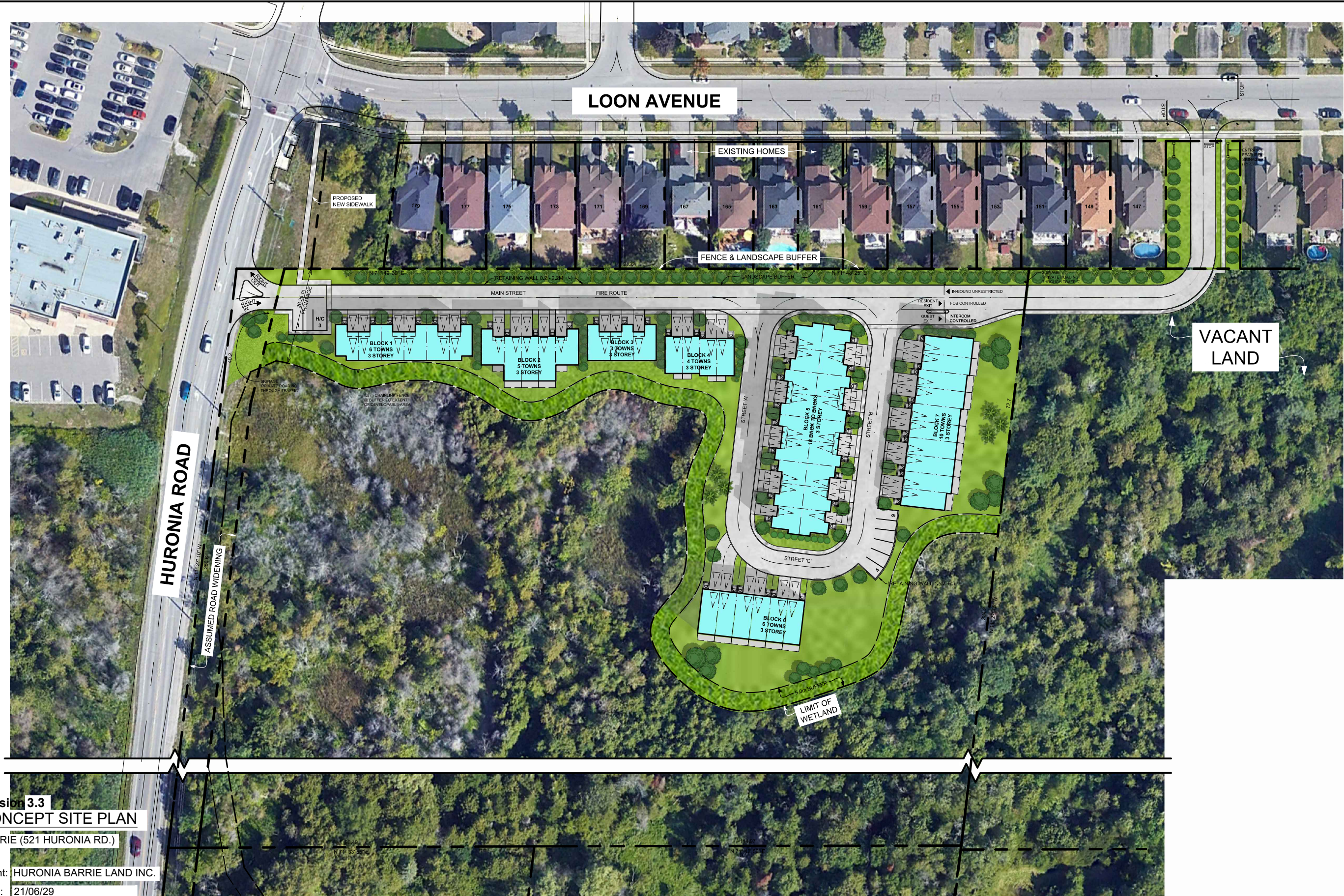




Version 3.3
CONCEPT SITE PLAN

BARRIE (521 HURONIA RD.)

Client: HURONIA BARRIE LAND INC.

Date: 21/06/29

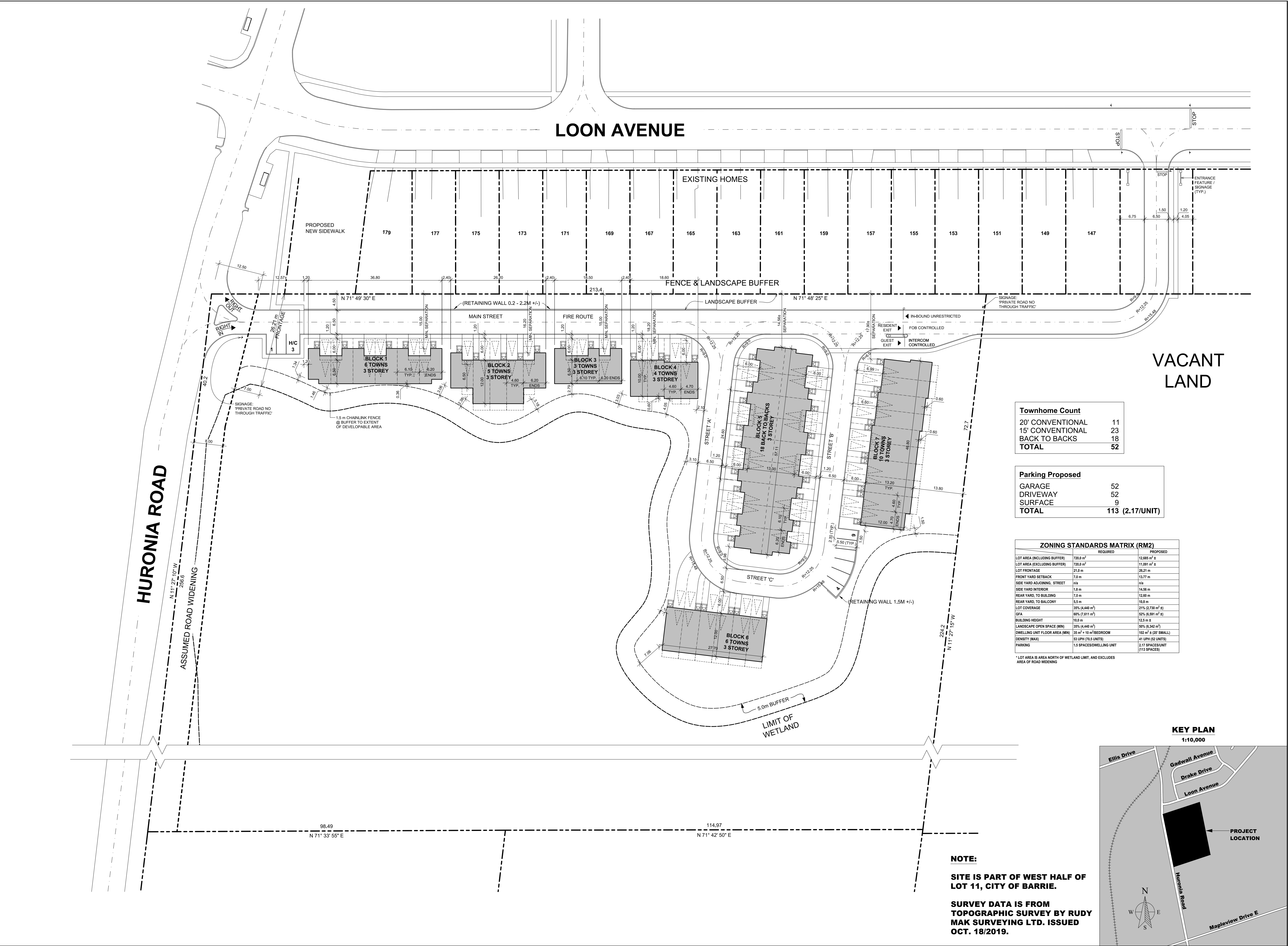
Project number: 5214 Scale: 1:1000

Townhome Count	
20' CONVENTIONAL	11
15' CONVENTIONAL	23
BACK TO BACKS	18
TOTAL	52

Parking Proposed	
GARAGE	52
DRIVEWAY	52
SURFACE	9
TOTAL	113 (2.17/ UNIT)

WE MERCHANDISE SPACE INC.
FORREST GROUP INC.

The intent of this drawing is to provide a preliminary concept for this community, as an instrument of service. This drawing is provided by and is the property of We Merchandise Space Inc. and Forrest Group Inc. We Merchandise Space Inc. and Forrest Group Inc. retains ownership of copyright in all of its drawings. We Merchandise Space Inc. and Forrest Group Inc. are not responsible for the accuracy of underlying information, such as the survey. This drawing is not to be scaled. All Consultants and others must verify and accept responsibility for all dimensions and conditions on site and must notify We Merchandise Space Inc. and Forrest Group Inc. of any variations from the provided information. The Client named herein is granted a license to reproduce, distribute, exhibit or otherwise use, said materials, in accordance with this agreement, which license may be revoked for cause, including but not limited to, misuse of drawings or failure to pay accounts. It is expressly understood and agreed that no action, lawsuit, or claim may be made against the employees, officers, or directors of We Merchandise Space Inc. or Forrest Group Inc. for any reason whatsoever. For greater clarity, We Merchandise Space Inc. and Forrest Group Inc. shall not be liable, directly or indirectly, in any manner whatsoever by any party by reason of the use of the drawings and materials referred to herein.



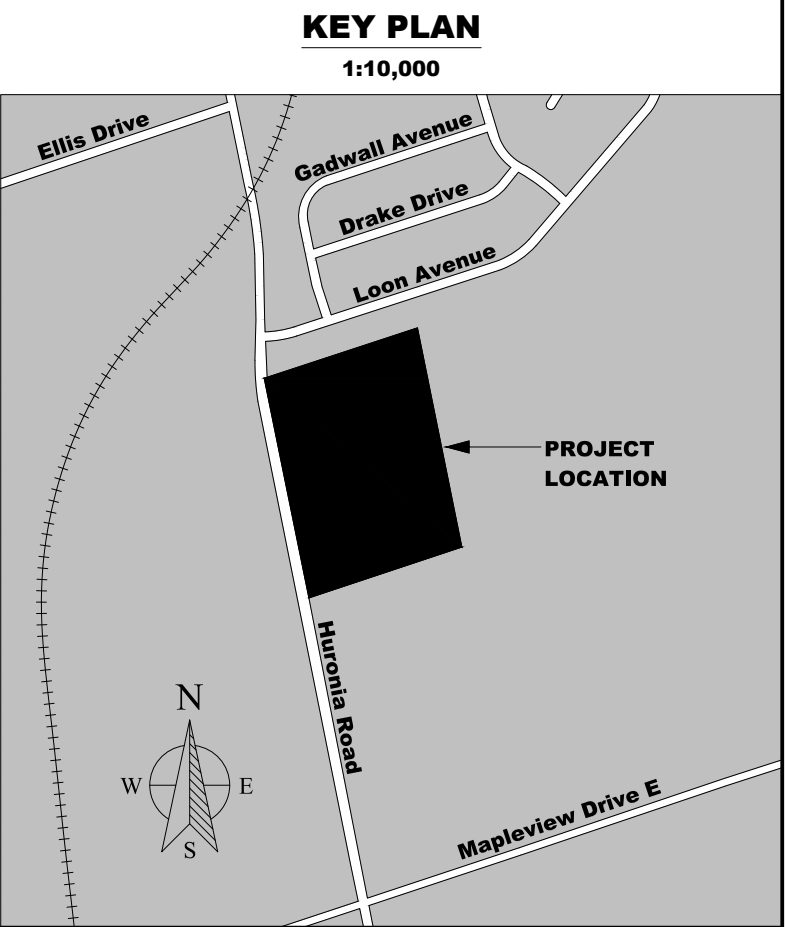
Townhome Count	
20' CONVENTIONAL	11
15' CONVENTIONAL	23
BACK TO BACKS	18
TOTAL	52

Parking Proposed	
GARAGE	52
DRIVEWAY	52
SURFACE	9
TOTAL	113 (2.17/UNIT)

ZONING STANDARDS MATRIX (RM2)		
	REQUIRED	PROPOSED
LOT AREA (INCLUDING BUFFER)	720.0 m ²	12,685 m ² ±
LOT AREA (EXCLUDING BUFFER)	720.0 m ²	11,091 m ² ±
LOT FRONTAGE	21.0 m	26.21 m
FRONT YARD SETBACK	7.0 m	13.77 m
SIDE YARD ADJOINING STREET	na	na
SIDE YARD INTERIOR	1.0 m	14.56 m
REAR YARD TO BUILDING	7.0 m	12.60 m
REAR YARD TO BALCONY	5.5 m	10.8 m
LOT COVERAGE	35% (4,400 m ²)	31% (3,730 m ² ±)
GFA	40% (7,811 m ²)	52% (6,991 m ² ±)
BUILDING HEIGHT	10.0 m	12.5 m ±
LANDSCAPE OPEN SPACE (MIN)	35% (4,400 m ²)	99% (6,342 m ²)
DWELLING UNIT FLOOR AREA (MIN)	95 m ² ± (10' x 10' BEDROOM)	102 m ² ± (10' x 10' SMALL)
DENSITY (MAX)	13 UPH (74.5 UNITS)	41 UPH (52 UNITS)
PARKING	1.5 SPACES/DWELLING UNIT	2.17 SPACES/UNIT (113 SPACES)

* LOT AREA IS AREA NORTH OF WETLAND LIMIT, AND EXCLUDES AREA OF ROAD WIDENING.

NOTE:
SITE IS PART OF WEST HALF OF LOT 11, CITY OF BARRIE.
SURVEY DATA IS FROM TOPOGRAPHIC SURVEY BY RUDY MAK SURVEYING LTD. ISSUED OCT. 18/2019.



The intent of this drawing is to provide a preliminary concept for this community, as an instrument of service.

This drawing is provided by and is the property of We Merchandise Space Inc. and Forrest Group Inc. retains ownership of copyright in all of its drawings.

We Merchandise Space Inc. and Forrest Group Inc. are not responsible for the accuracy of underlying information, such as the survey.

This drawing is not to be scaled.

All Consultants and others must verify and accept responsibility for all dimensions and conditions on site and must notify We Merchandise Space Inc. and Forrest Group Inc. of any variations from the provided information.

The Client named herein is granted a license to reproduce, distribute, exhibit or otherwise use, said materials, in accordance with this agreement, which license may be revoked for cause, including but not limited to, misuse of drawings or failure to pay accounts.

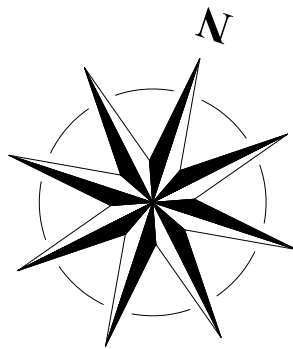
It is expressly understood and agreed that no action, lawsuit, or claim may be made against the employees, officers, or directors of We Merchandise Space Inc. or Forrest Group Inc. for any reason whatsoever.

For greater clarity, We Merchandise Space Inc. and Forrest Group Inc. shall not be liable, directly or indirectly, in any manner whatsoever by any party by reason of the use of the drawings and materials referred to herein.

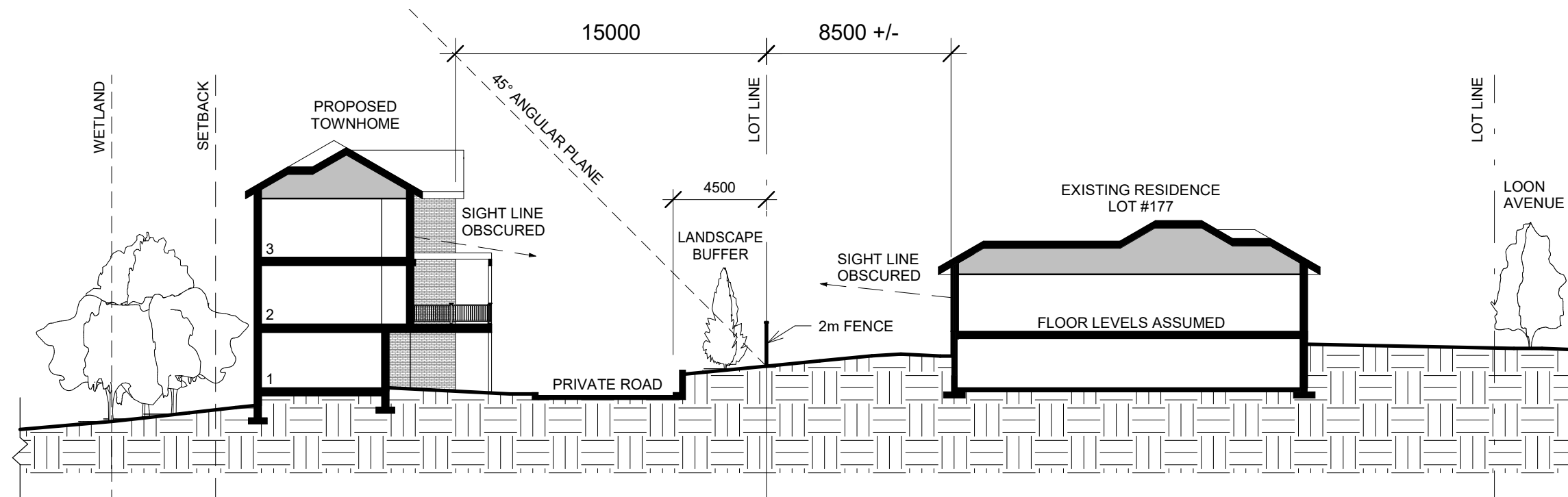
ISSUES		
NO.	DATE	DESCRIPTION
7	04/28/2021	REVISED AND RE-ISSUED
8	05/05/2021	REVISED AND RE-ISSUED
9	05/13/2021	REVISED AND RE-ISSUED
10	06/09/2021	REVISED AND RE-ISSUED
10	06/14/2021	REVISED AND RE-ISSUED
11	06/24/2021	REVISED AND RE-ISSUED
12	06/29/2021	REVISED AND RE-ISSUED

REVISIONS		
-----------	--	--

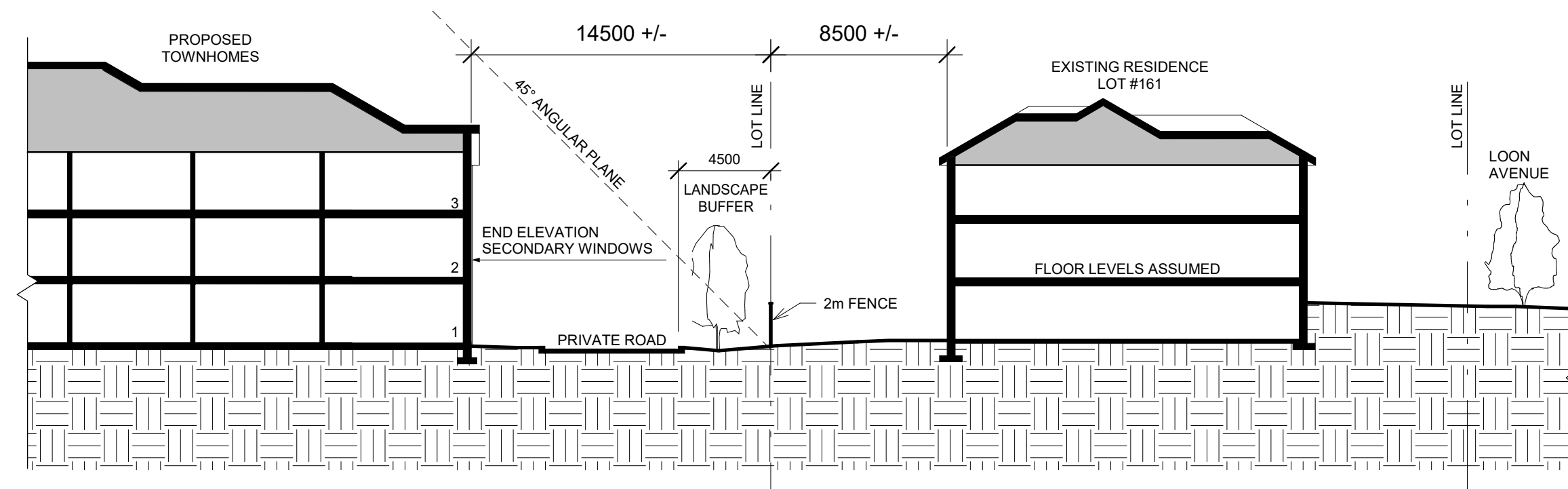
We Merchandise Space Inc.
Forrest Group Inc.
44 Upjohn Road
North York, ON
M3B 2W1
Tel: 905-752-6776



CLIENT: HURONIA BARRIE LAND INC.		
PROJECT: PROPOSED TOWNHOME COMMUNITY 521 HURONIA ROAD BARRIE, ON.		
DRAWING: CONCEPT SITE PLAN v3.3		
Designer: PR	Project number: 5214	DRAWING NO: A1
Drawn by: CW	Date: NOV. 2019	
Checked by: PR	SCALE: 1 : 500	



1 Section 1
1 : 250



2 Section 2
1 : 250

CONCEPT SITE SECTIONS

Client: HURONIA BARRIE INC.

Date: 21/06/21

Project number: 5214 Scale: 1 : 250

WE MERCHANDISE SPACE INC.
FORREST GROUP INC.

The intent of this drawing is to provide a preliminary concept for this community, as an instrument of service. This drawing is provided by and is the property of We Merchandise Space Inc. and Forrest Group Inc. We Merchandise Space Inc. and Forrest Group Inc. retains ownership of copyright in all of its drawings. We Merchandise Space Inc. and Forrest Group Inc. are not responsible for the accuracy of underlying information, such as the survey. This drawing is not to be scaled. All Consultants and others must verify and accept responsibility for all dimensions and conditions on site and must notify We Merchandise Space Inc. and Forrest Group Inc. of any variations from the provided information. The Client named herein is granted a license to reproduce, distribute, exhibit or otherwise use, said materials, in accordance with this agreement, which license may be revoked for cause, including but not limited to, misuse of drawings or failure to pay accounts. It is expressly understood and agreed that no action, lawsuit, or claim may be made against the employees, officers, or directors of We Merchandise Space Inc. or Forrest Group Inc. for any reason whatsoever. For greater clarity, We Merchandise Space Inc. and Forrest Group Inc. shall not be liable, directly or indirectly, in any manner whatsoever by any party by reason of the use of the drawings and materials referred to herein.