

ARCHITECTURAL DRAWINGS

- A-0.1 SITE PLAN & STATISTICS
- A-0.1b PARKING PLAN
- A-2.1 BUILDING 1,2,3 ELEVATIONS
- A-2.2 BUILDING 4 ELEVATIONS



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Patrick Markus Luckie Architect

Revisions:	
Date:	Particular:
Issue:	
Date:	Particular:
OCT.30.18	ISSUED FOR SITE PLAN APPLICATION

ESSA ROAD
URBAN TOWNHOME CONDOMINIUMS

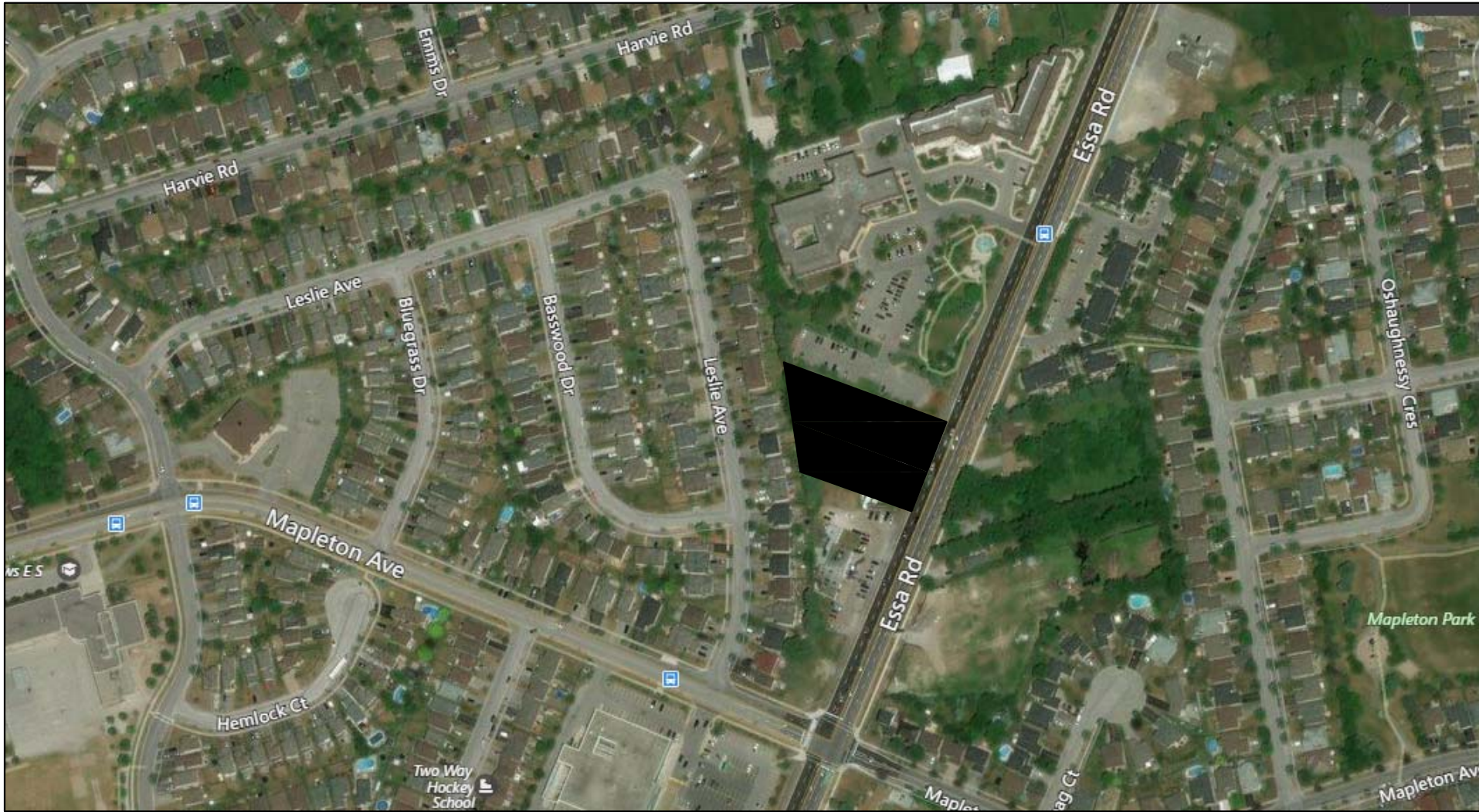
521 ESSA ROAD, BARRIE

PROJECT No.: 17-02

CONDO BUILDINGS						TOTAL	
MODEL	SQFT	SQM	QUANTITY	SQFT	SQM		
A	1332	123.7	3	3996	371.2		
B	1259	117.0	12	15108	1403.6		
C	1332	123.7	3	3996	371.2		
D	1332	123.7	3	3996	371.2		
E	1259	117.0	12	15108	1403.6		
F	1332	123.7	3	3996	371.2		
TOTALS			36	46200	4292.1		
TOWNHOUSE BLOCK						TOTAL	
MODEL	SQFT	SQM	QUANTITY	SQFT	SQM		
END UNIT	1753	162.9	2	3506	325.7		
INTERNAL UNIT	1654	153.7	10	16540	1536.6		
TOTALS			12	20046	1862.3		
GRAND TOTALS			48	66246	6154.5		

ZONING BY-LAW TABLE		
PROVISION	RM2 REQUIRED	PROVIDED
LOT AREA	720 m²	4,426.77 m²
LOT FRONTAGE	21 m	54.86 m
FRONT YARD SETBACK	7.0 m	2.5 m
SIDE YARD SETBACK - NORTH	1.8 m	2.0 m
SIDE YARD SETBACK - SOUTH	1.8 m	5.0 m
REAR YARD SETBACK - abutting Residential, OS or EP Zone (min.)	N/A	5.4 m
REAR YARD SETBACK	7 m	5.4 m
FRONT FACADE STEP-BACK (min.)	N/A	-
SIDE FACADE STEP-BACK (min.)	N/A	-
REAR FACADE STEP-BACK (min.)	N/A	-
LOT COVERAGE (max. % of lot area)	35%	41%
GROSS FLOOR AREA (max. % of lot area)	60%	139%
STREET LEVEL FLOOR HEIGHT (min.)	N/A	-
BUILDING HEIGHT	10m	14.85m
MIN. LANDSCAPED OPEN SPACE	35%	41%
DWELLING UNIT FLOOR AREA (MIN.)	45 m²/1 BDRM 55 m²/ 2 BDRM	119 m²/ BACK2BACK 155 m²/ STANDARD
PARKING	1.5 SPACES/UNIT (72 SPACES w 2BF)	1.5 SPACES/UNIT (72 SPACES w 3BF)
VISITOR PARKING	N/A	3 SPACES w 3 BF
PARKING AREA BUFFER SETBACK	3m	3m
PARKING FOR APARTMENTS (max. lot coverage)	N/A	N/A
AMENITY AREA	12m² PER UNIT (576m²)	40m² PER UNIT (1924m²)

ZONING	RM2 SITE SPECIFIC	PARKING
LOT AREA	4,426.77 SQM	- RESIDENT - BACK 2 BACK TOWNS - STANDARD TOWNS - EXTRA INDOOR - ACCESSIBLE SPACES TOTAL PARKING
SETBACKS		60 SPACES (1.25 PER UNIT) 36 SPACES (1.00 PER UNIT) 24 SPACES (2.00 PER UNIT) 9 SPACES (INDOOR) 3 SPACES (INDOOR) 72 SPACES (1.50 PER UNIT)
- FRONT	2.5m	
- REAR	5.4m	
- NORTH SIDE	2.0m	
- SOUTH SIDE	5.0m	
LOT COVERAGE	1,828.06 SQM (41%)	GROSS FLOOR AREA
ASPHALT DRIVE	785.51 SQM (18%)	- DWELLING UNITS - GARAGE PARKING TOTAL
LANDSCAPE/OTHER	1,813.20 SQM (41%)	6,154.50 SQM (1.39x) 1,344.60 SQM (0.31x) 7,499.10 SQM (1.70x)
HEIGHT	14.85m (3-STOREY)	# OF DWELLING UNITS BALCONY/ROOF TERRACE BACKYARDS (12) GRADE AMENITY AREA TOTAL
		48 (108 PER HECTARE) 1,495.44 SQM (31.16/UNIT AVE) 158.40 SQM (13.20/UNIT) 270.47 SQM (5.63/UNIT) 1,924.31 SQM (40.09/UNIT)



pml.A

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NORTH

ESSA ROAD

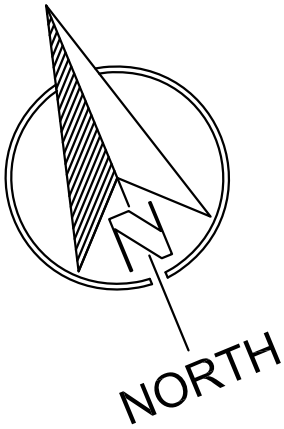
URBAN TOWNHOME CONDOMINIUMS

521 ESSA ROAD, BARRIE

SITE PLAN

PROJECT No.: 17-02

A-0.1



ESSA ROAD



1 PARKING PLAN
A-0.1b SCALE: 1:150

Revisions:	
Date:	Particular:
Issue:	
Date:	Particular:
FEB.26.18	ISSUED FOR REVIEW
OCT.30.18	ISSUED FOR SITE PLAN APPLICATION

ESSA ROAD
URBAN TOWNHOME CONDOMINIUMS

521 ESSA ROAD, BARRIE

PARKING PLAN

PROJECT No.: 17-02

A-0.1b



1 FRONT (STREET) ELEVATION
A-2.1 SCALE: 1:100



2 SIDE YARD ELEVATION
A-2.1 SCALE: 1:100

MATERIALS	
1	GREY BRICK VENEER
2	WHITE BRICK VENEER
3	CEDAR STYLE SIDING
4	WHITE ALUMINUM FLASHING
5	GREY VINYL DOOR/WINDOW
6	FROSTED GLASS RAILING
7	WHITE BALCONY FLASHING
8	CHARCOAL STONE VENEER
9	CONCRETE STEPS
10	POWDER COATED METAL RAILING
11	LT. GRAY SIDING

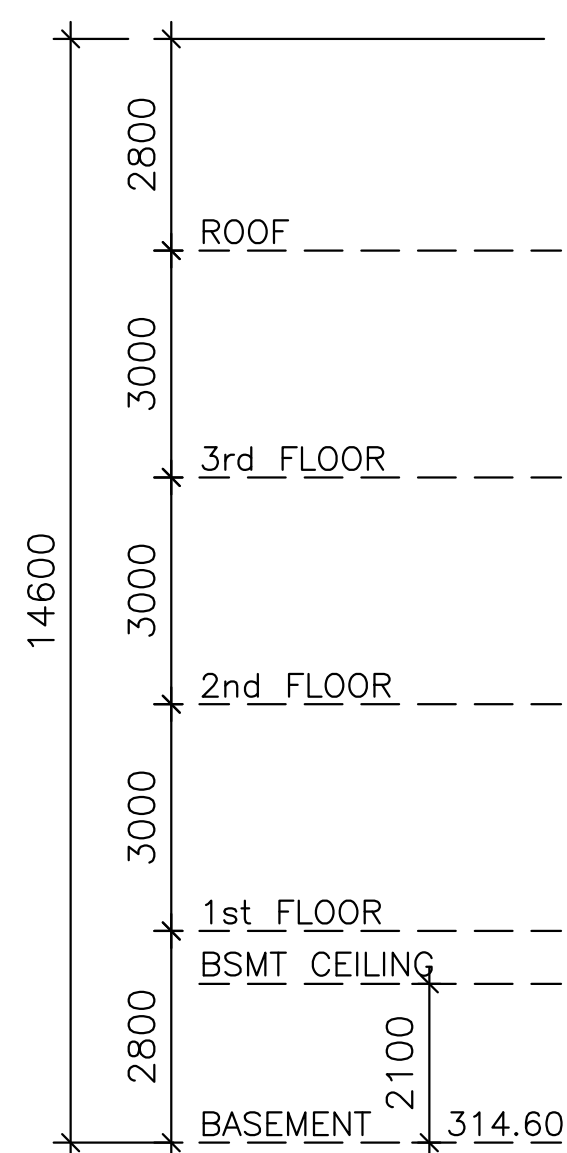
AVERAGE GRADE CALCULATION Essa Road - BUILDING 1				
1	314.65	314.65	9	2831.85
2	314.65	314.57	9	2831.49
3	314.44	314.42	12.45	3914.654
4	314.42	314.33	12.45	3913.969
5	314.2	314.4	9	2828.7
6	314.4	314.35	9	2829.375
7	316	316	12.45	3934.2
8	316	316	12.45	3934.2
				85.8 27018.44 314.90 average grade
				317.4 1st floor
				314.6 basement
				316.7 ceiling = 2.1 m
1.80 ave grade below ceiling				

AVERAGE GRADE CALCULATION Essa Road - BUILDING 2				
1	314.15	314.25	9	2827.8
2	314.25	314.42	9	2829.015
3	316	316	12.45	3934.2
4	316	316	12.45	3934.2
5	314.35	314.4	9	2829.375
6	314.4	314.35	9	2829.375
7	315.4	315.4	12.45	3926.73
8	315.4	315.4	12.45	3926.73
				85.8 27037.43 315.12 average grade
				317.4 1st floor
				314.6 basement
				316.7 ceiling = 2.1 m
1.58 ave grade below ceiling				

AVERAGE GRADE CALCULATION Essa Road - BUILDING 3				
1	314.16	314.11	9	2827.215
2	314.11	314.11	9	2826.99
3	315.4	315.4	12.45	3926.73
4	315.4	315.4	12.45	3926.73
5	314.35	314.4	9	2829.375
6	314.4	314.35	9	2829.375
7	315.4	315.4	12.45	3926.73
8	315.4	315.4	12.45	3926.73
				85.8 27019.88 314.92 average grade
				317.4 1st floor
				314.6 basement
				316.7 ceiling = 2.1 m
1.78 ave grade below ceiling				



3 SIDE (DRIVEWAY) ELEVATION
A-2.1 SCALE: 1:100



4 COURTYARD ELEVATION
A-2.1 SCALE: 1:100

Revisions:	
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APR.10.18	ISSUED FOR CO-ORDINATION

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ESSA ROAD
URBAN TOWNHOME CONDOMINIUMS

521 ESSA ROAD, BARRIE

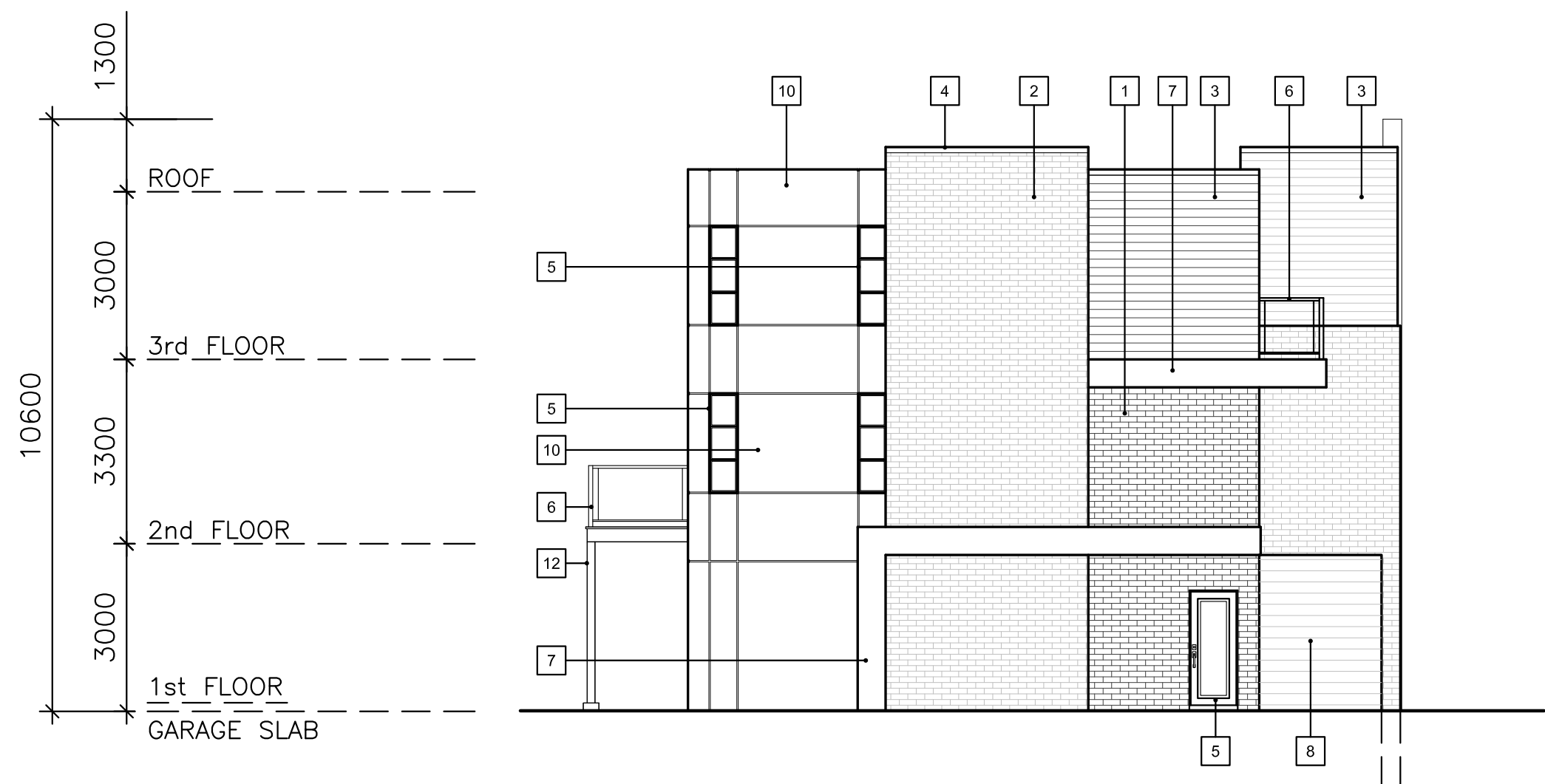
BUILDING 1,2,3
ELEVATIONS

PROJECT No.: 17-02

A-2.1

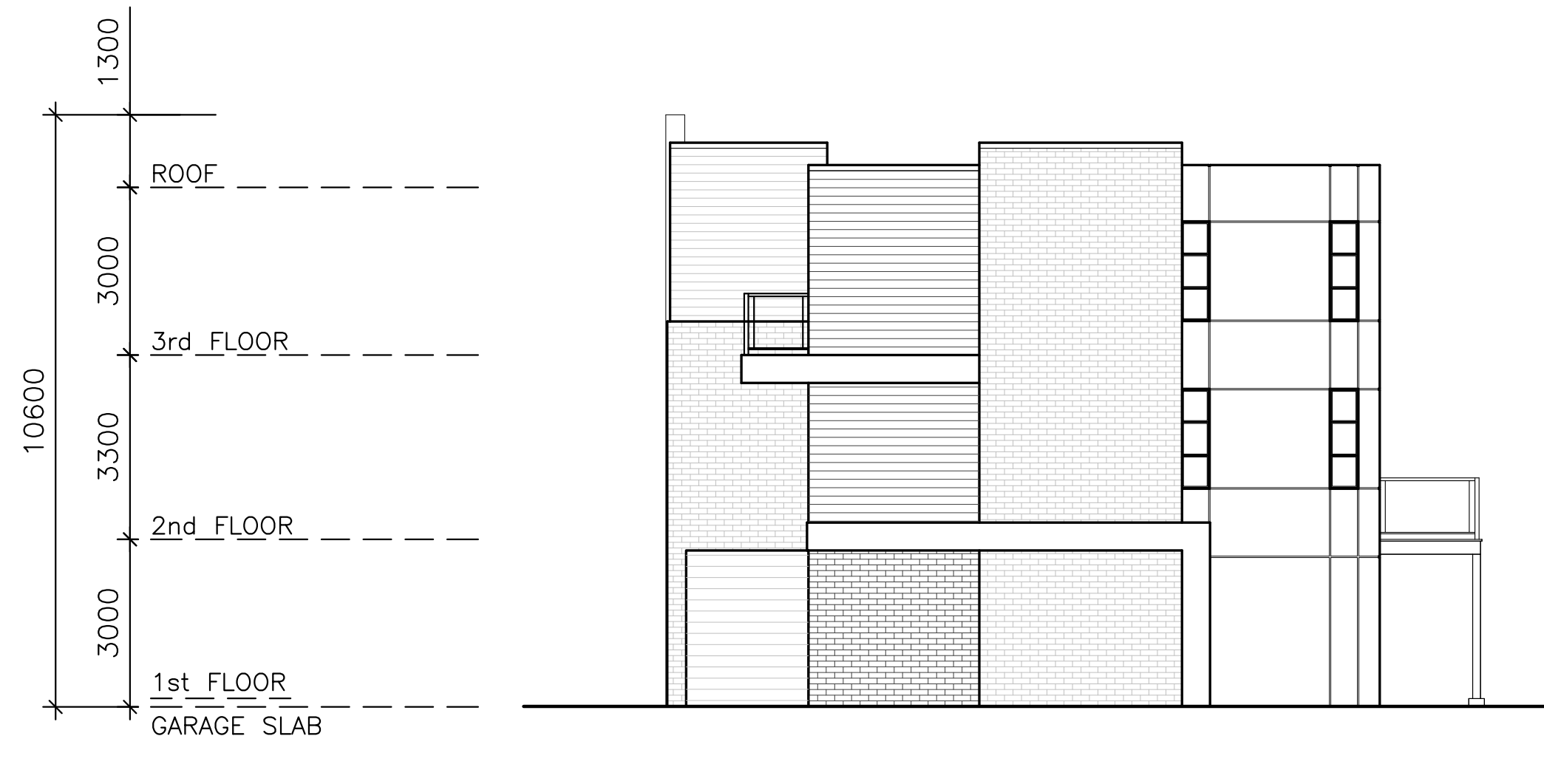


1 FRONT (DRIVEWAY) ELEVATION
A-2.2 SCALE: 1:100

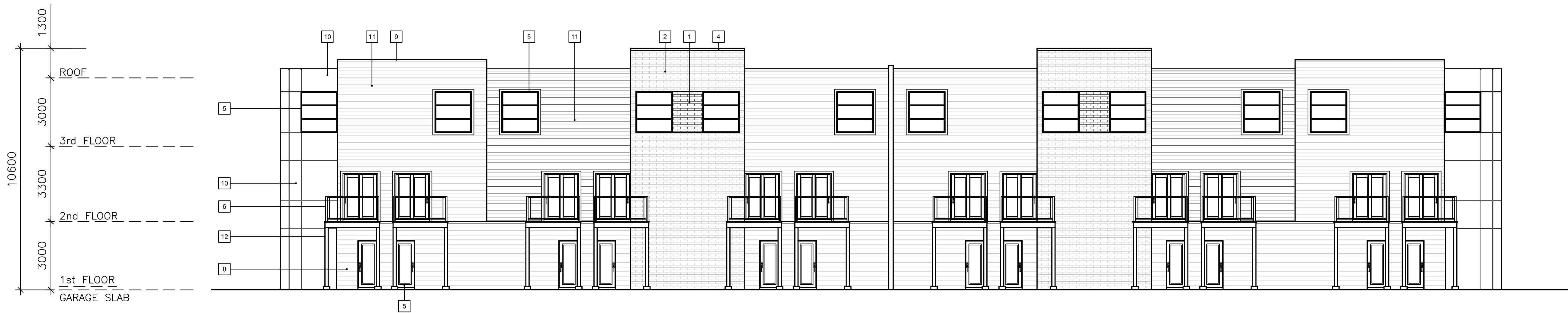


2 SIDE (STREET) ELEVATION
A-2.2 SCALE: 1:100

- MATERIALS
- 1 GREY BRICK VENEER
 - 2 WHITE BRICK VENEER
 - 3 CEDAR STYLE SIDING
 - 4 WHITE ALUMINUM FLASHING
 - 5 GREY VINYL DOOR/WINDOW
 - 6 GLASS RAILING
 - 7 WHITE FASCIA FLASHING
 - 8 CHARCOAL STONE VENEER
 - 9 CAP FLASHING
 - 10 CEMENT BOARD PANEL
 - 11 LT. GRAY SIDING
 - 12 PRESSURE TREATED WOOD



3 SIDE ELEVATION
A-2.2 SCALE: 1:100



4 REAR (SIDE YARD) ELEVATION
A-2.2 SCALE: 1:100

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ESSA ROAD
URBAN TOWNHOME CONDOMINIUMS

521 ESSA ROAD, BARRIE

BUILDING 4
ELEVATIONS

PROJECT No.: 17-02

A-2.2