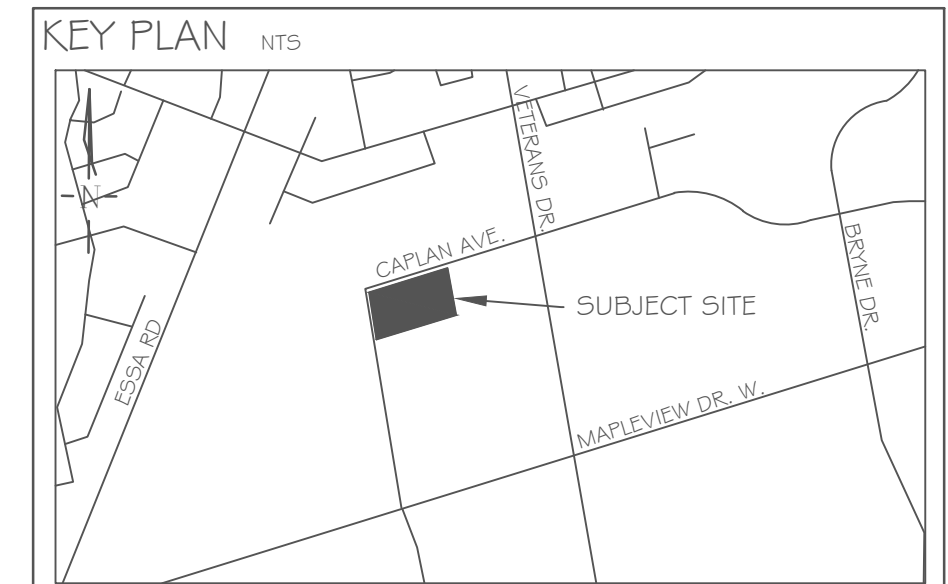
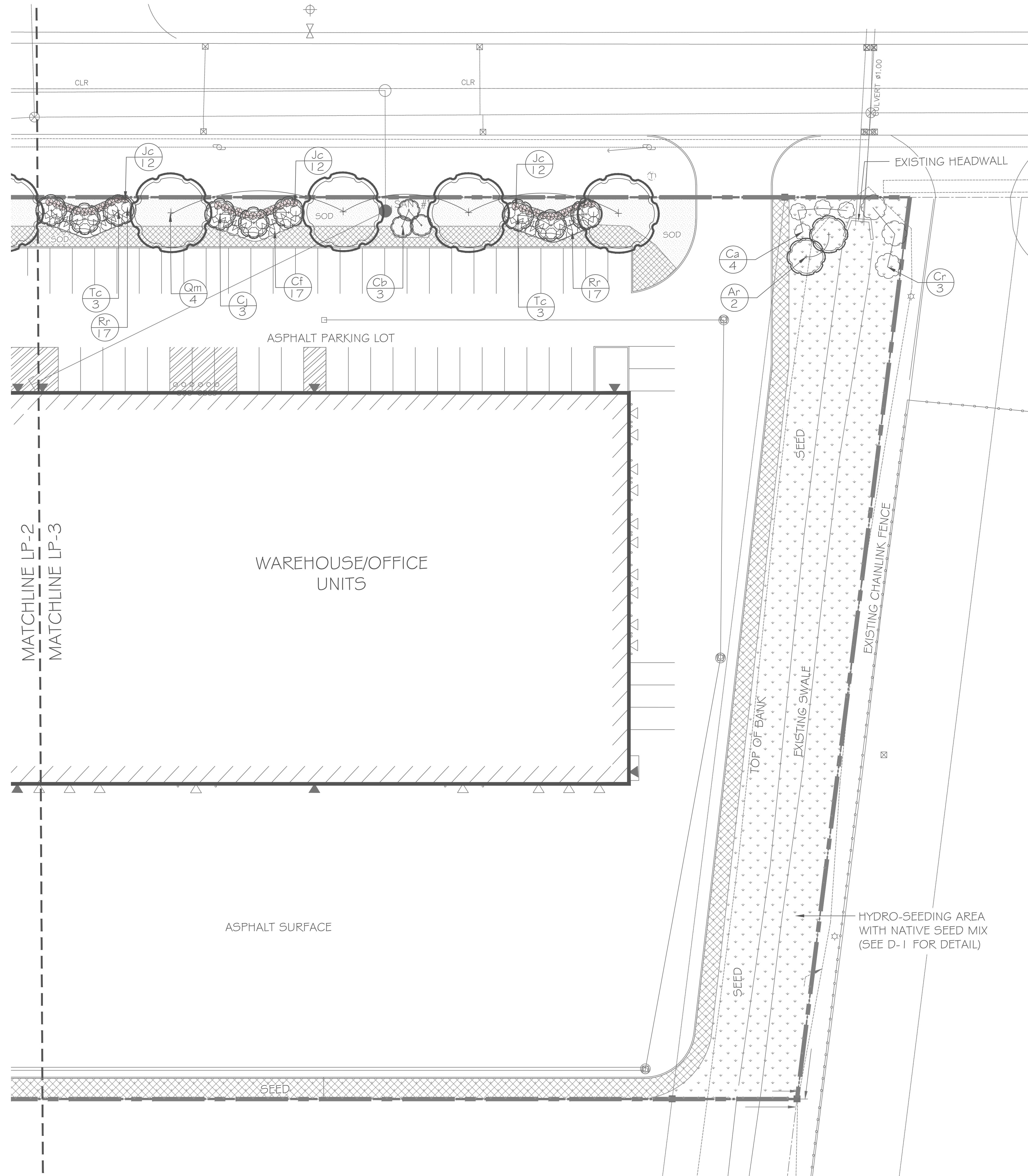
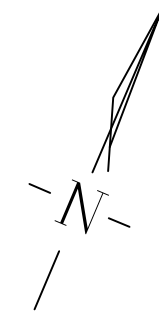
PROJECT: 149 CAPLAN AVE BARRIE

DRAWING: LANDSCAPE ENLARGEMENT (WEST SITE)



PROJECT NO.: LA 486-20	SCALE: 1:250
MUNICIPAL FILE NO.:	DATE: DEC. 11, 2020
DRAWN BY: S.K.	CHECKED BY: J.H.
DRAWING No.:	LP-2

- NOTES:**
1. PLANTING DETAILS AND PLANTING NOTES ARE FOUND ON SHEET D-1.
  2. PLANT LIST IS FOUND ON SHEET LP-1.
  3. PLANT DENSITY CALCULATION TABLE, BOTH REQUIRED PLANT NUMBERS AND PROVIDED NUMBERS ARE SHOWN ON SHEET D-1.



**GENERAL NOTES**

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

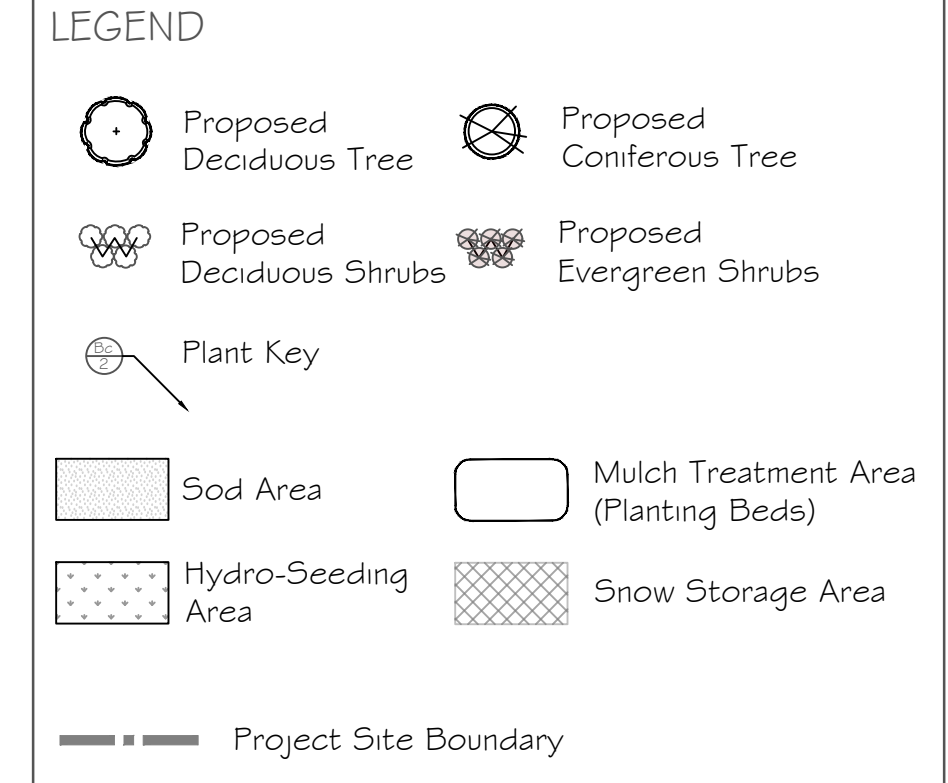
All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd, or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction.

The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc.). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

© Copyright Landmark Environmental Group Ltd, 2020.



NO.	DATE	BY	REVISIONS
1	MARCH 5, 2021	S.K.	REVISED AS PER THE CITY COMMENTS

STAMP

APPROVAL

BASE PLAN PROVIDED BY GERRITS ENGINEERING (109-258 BASE CAD 2020-12-11)

**LANDMARK**  
ENVIRONMENTAL GROUP LTD

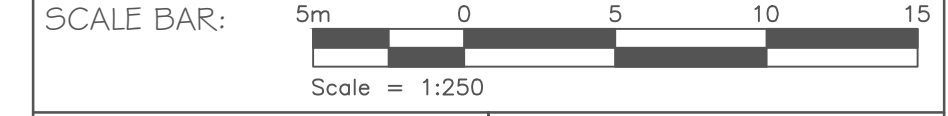
**LANDSCAPE ARCHITECTS & CONSULTING ARBORISTS**

OFFICE: 705-796-1122  
info@LEGroupLtd.com  
www.LEGroupLtd.com

CLIENT: AERARIUM DEVELOPMENT CORPORATION LTD

PROJECT: 149 CAPLAN AVE BARRIE

DRAWING: LANDSCAPE ENLARGEMENT (EAST SITE)

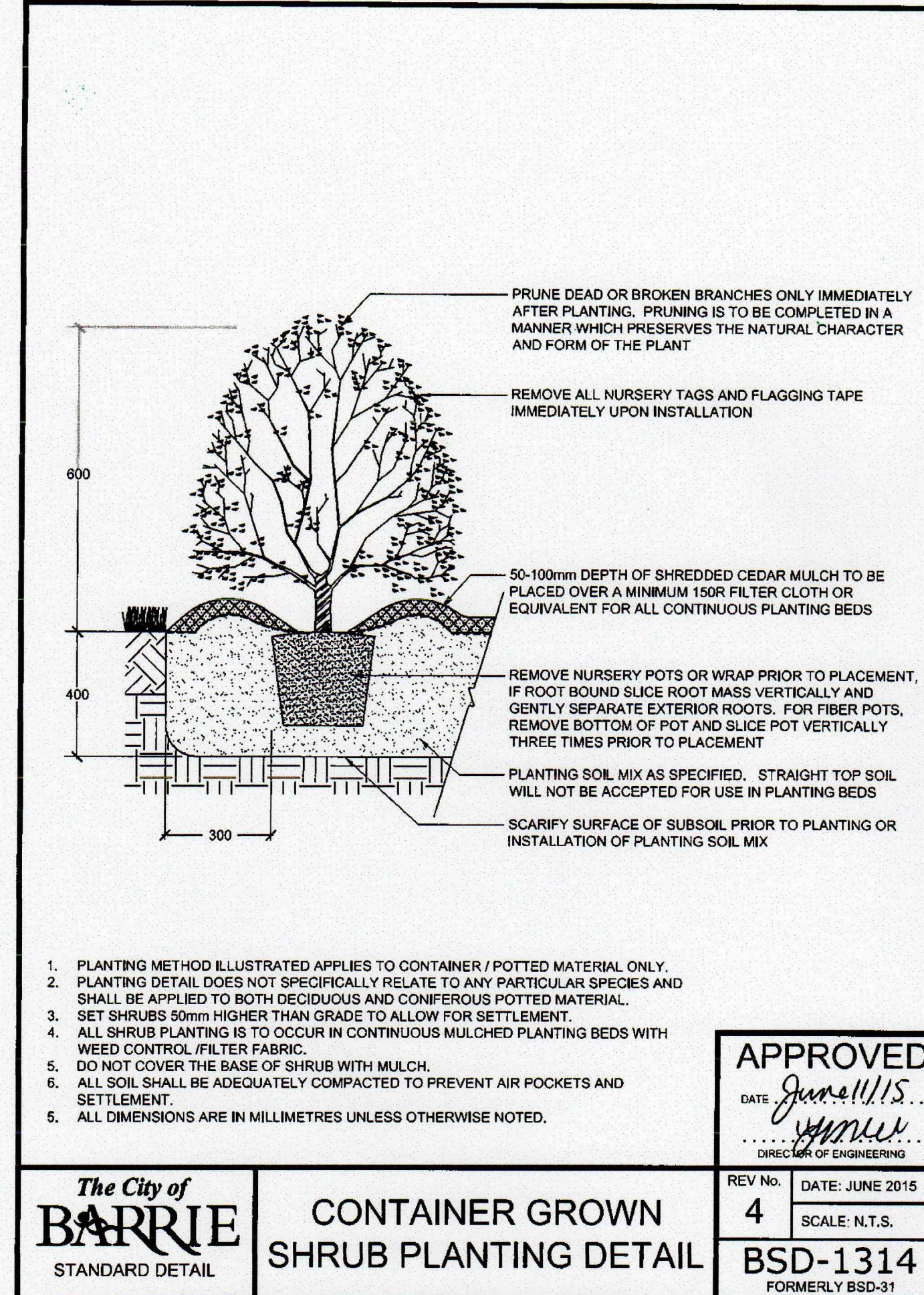
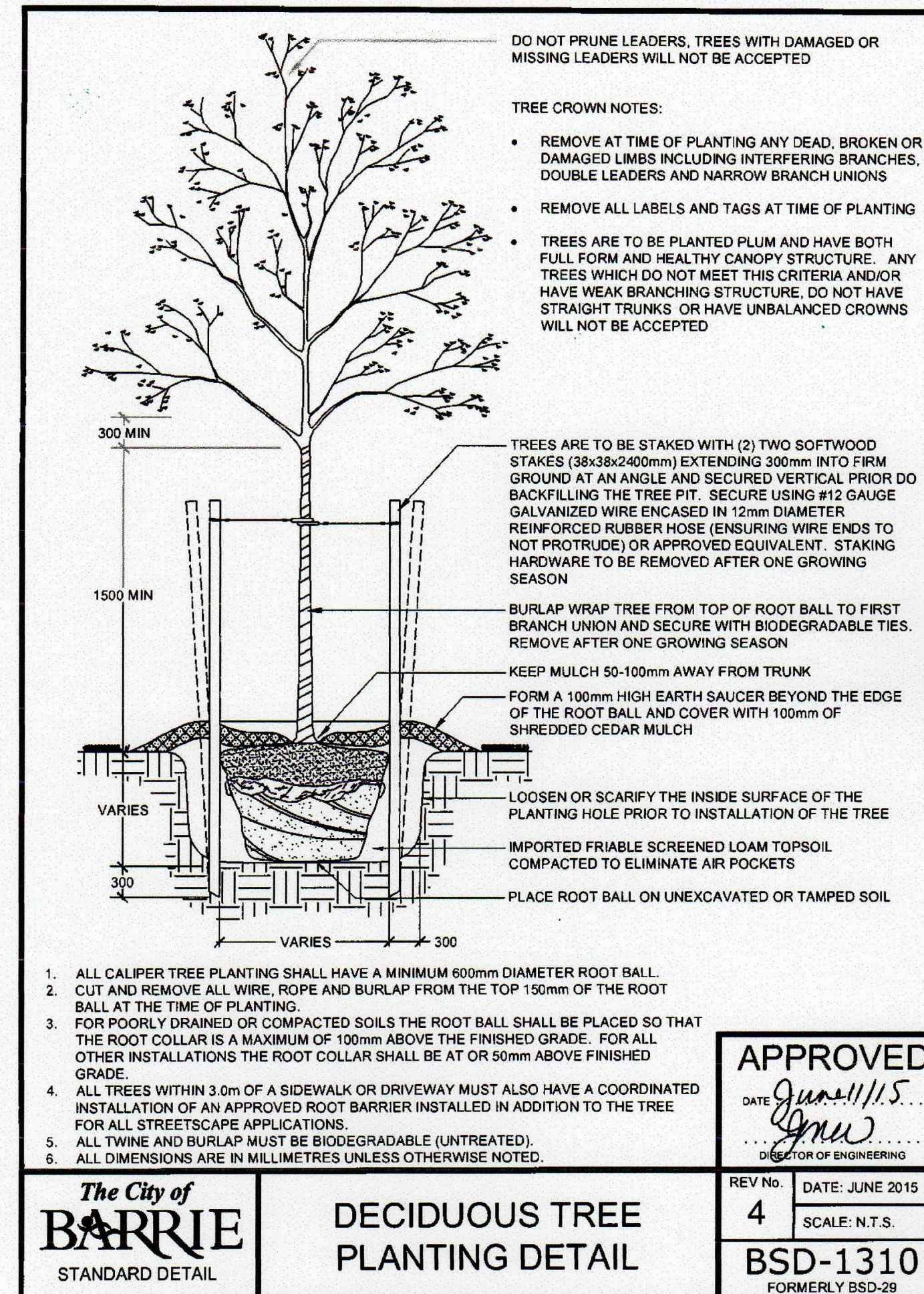
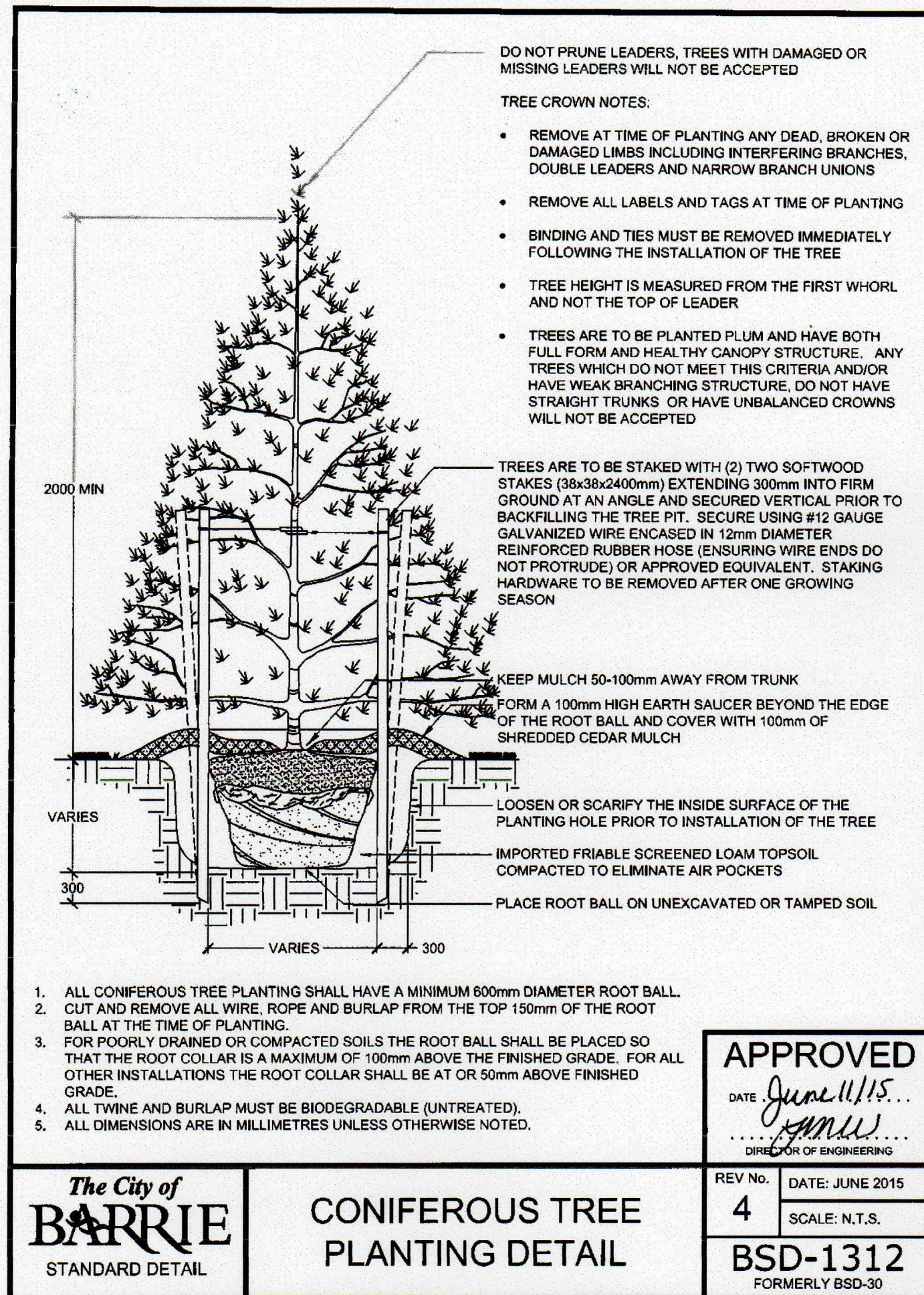


PROJECT NO.: LA 486-20 SCALE: 1:250

MUNICIPAL FILE NO.: DATE: DEC. 11, 2020

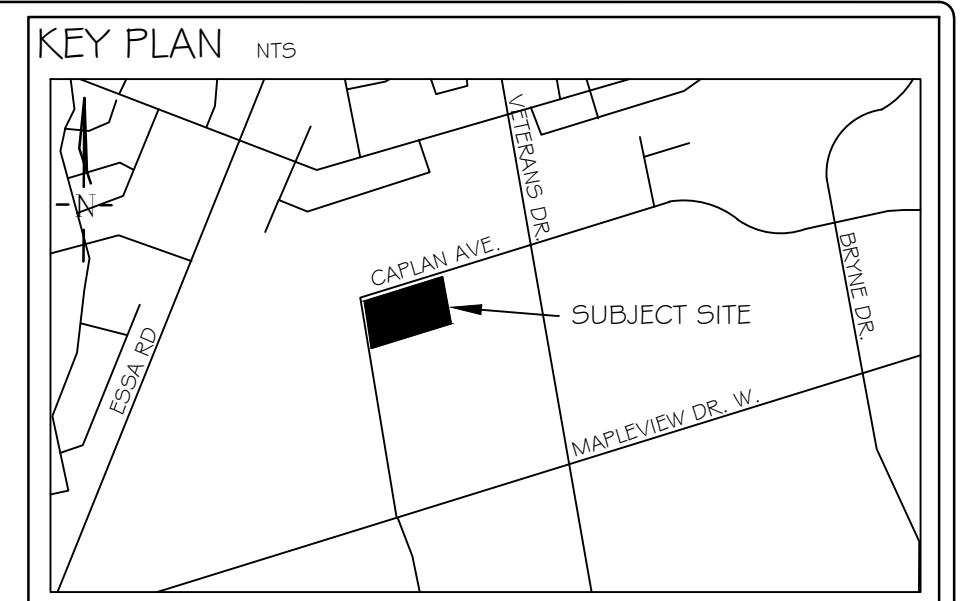
DRAWN BY: S.K. CHECKED BY: J.H. DRAWING No.: LP-3

- NOTES:
1. PLANTING DETAILS AND PLANTING NOTES ARE FOUND ON SHEET D-1.
  2. PLANT LIST IS FOUND ON SHEET LP-1.
  3. PLANT DENSITY CALCULATION TABLE, BOTH REQUIRED PLANT NUMBERS AND PROVIDED NUMBERS ARE SHOWN ON SHEET D-1.



**PLANTING NOTES**

- The Contractor shall review all information in all drawings details and specifications and report any discrepancies to the Landscape Architect in writing prior to commencement of works.
- All planting and related work shall be completed by experienced personnel under the direction and supervision of a qualified foreman.
- All plant material which cannot be planted immediately will be properly heeled in or covered with a similar material which will keep root surfaces moist until planted.
- All plant material and operations shall meet or exceed current horticultural standards of the Canadian Nursery Landscape Association. All plant material to be No. 1 Grade Nursery Stock. All unsatisfactory stock including field grown will be refused on site.
- The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.
- Trees and shrubs shall have an uncut, strong central leader, be sound, healthy, vigorous, well-branched, densely foliated, free of disease, insects and have well-developed root systems.
- Where applicable, sod to be Canada No. 1 Nursery Sod, meeting Ontario Sod Growers Association Standards. All Areas to receive 100mm minimum depth of topsoil under sod unless otherwise indicated. See Drawings and Specifications for areas to be mulched.
- The Contractor shall stake out all planting locations for approval by the Landscape Architect or Contract Administrator prior to planting. Where dimensions are not provided, the drawing may be scaled ONLY to determine approximate locations of plant material. Dimensions are in millimeters unless otherwise stated.
- All mass plantings shall be in continuous beds with mulch as specified in planting details.
- All planting will be under warranty by the Contractor for a minimum of 1 year. The Contractor shall water at time of planting and whenever deemed necessary to maintain trees in a healthy condition. Apply aqueous fertilizer in a ratio of 10-6-4 in accordance with manufacturers instructions. Sod, where specified, to be maintained and guaranteed until established, minimum after two mowings.
- Unwrap or do not wrap tree trunks. Stake trees in accordance with required specifications.
- Provide sufficient rodent protection on all new planting so as to deter bark or shoot damage by rodents. Significant rodent damage, as determined by the Landscape Architect will require plant replacement.



**GENERAL NOTES**

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction.

The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc.). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

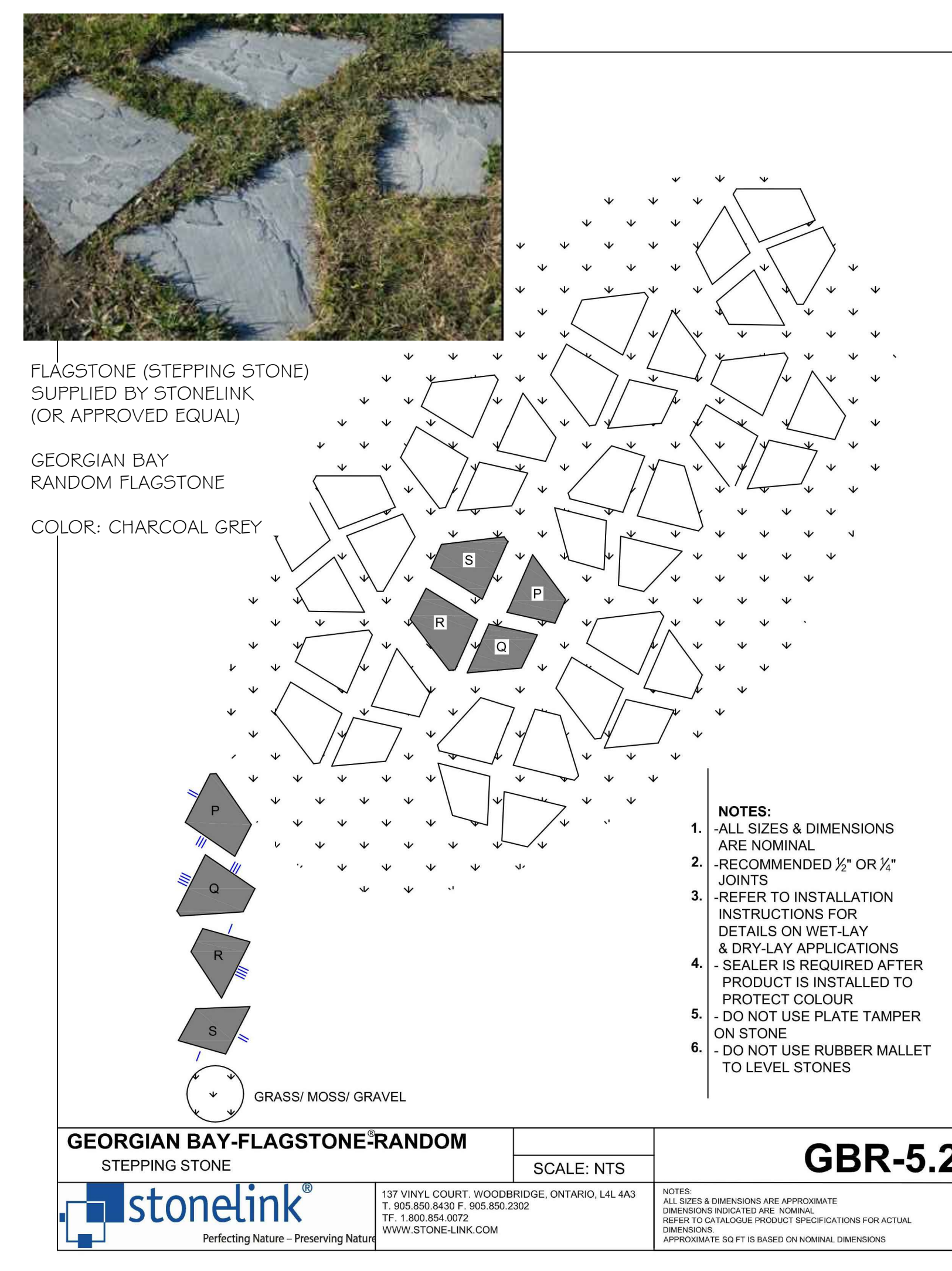
© Copyright Landmark Environmental Group Ltd., 2020.

**LEGEND**

10. All planting will be under warranty by the Contractor for a minimum of 1 year. The Contractor shall water at time of planting and whenever deemed necessary to maintain trees in a healthy condition. Apply aqueous fertilizer in a ratio of 10-6-4 in accordance with manufacturers instructions. Sod, where specified, to be maintained and guaranteed until established, minimum after two mowings.

11. Unwrap or do not wrap tree trunks. Stake trees in accordance with required specifications.

12. Provide sufficient rodent protection on all new planting so as to deter bark or shoot damage by rodents. Significant rodent damage, as determined by the Landscape Architect will require plant replacement.



**PLANT DENSITY CALCULATIONS**

AREA: 21,272 SQUARE METERS		TYPE: BUSINESS PARK DEVELOPMENT	
REQUIRED MIN. TOTALS	PROPOSED TOTALS	VEGETATION TYPE	REQUIRED SIZING
106	60	DECIDUOUS TREES	60mm CAL
53	12	EVERGREEN TREES	2m HT
425	173	DECIDUOUS SHRUBS	0.6-1.2m HT
213	111	EVERGREEN SHRUBS	0.45m SPR / 1.2m HT

**NATIVE SEED MIXTURE**

OSC #6850 SIMCOE COUNTY NATIVE SEED MIXTURE AT A RATE OF 25kg/ ha.

12% BLACK EYED SUSAN (RUDBECKIA HIRTA),  
20% CANADA WILD RYE (ELYMUS CANADENSIS),  
20% INDIANGRASS (SORGHASTRUM NUTANS),  
15% LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM),  
2% NEW ENGLAND ASTER (ASTER NOVAE- ANGLIAE),  
1% WILD BERGAMOT (MONARDA FISTULOSA),  
4% CANADA GOLDENROD (SOLIDAGO CANADENSIS),  
5% COMMON MILKWEED (ASCLEPIAS SYRIACA),  
20% SAND DROPSEED (SPOROBOLUS CRYPTANDRUS),  
1% SMOOTH BLUE ASTER (ASTER LAEVIS).

ADD ANNUAL RYE AS A NURSING COVER CROP  
OSC #7115 ANNUAL RYE SEEDS (RYEGRASS)  
AT A RATE OF 22kg/ ha.

NO.	DATE	BY	REVISIONS
1	MARCH 5, 2021	S.K.	REVISED AS PER THE CITY COMMENTS

**STAMP**

**APPROVAL**

ASSOCIATION OF LANDSCAPE ARCHITECTS  
OF ONTARIO  
MAR 5 2021  
S.K.  
Incorporated

BASE PLAN PROVIDED BY GERRITS ENGINEERING  
(109-258 BASE CAD 2020-12-11)

**LANDMARK ENVIRONMENTAL GROUP LTD**  
LANDSCAPE ARCHITECTS & CONSULTING ARBORISTS  
OFFICE: 705-796-1122  
info@LEGroupLtd.com  
www.LEGroupLtd.com

CLIENT: **AERARIUM DEVELOPMENT CORPORATION LTD**

PROJECT: **149 CAPLAN AVE BARRIE**

DRAWING: **DETAILS**

SCALE BAR:

PROJECT NO.: **LA 486-20** SCALE: **N.T.S**

MUNICIPAL FILE NO.:

DATE: **DEC. 11, 2020**

DRAWN BY: **S.K.** CHECKED BY: **J.H.** DRAWING No.: **D-1**