

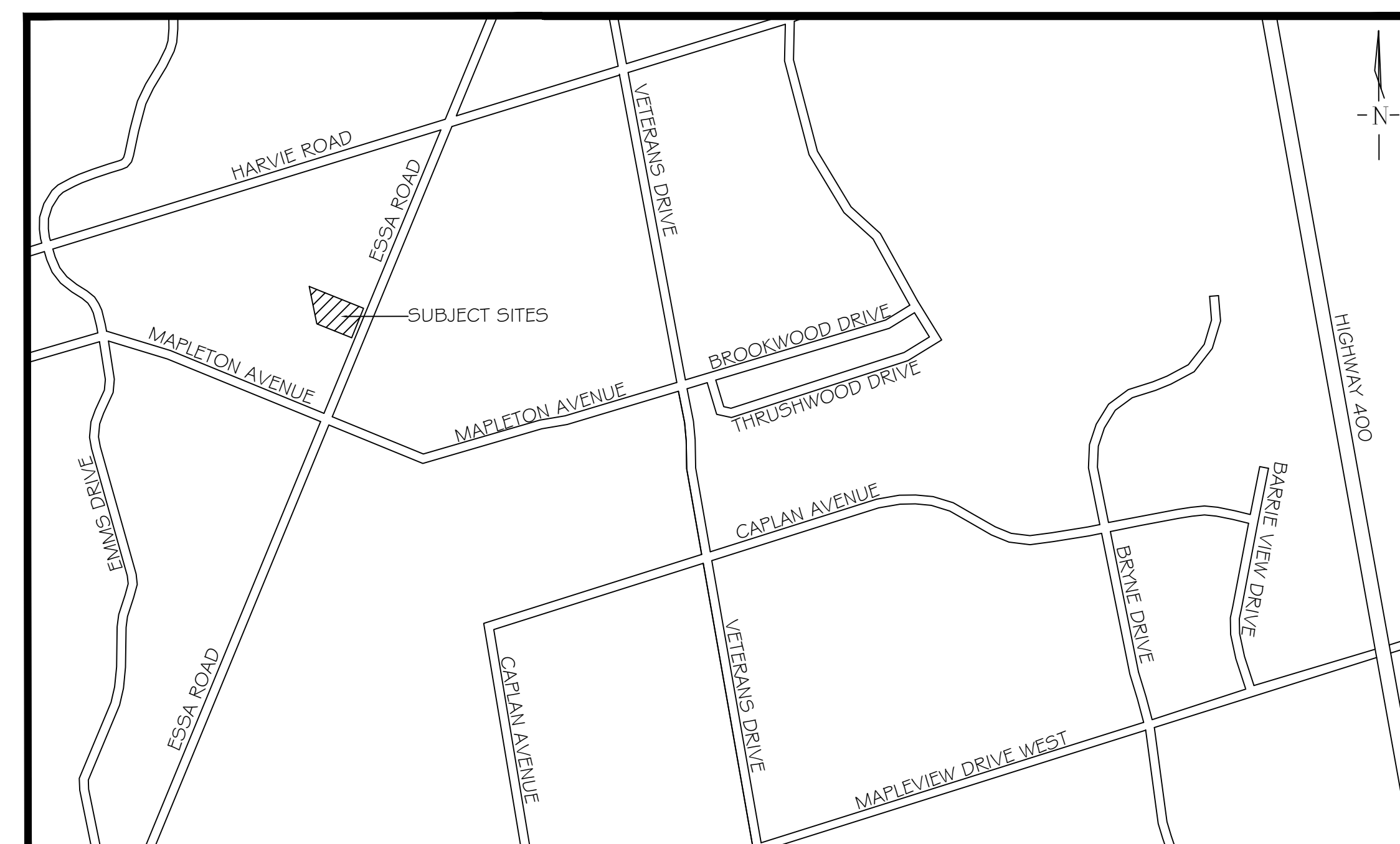
521 & 525 ESSA ROAD

CITY OF BARRIE

MUNICIPAL FILE: D28-008-18

LANDMARK ENVIRONMENTAL GROUP LTD.

PROJECT NO. LA 265.10-17



KEY PLAN N.T.S.

DRAWING LIST:

LP-1	OVERALL LANDSCAPE PLAN
D-1	PLANT LIST + DETAILS
D-2	DETAILS
D-3	DETAILS

OWNER:

Mr. Sam Reitano, Mr. Bryan Toteda

MUNICIPALITY:

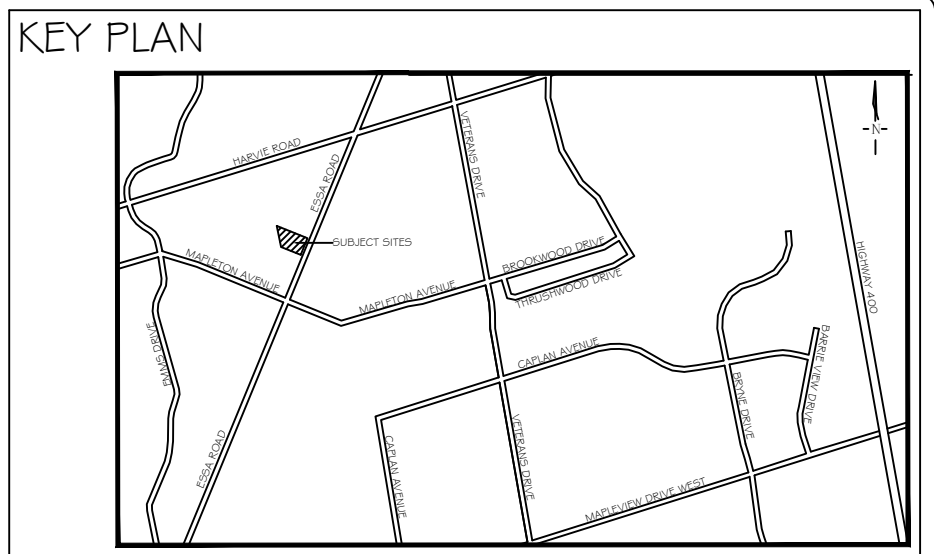
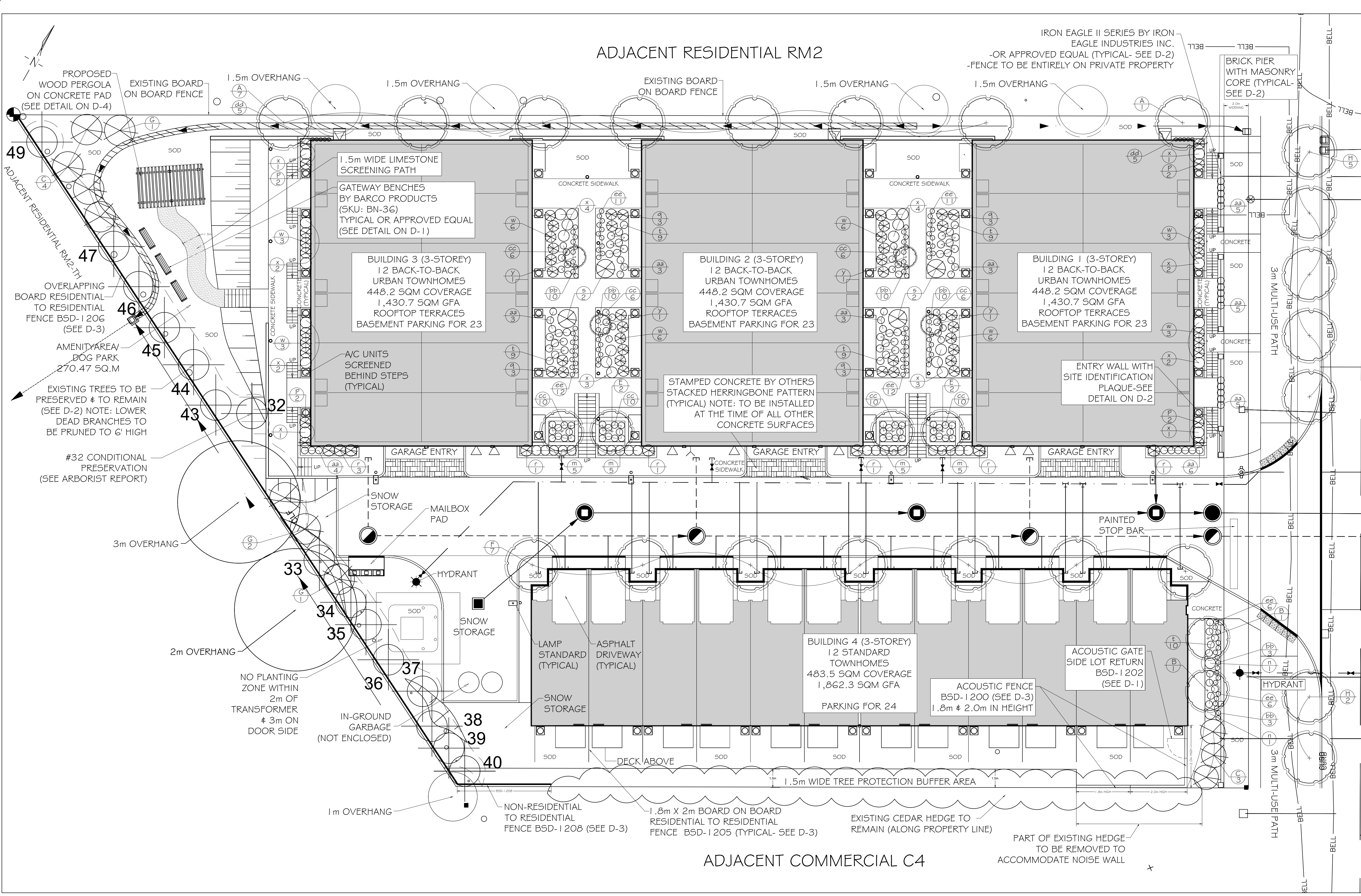


CITY OF BARRIE
70 COLLIER STREET
P.O. BOX 400
BARRIE, ON
L4M 4T5

DEVELOPER'S LANDSCAPE ARCHITECT:



LANDMARK ENVIRONMENTAL GROUP LTD.
LANDSCAPE ARCHITECTS & CERTIFIED ARBORISTS
705•717•8484
WWW.LEGROUPLTD.COM



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

It is the responsibility of the Contractor to erect and maintain all hoarding as per the approved detail, preservation notes and locations shown on the drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc.). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

- LEGEND**
- Proposed Deciduous Tree
 - Proposed Coniferous Tree
 - Proposed Deciduous Shrubs/Perennials
 - Proposed Coniferous Shrubs
 - Existing Tree
 - Existing Trees (on adjacent property)
 - Tree Preservation Fence
 - Garden Boulder

9	JUNE 05, 2019	EW	AS PER UPDATED ENGINEERING
8	MAY 29, 2019	EW	AS PER UPDATED SITE PLAN
7	APRIL 23, 2019	EW	AS PER ELECTRICAL DRAWING
6	APRIL 12, 2019	EW	AS PER UPDATED SITE PLAN
5	JAN 17, 2019	EW	DENSITY TABLE ADDED TO LP-1
4	OCT 31, 2018	EW	AS PER UPDATED SITE PLAN
3	OCT 24, 2018	EW	AS PER ELECTRICAL DRAWING
2	OCT 12, 2018	EW	AS PER REVISED ENGINEERING DRAWING
1	APRIL 20, 2018	EW	AS PER CITY COMMENTS

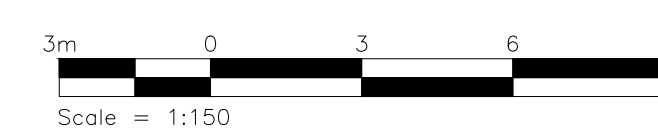
STAMP 	APPROVAL
	CITY OF BARRIE
	NAME _____
	DATE _____
SIGNATURE _____	

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BASE DATA OBTAINED FROM
INNOVATIVE PLANNING SOLUTIONS & PINESTONE ENGINEERING LIMITED

LANDMARK ENVIRONMENTAL GROUP LTD.
LANDSCAPE ARCHITECTS & CERTIFIED ARBORISTS
705.717.8484
WWW.LEGROUP.LTD.COM

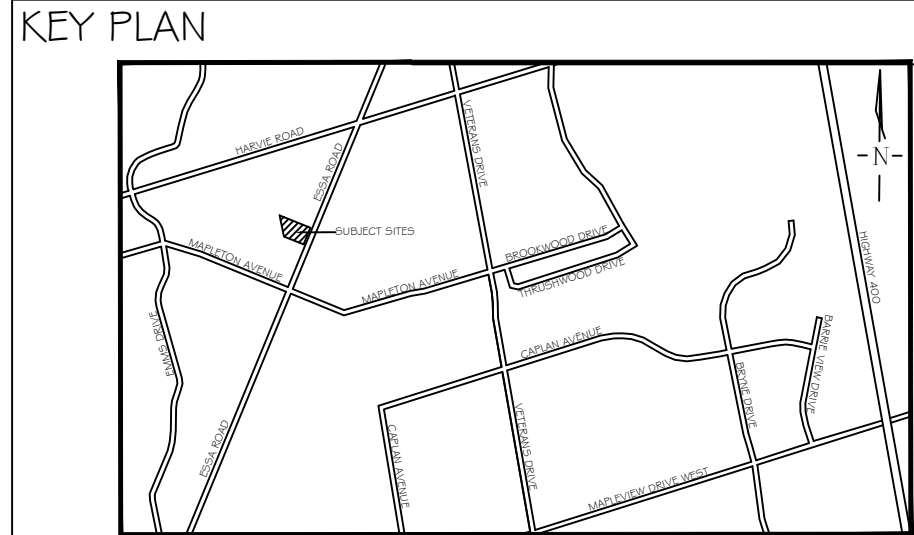
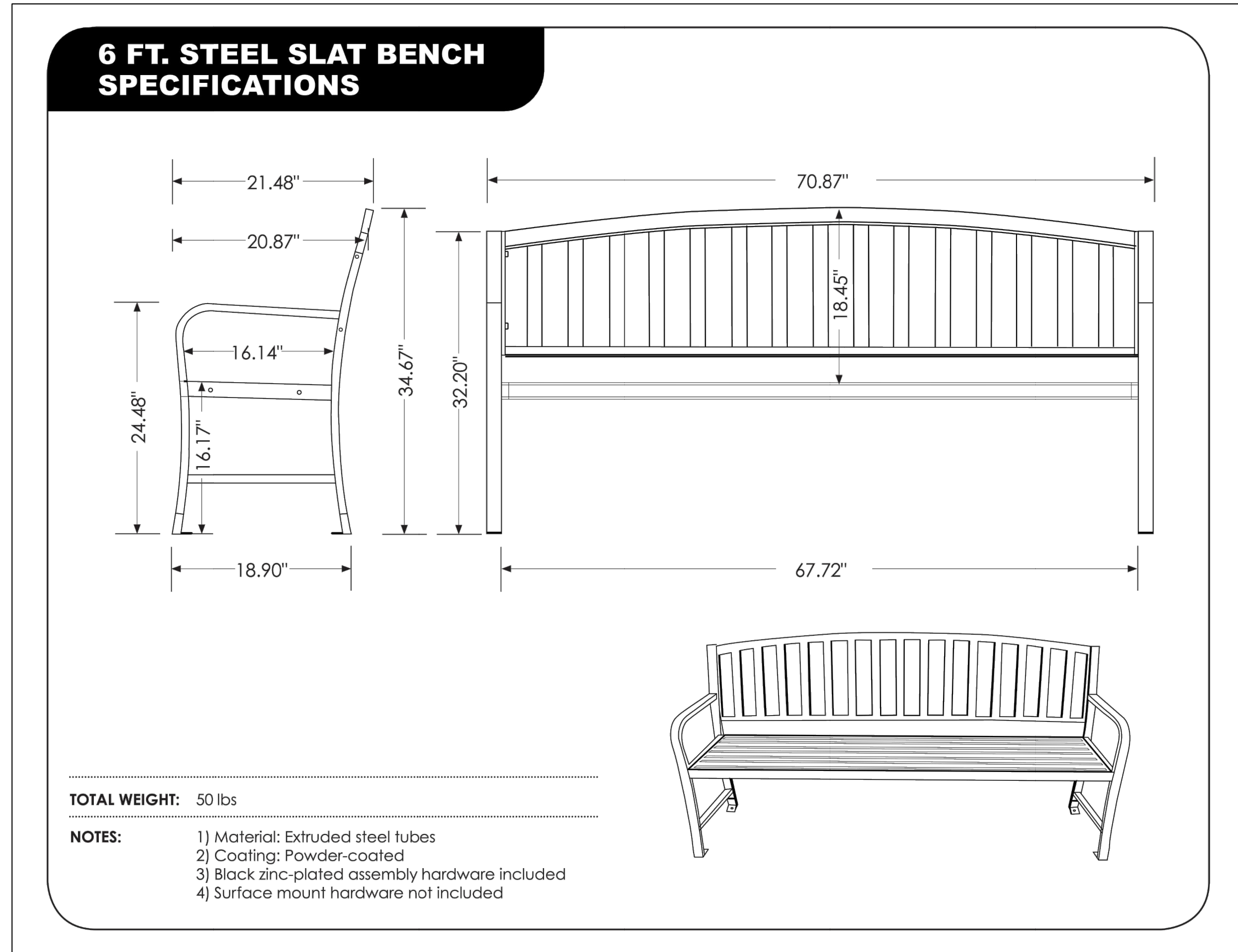
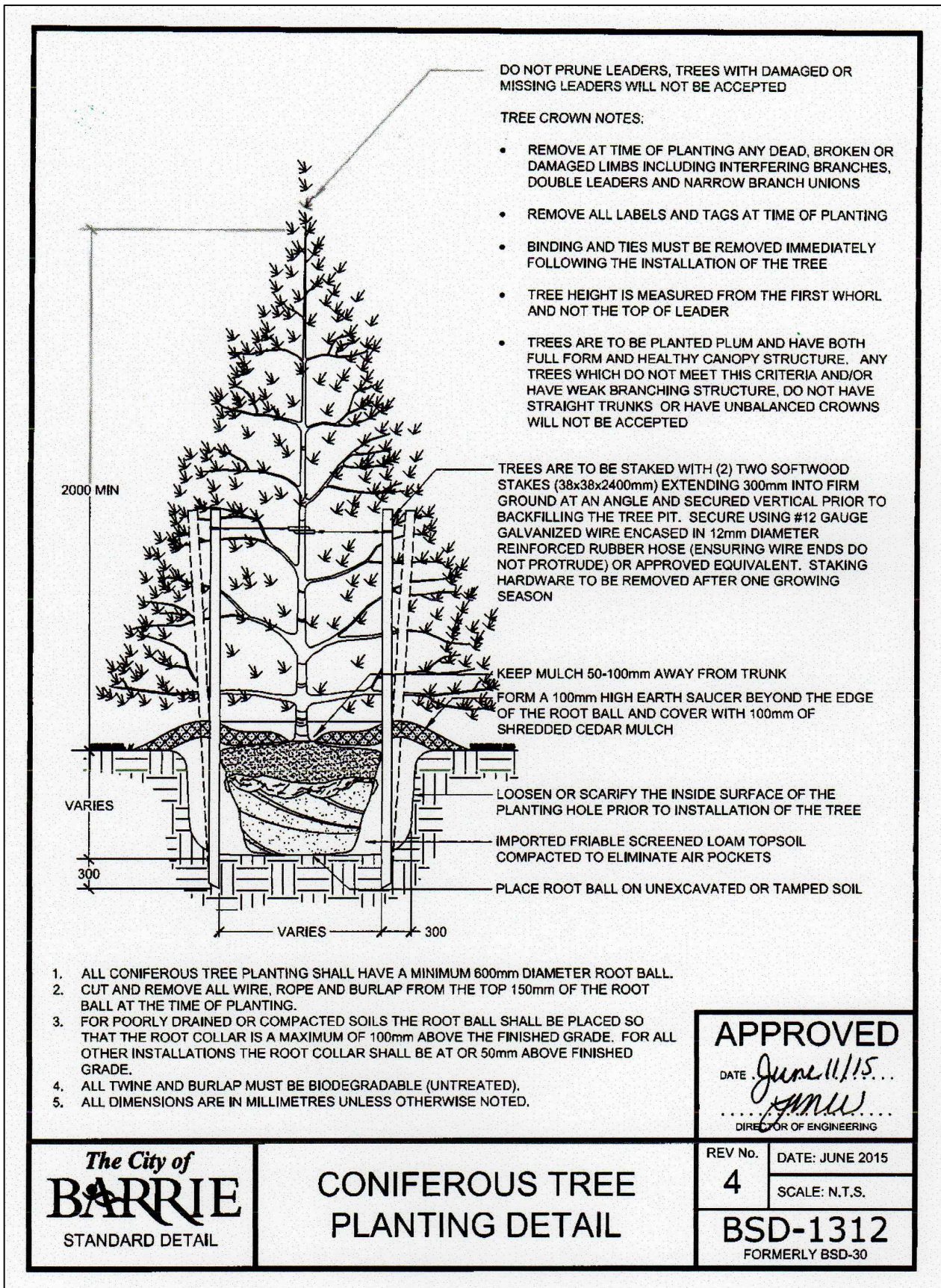
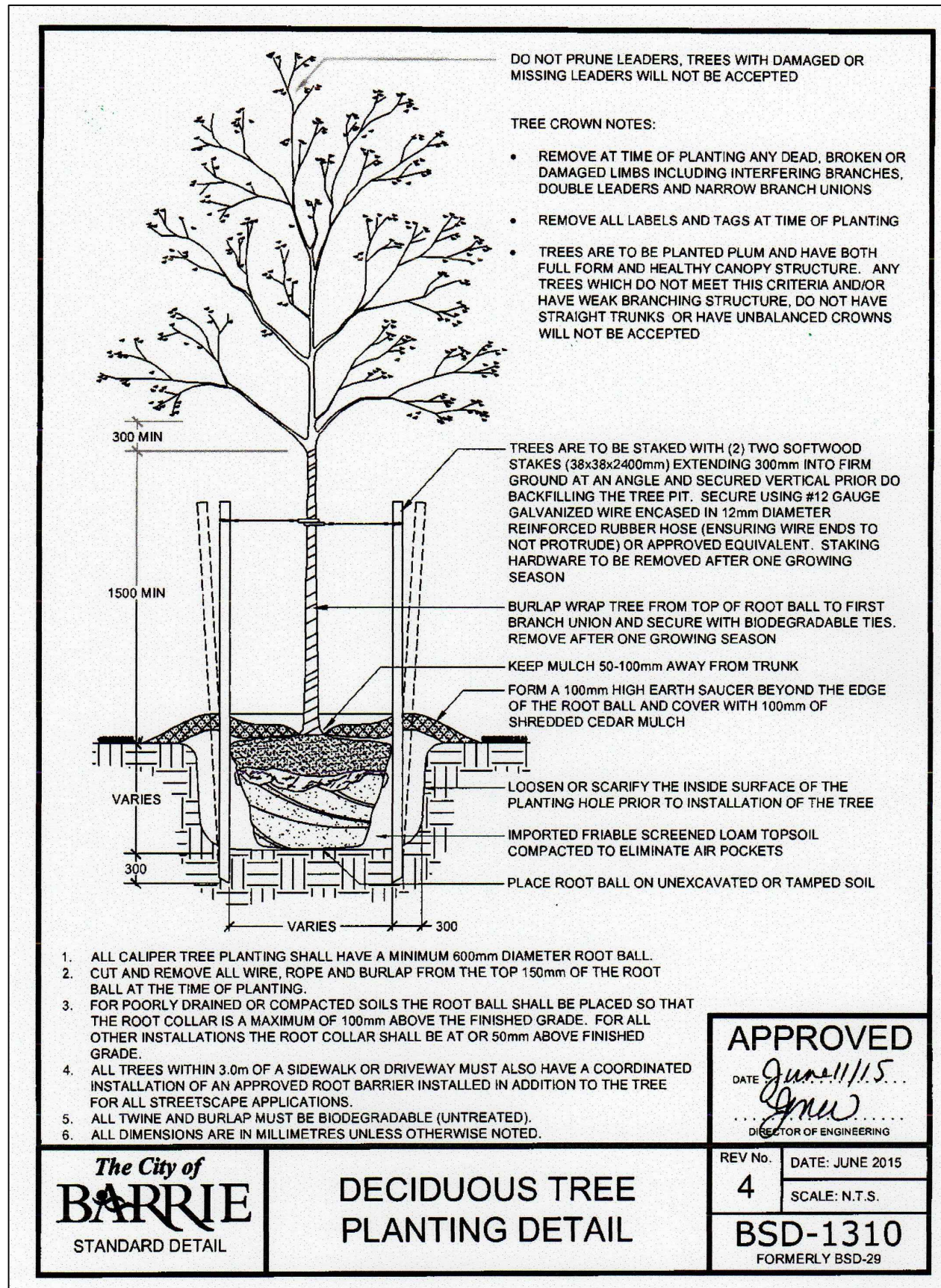
DENSITY CALCULATION	QUANTITY REQUIRED	QUANTITY PROPOSED
DECIDUOUS TREES	22	31
CONIFEROUS TREES	11	11
DECIDUOUS SHRUBS	44	76
EVERGREEN SHRUBS	22	88



CLIENT:
521 & 525 ESSA ROAD
BARRIE, ON

PROJECT:
OVERALL LANDSCAPE PLAN

PROJECT NO.: LA 265.10-17	SCALE: 1:150
MUNICIPAL FILE NO.: D28-008-18	DATE: August 1, 2017
DRAWN BY: E.W	CHECKED BY: J.H
DRAWING No.: LP-1	



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

It is the responsibility of the Contractor to erect and maintain all hoarding as per the approved detail, preservation notes and locations shown on the drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc.) If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

LEGEND

9	JUNE 05, 2019	EW	AS PER UPDATED ENGINEERING
8	MAY 29, 2019	EW	AS PER UPDATED SITE PLAN
7	APRIL 23, 2019	EW	AS PER ELECTRICAL DRAWING
6	APRIL 12, 2019	EW	AS PER UPDATED SITE PLAN
5	JAN 17, 2019	EW	DENSITY TABLE ADDED TO LP-1
4	OCT 31, 2018	EW	AS PER UPDATED SITE PLAN
3	OCT 24, 2018	EW	AS PER ELECTRICAL DRAWING
2	OCT 12, 2018	EW	AS PER REVISED ENGINEERING DRAWING
1	APRIL 20, 2018	EW	AS PER CITY COMMENTS

NO. DATE BY

REVISIONS

STAMP

APPROVAL

CITY OF BARRIE

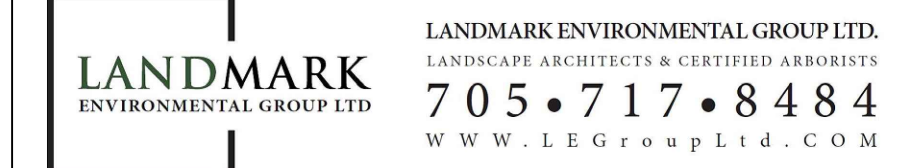
NAME _____

DATE _____

SIGNATURE _____

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



CLIENT:

521 & 525 ESSA ROAD

BARRIE, ON

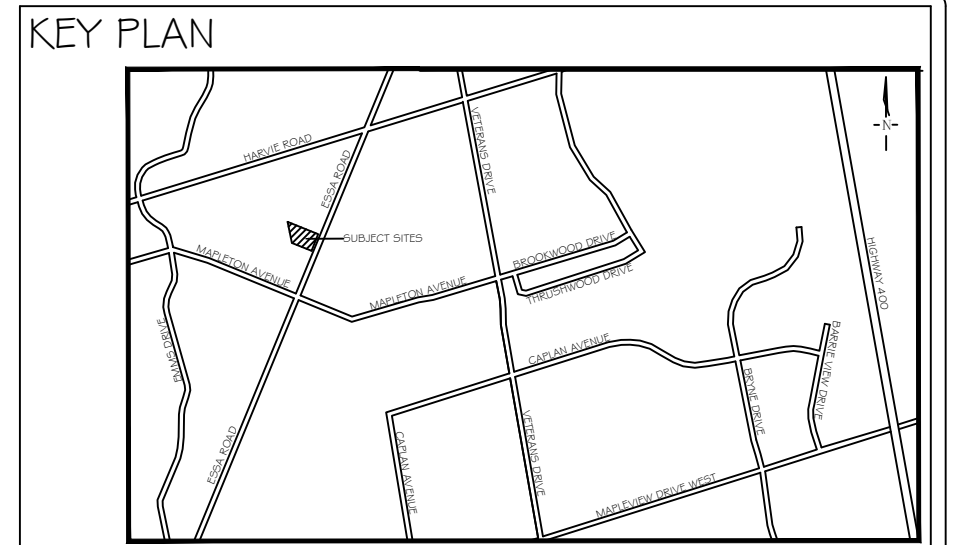
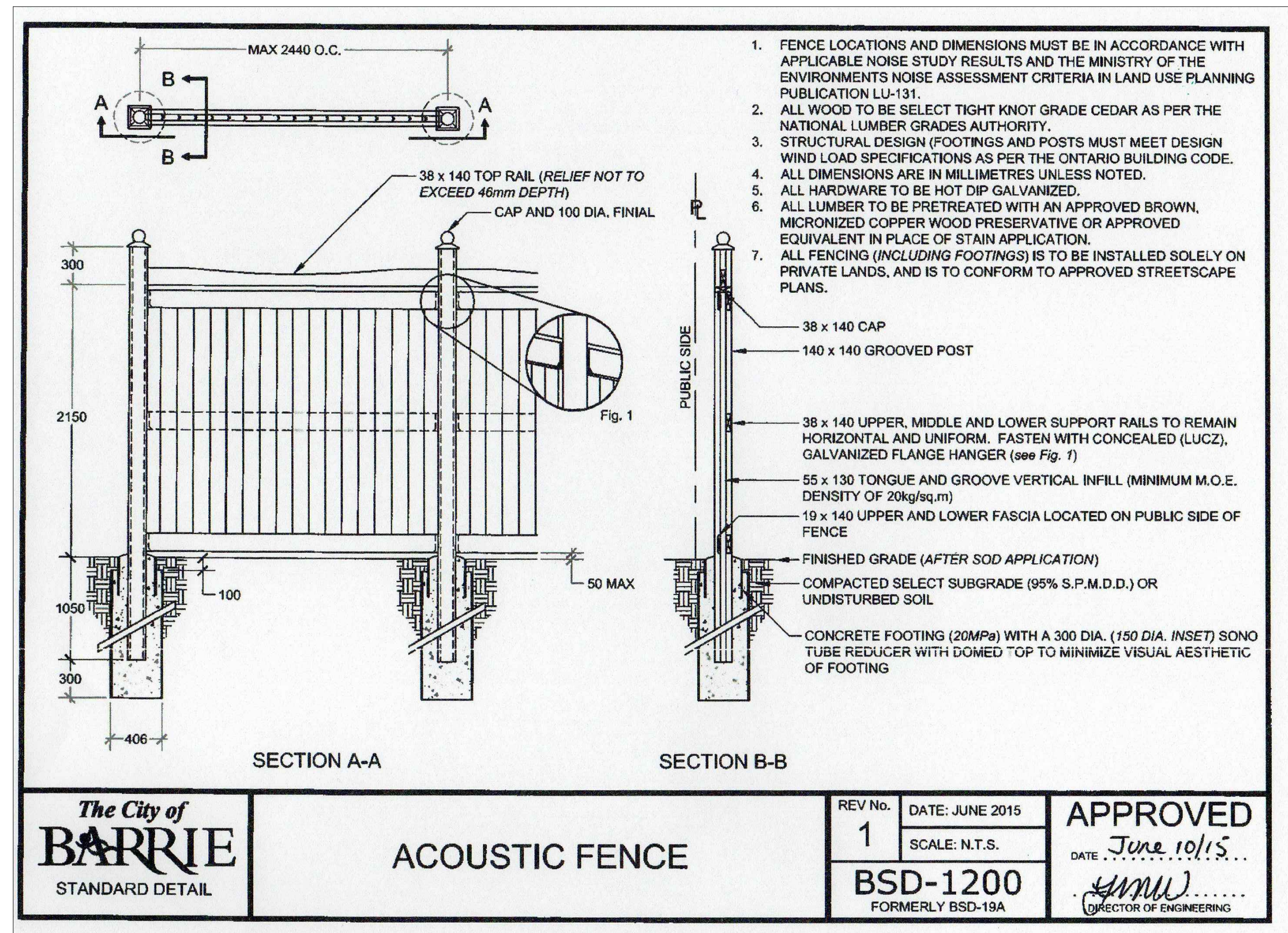
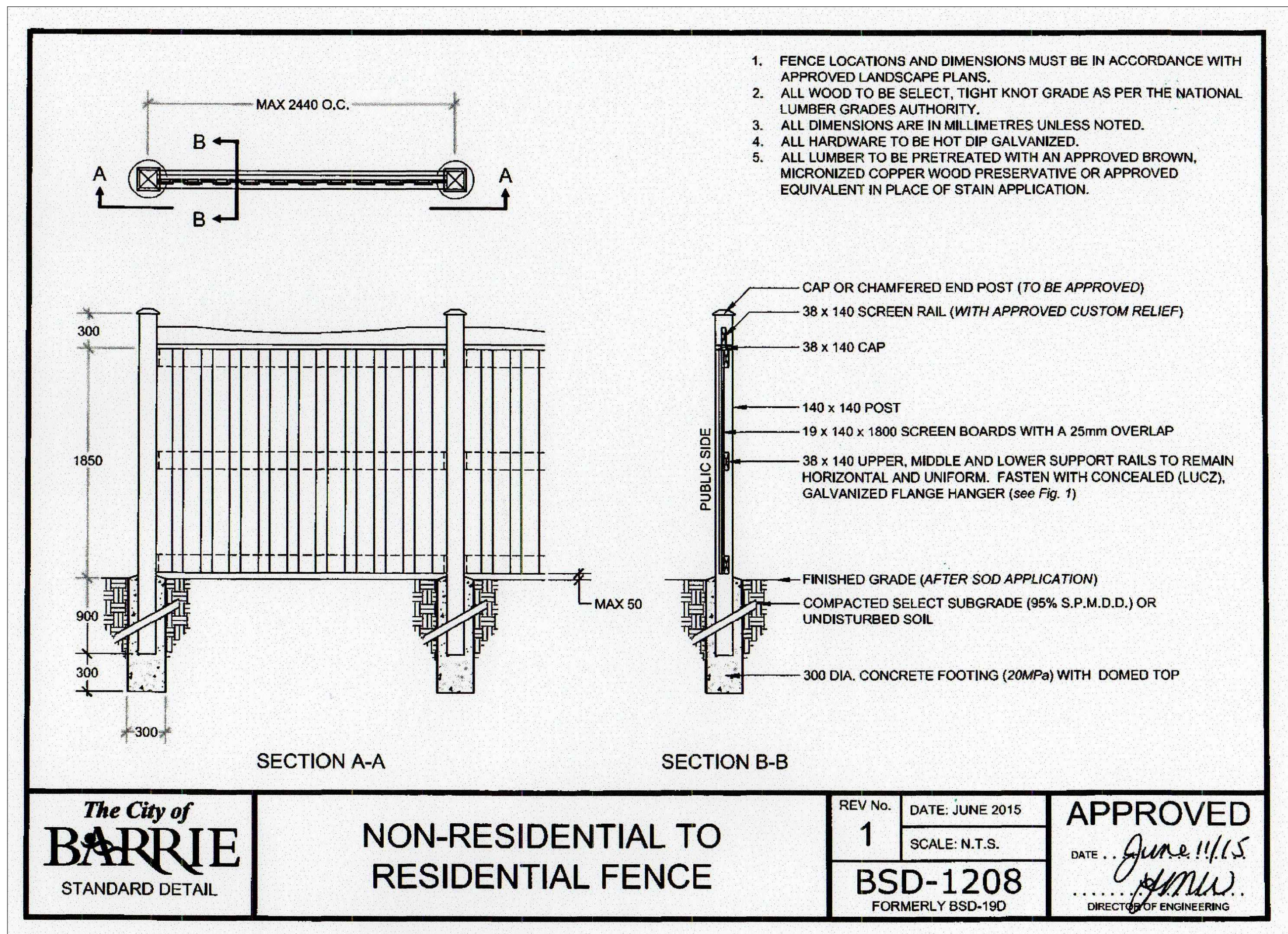
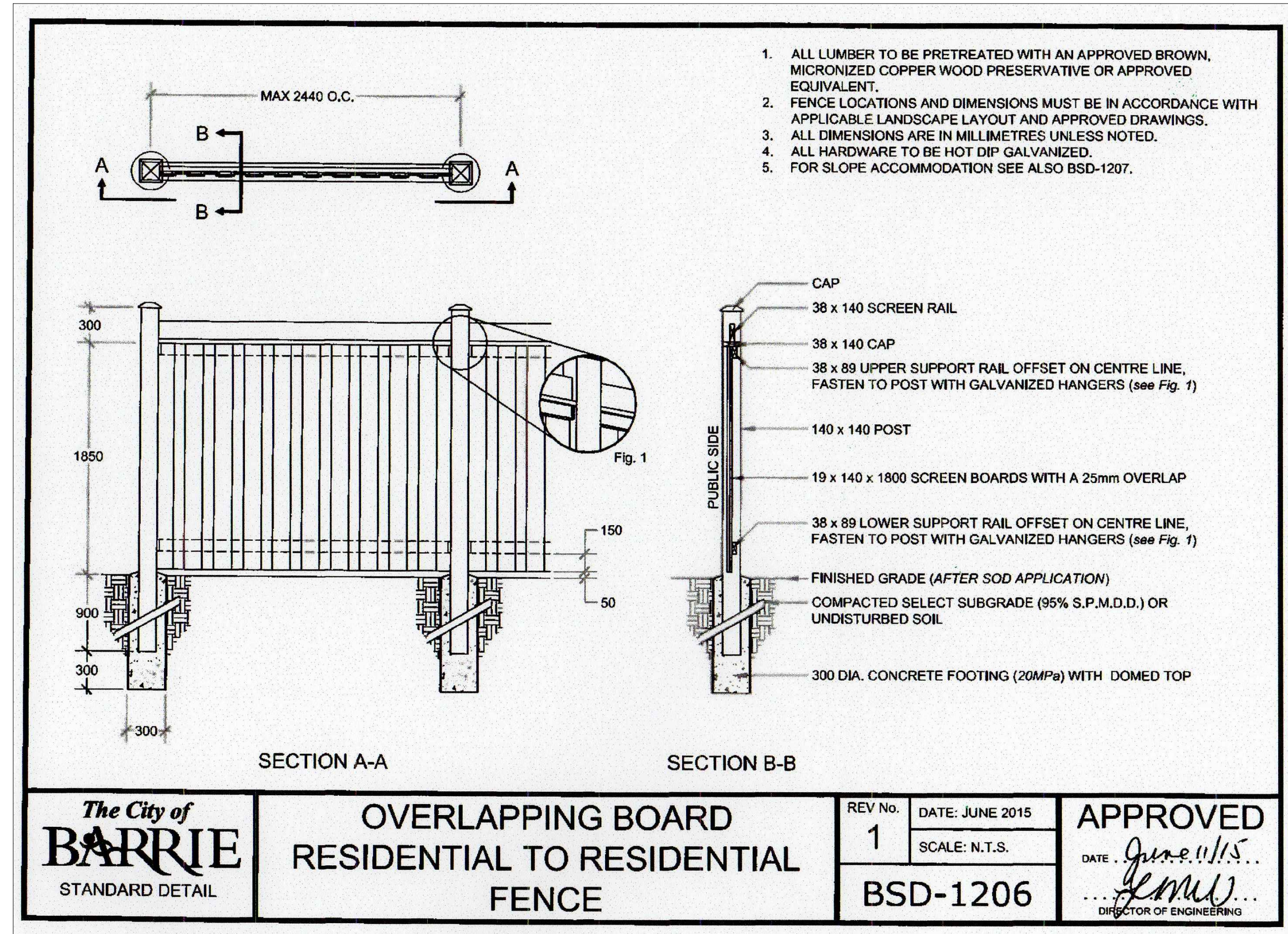
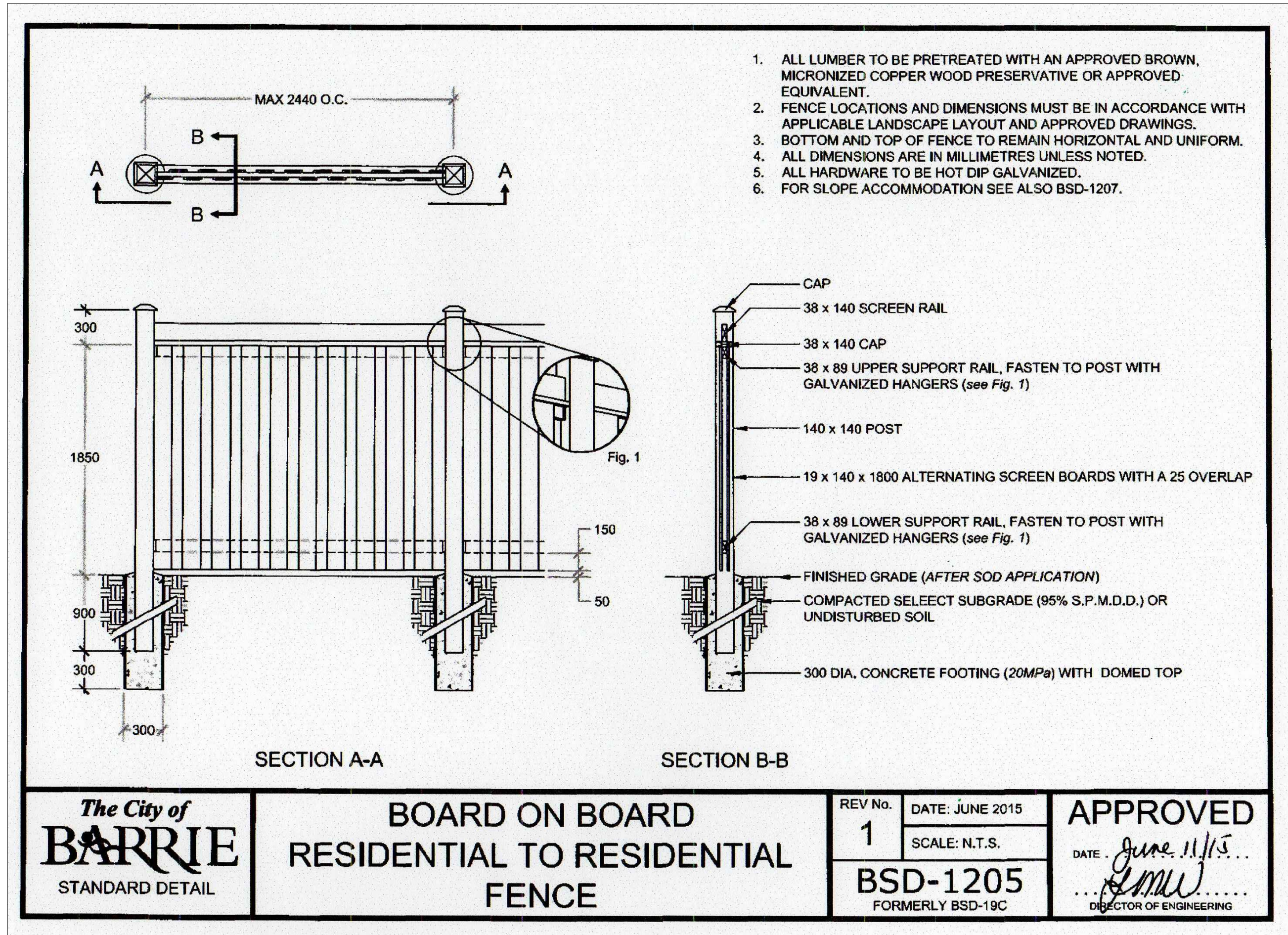
PROJECT:	DETAILS
PROJECT NO.: LA 265.10-17	SCALE: N.T.S.
MUNICIPAL FILE NO.: D28-008-18	DATE: August 1, 2017
DRAWN BY: JH/ew	DRAWING No.: D-1

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE /CONDITION
TREES				
A	8	<i>Acer rubrum</i>	Red Maple	60mm cal/WB
B	2	<i>Amelanchier x grandiflora</i> 'Ballerna'	Ballerna Serviceberry	60mm cal/WB
C	7	<i>Picea glauca</i>	White Spruce	4m ht/WB
E	4	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	60mm cal/WB
F	7	<i>Tilia cordata</i> 'Cornthian'	Cornthian Linden	60mm cal/WB
G	4	<i>Picea pungens</i> 'Glaucia'	Colorado Blue Spruce	4m ht/WB
H	7	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	60mm cal/WB
SHRUBS				
m	20	<i>Euonymus fortunei</i> 'Emerald Gaiety'	Emerald Gaiety Wintercreeper	3gal pot/60cm ht
n	2	<i>Forsythia</i> 'Northern Gold'	Northern Gold Forsythia	3gal pot/60cm ht
p	8	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	2gal pot/30cm ht
q	12	<i>Juniperus horizontalis</i> 'Prince of Wales'	Prince of Wales Juniper	2gal pot/30cm ht
r	8	<i>Juniperus scopulorum</i> 'Spartan'	Spartan Juniper	7gal pot/1.25m ht
s	4	<i>Picea pungens</i> 'Globosa'	Dwarf Globe Blue Spruce	5gal pot/60cm ht
t	46	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spiraea	2gal pot/60cm ht
v	36	<i>Taxus x media</i> 'Densiflora'	Dense Spreading Yew	3gal pot/60cm ht
x	26	<i>Weigela florida</i> 'Bokraspiw'	Spilled Wine Weigela	2gal pot/60cm ht
y	4	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea Standard	7gal pot/1.25m ht
PERENNIALS				
aa	37	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed	1 gal pot/30cm ht
bb	46	<i>Hemerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily	1 gal pot/30cm ht
cc	52	<i>Hosta</i> 'Halcyon'	Halcyon Hosta	1 gal pot/30cm ht
dd	10	<i>Hosta</i> x 'Blue Mouse Ears'	Blue Mouse Ears Hosta	1 gal pot/30cm ht
ee	58	<i>Sedum spectabile</i> 'Autumn Joy'	Autumn Joy Sedum	1 gal pot/30cm ht

PLANTING NOTES

1. The Contractor shall review all information in all drawings details and specifications and report any discrepancies to the Landscape Architect in writing prior to commencement of works.
2. All planting and related work shall be completed by experienced personnel under the direction and supervision of a qualified foreman.
3. The work shall be done to conform with latest and best horticultural practice and specifications.
4. All plant material which cannot be planted immediately will be properly heeled in or covered with a similar material which will keep root surfaces moist until planted.
5. All plant material and operations shall meet or exceed current horticultural standards of the Canadian Nursery Trade Association and the Ontario Landscape Contractors Association. All plant material to be No. 1 Grade Nursery Stock. All unsatisfactory stock including field grown will be refused on site.
6. Trees and shrubs shall have an uncut, strong central leader, be sound, healthy, vigorous, well-branched, densely foliated, free of disease, insects and have well-developed root systems.
7. Where applicable, sod to be Canada No. 1 Nursery Sod, meeting Ontario Sod Growers Association Standards. All Areas to receive 200mm minimum depth of topsoil under sod unless otherwise indicated. See Drawings and Specifications for areas to be mulched.
8. The Contractor shall stake out all planting locations for approval by the Landscape Architect or Contract Administrator prior to planting. Where dimensions are not provided, the drawing may be scaled ONLY to determine approximate locations of plant material. Dimensions are in millimeters unless otherwise stated.
9. All mass plantings shall be in continuous beds with mulch as specified in planting details.
10. All planting will be under warranty by the Contractor for a minimum of 1 year. The Contractor shall water at time of planting and whenever deemed necessary to maintain trees in a healthy condition. Apply aqueous fertilizer in a ratio of 10-6-4 in accordance with manufacturers instructions. Sod, where specified, to be maintained and guaranteed until established, minimum after two mowings.
11. Unwrap or do not wrap tree trunks. Stake trees in accordance with required specifications.
12. Provide sufficient rodent protection on all new planting so as to deter bark or shoot damage by rodents. Significant rodent damage, as determined by the Landscape Architect will require plant replacement.



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

It is the responsibility of the Contractor to erect and maintain all hoarding as per the approved detail, preservation notes and locations shown on the drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc.). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

LEGEND

NO	DATE	BY	REVISIONS
9	JUNE 05, 2019	EW	AS PER UPDATED ENGINEERING
8	MAY 29, 2019	EW	AS PER UPDATED SITE PLAN
7	APRIL 23, 2019	EW	AS PER ELECTRICAL DRAWING
6	APRIL 12, 2019	EW	AS PER UPDATED SITE PLAN
5	JAN 17, 2019	EW	DENSITY TABLE ADDED TO LP-1
4	OCT 31, 2018	EW	AS PER UPDATED SITE PLAN
3	OCT 24, 2018	EW	AS PER ELECTRICAL DRAWING
2	OCT 12, 2018	EW	AS PER REVISED ENGINEERING DRAWING
1	APRIL 20, 2018	EW	AS PER CITY COMMENTS

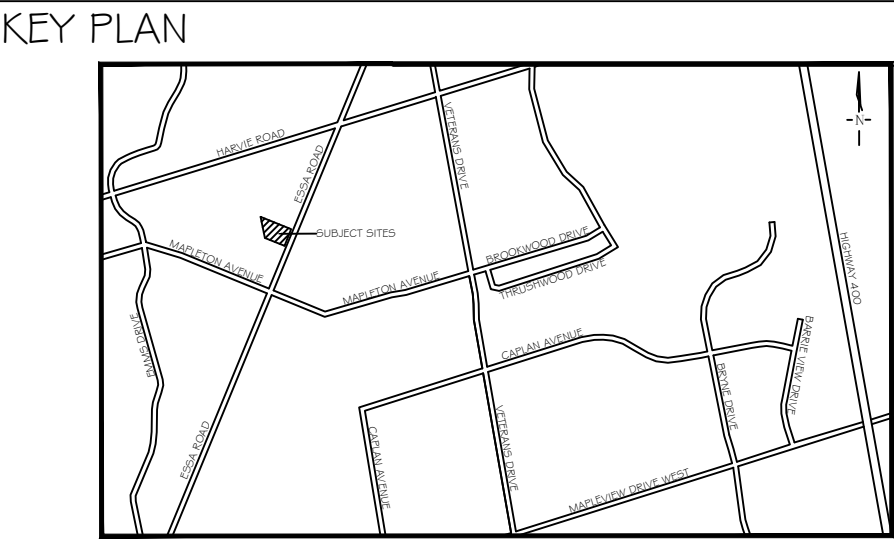
NO	DATE	BY	REVISIONS
9	JUNE 05, 2019	EW	AS PER UPDATED ENGINEERING
8	MAY 29, 2019	EW	AS PER UPDATED SITE PLAN
7	APRIL 23, 2019	EW	AS PER ELECTRICAL DRAWING
6	APRIL 12, 2019	EW	AS PER UPDATED SITE PLAN
5	JAN 17, 2019	EW	DENSITY TABLE ADDED TO LP-1
4	OCT 31, 2018	EW	AS PER UPDATED SITE PLAN
3	OCT 24, 2018	EW	AS PER ELECTRICAL DRAWING
2	OCT 12, 2018	EW	AS PER REVISED ENGINEERING DRAWING
1	APRIL 20, 2018	EW	AS PER CITY COMMENTS

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LANDMARK ENVIRONMENTAL GROUP LTD.	LANDMARK ENVIRONMENTAL GROUP LTD. LANDSCAPE ARCHITECTS & CERTIFIED ARBORISTS 705.717.8484 WWW.LEGroupltd.com
---	---

CLIENT:
521 & 525 ESSA ROAD
BARRIE, ON

PROJECT:	DETAILS
PROJECT NO.: LA 265.10-17	SCALE: N.T.S.
MUNICIPAL FILE NO.: D28-008-18	DATE: August 1, 2017
DRAWN BY: JH/ew	DRAWING No.: D-3



The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

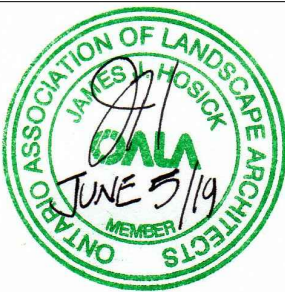
It is the responsibility of the Contractor to erect and maintain all hoarding as per the approved detail, preservation notes and locations shown on the drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

LEGEND

9	JUNE 05, 2019	EW	AS PER UPDATED ENGINEERING
8	MAY 29, 2019	EW	AS PER UPDATED SITE PLAN
7	APRIL 23, 2019	EW	AS PER ELECTRICAL DRAWING
6	APRIL 12, 2019	EW	AS PER UPDATED SITE PLAN
5	JAN 17, 2019	EW	DENSITY TABLE ADDED TO LP-1
4	OCT 31, 2018	EW	AS PER UPDATED SITE PLAN
3	OCT 24, 2018	EW	AS PER ELECTRICAL DRAWING
2	OCT 12, 2018	EW	AS PER REVISED ENGINEERING DRAWING
1	APRIL 20, 2018	EW	AS PER CITY COMMENTS
NO	DATE	BY	REVISIONS

STAMP



APPROVAL

CITY OF BARRIE

NAME _____

DATE _____

SIGNATURE _____

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



LANDMARK ENVIRONMENTAL GROUP LTD

705 717 848 4

W W W . L E G r o u p L t d . C O M

CLIENT:

521 & 525 ESSA ROAD

BARRIE, ON

PROJECT:

DETAILS

PROJECT NO.: LA 265.10-17	SCALE: N.T.S
MUNICIPAL FILE NO.: D28-008-18	DATE: August 1, 2017
DRAWN BY: JH/ew	DRAWING No.: D-4