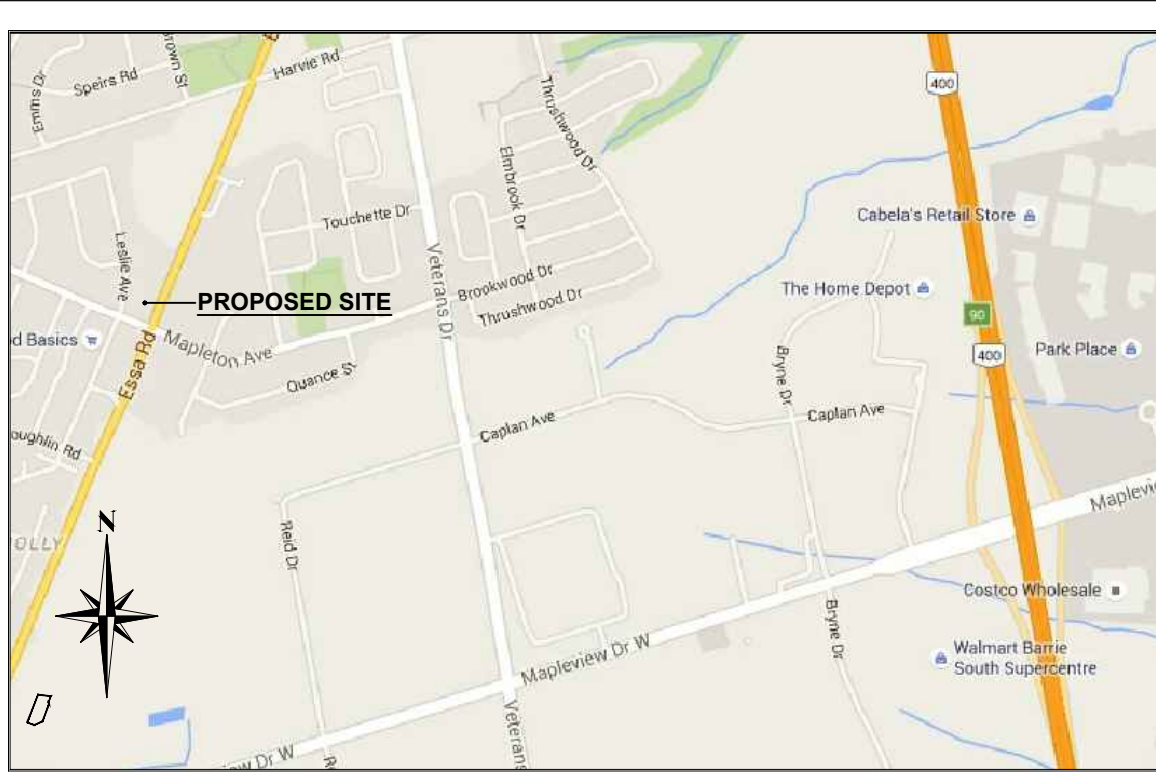
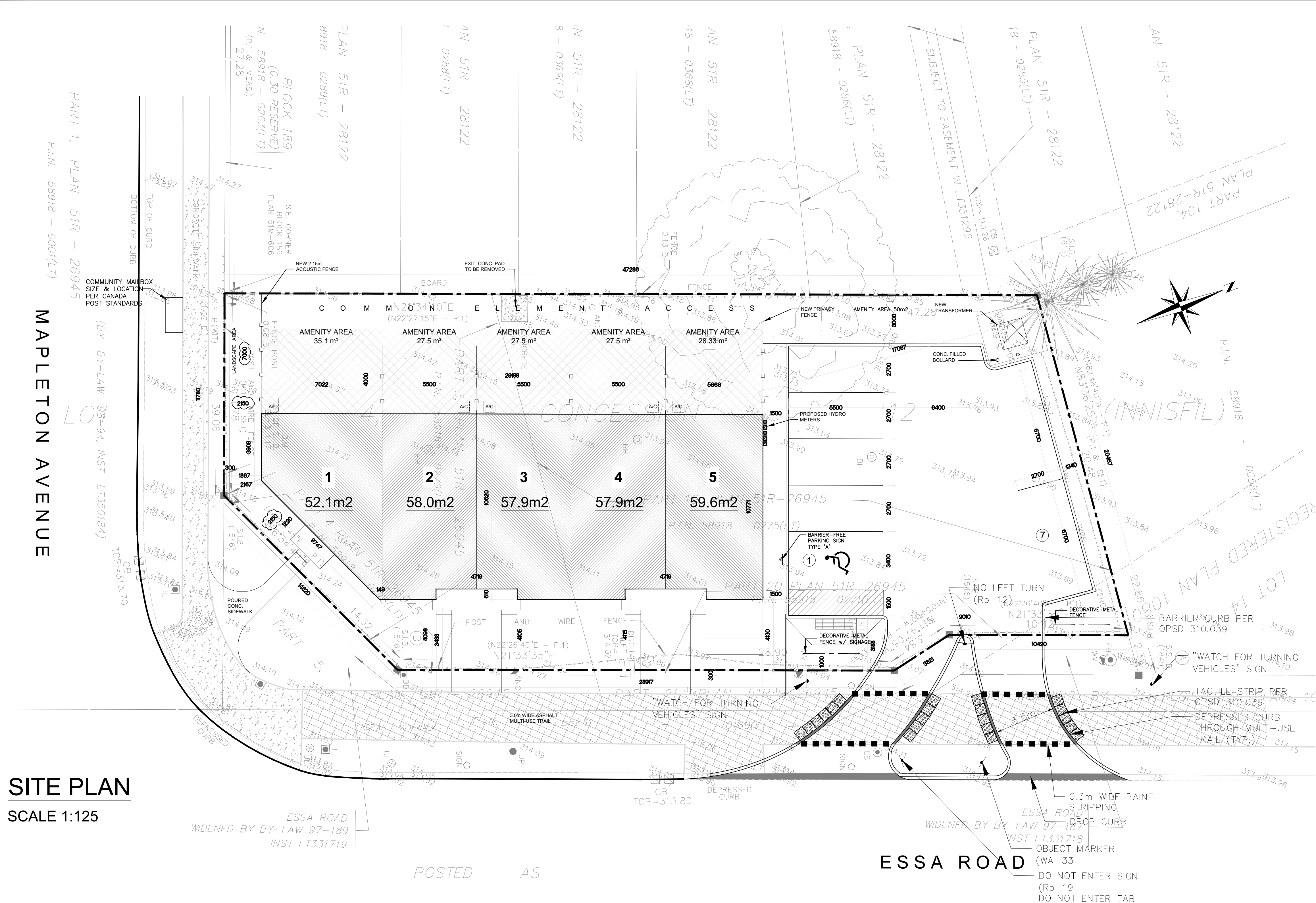


SITE PLAN
SCALE 1:125



ZONING TABLE: RM2-TH

STANDARD/ PROVISION	REQUIRED/ ALLOWED	PROVIDED
MIN. LOT AREA	720 m ²	1022.14 m ²
MIN. LOT FRONTAGE	21.0 m	31.65 m
MIN. FRONT YARD SETBACK	7.0 m	4.0 m ESSA 3.48 m
MIN. INTERIOR SIDE YARD SETBACK	1.8 m	2.15m MPLT (TO PORCH) 17.0 m
MIN. EXTERIOR SIDE YARD SETBACK	3.0 m	2.0 m (0.79 m (TO PORCH)
MIN. REAR YARD SETBACK	7.0 m	7.0 m
MAX. LOT COVERAGE (% OF SITE AREA	357.74 m ² (35.0 %)	285.5 m ² (27.9 %)
MAX. GROSS FLOOR AREA (% OF SITE AREA	613.26 m ² (60 %)	571 m ² (55.8 %)
MIN. LANDSCAPED OPEN SPACE (% OF SITE AREA	357.74 m ² (35 %)	463.03 m ² (45.30 %)
MAX. HEIGHT OF BUILDING	10.0 m	< 10.0 m
MAX. DENSITY (UNITS/Ha.)	40	51.1
TOTAL NO. OF UNITS	4	5
MIN. PARKING (1.5 SPACE/UNIT)	7.5	7
MIN. AMENITY SPACE (12.0 m ² /UNIT)	48.00 m ²	>48.00 m ²
MIN. ROAD AREA	-- m ² (--)	259.26 m ² (25.36 %)

Ian S Malcolm Architects
128 Wellington Street West, Ste. 207
Barrie, ON L4N 1K9
T: 705.725.5355
E: iam@malcolma.ca

No.	ISSUE/REVISION	DATE
1	FOR SITE PLAN CONTROL	APR 28/18
2	ISSUE FOR REVIEW	MAY 12/18
3	WIN REVISED PER CLIENT	MAY 13/18
4	REAR YARDS ADJUSTED	JUL 14/18
5	RIGHT IN RIGHT OUT ADD.	JUL 18/18
6	SLOPED ROOF ADJUSTED	JUL 22/18
7	ROOF SLOPE ADJUSTED	JUL 25/18
8	ISSUE FOR COORDINATION	SEP 26/18
9	ENTRY COORDINATION	NOV 28/18
10	COMMUNITY MAILBOX	DEC 06/18
11	TRANSFER R & METERS	JAN 10/17
12	SIGNAGE LOCATION	JAN 12/17
13	MATERIALS LEGEND	MAR 01/17
14	TRANSFER R & B.F. PARK	MAR 30/17
15	LANDSCAPE FEATURE	MAR 31/17
16	COMMUNITY MAILBOX	APR 10/17
17	COMMUNITY MAILBOX	APR 13/17
18	0.3m RESERVE	APR 24/17
19	14.5 TH CONVERSION	NOV 21/18
20	SETBACKS UPDATE	NOV 18/18

STAMP
ONTARIO ASSOCIATION
OF
ARCHITECTS
IAN S MALCOLM
LICENCE
2853

DO NOT SCALE DIMENSIONS
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
PROCEEDING WITH THE WORK

DETAIL NO.
A B SHEET NO. WHERE DETAILLED
A B

ORIENTATION
N

CLIENT
ATTN: D. SEAMAN
185245 ONTARIO INC.
180 PIPPIN ROAD
CONCORD ON L4K 4X9
PH: 905-896-7688

PROJECT
5 TOWNHOMES
541 ESSA ROAD,
BARRIE, ON

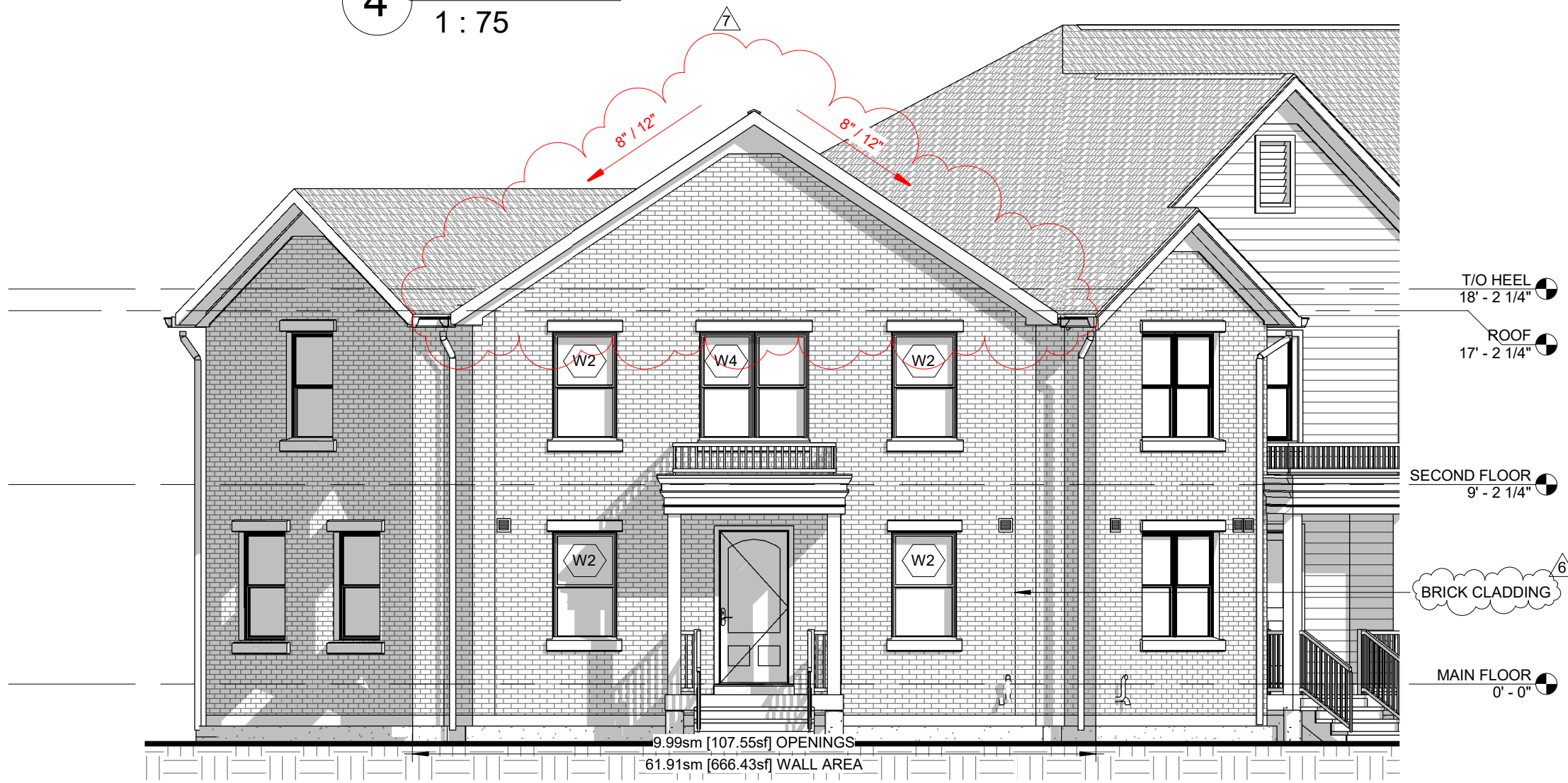
PROJECT INFORMATION
PROJECT No: 163874
DRAWN BY: JB
CHECKED BY: SM
DATE: 18.12.019
SCALE: AS NOTED

DRAWING
SITE PLAN

DRAWING No:
A100



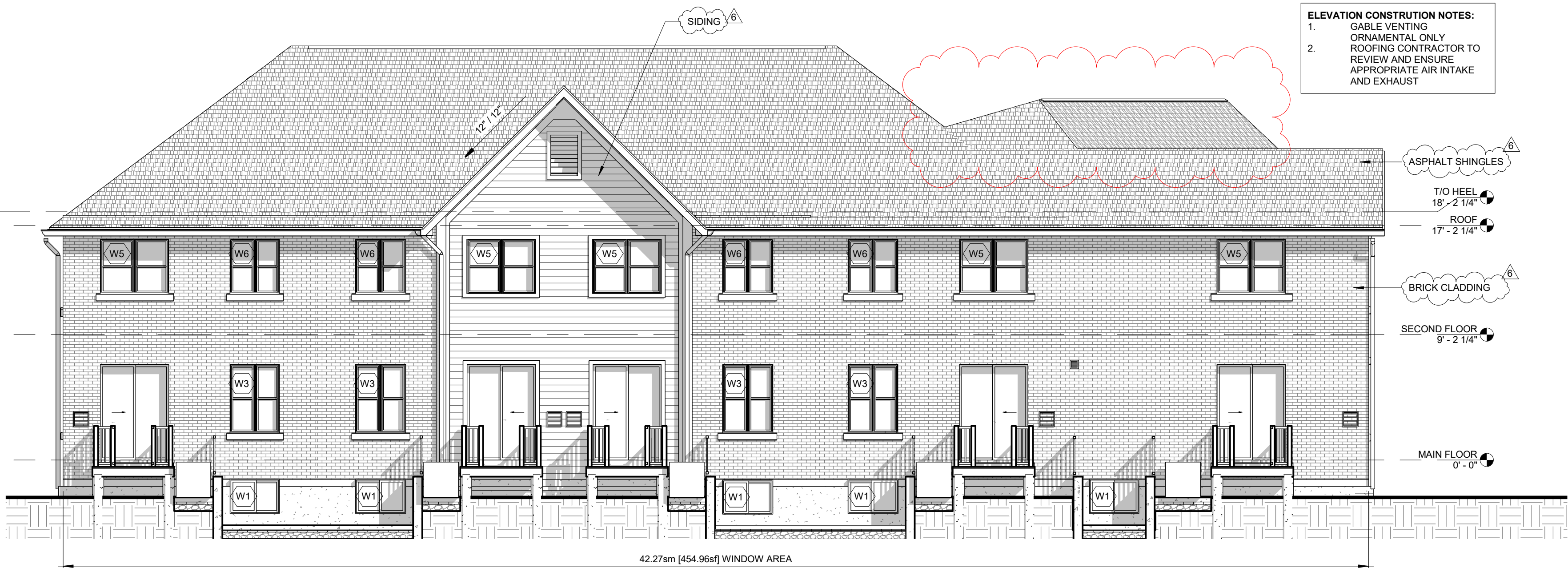
4 SOUTH
1:75



3 SOUTH / EAST
1:75



1 NORTH
1:75



5 WEST
1:75



2 EAST
1:75

ELEVATION CONSTRUCTION NOTES:
1. GABLE VENTING ORNAMENTAL ONLY
2. ROOFING CONTRACTOR TO REVIEW AND ENSURE APPROPRIATE AIR INTAKE AND EXHAUST

GENERAL NOTES
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. REPRODUCTION OF DRAWINGS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE ALL STRUCTURAL, MECHANICAL AND ELECTRICAL WORK.

SB12 [SB12 TABLE 3.1.1.2.A: A3 COMPLIANCE PACKAGE]			
WALL	WINDOW (SM)	WALL (SM)	RATIO
NORTH	6.96	61.98	
EAST	22.37	142.77	
SOUTHEAST	9.99	61.91	
SOUTH	4.17	23.32	
WEST	42.27	179.02	
TOTAL	85.76	469	18.29%

No.	Description	Date
1	Issued for Review and Coordination	10 Dec 2020
2	Issued for Struct. Coordination	18Dec5Jan21
3	Issued for Final Coordination	29 Jan 2021
4	Issued for Final Review	12 Feb 2021
5	Issued for Permit	26 Feb 2021
6	Revisions	10 June 2022
7	Revisions	21 Sep 2021

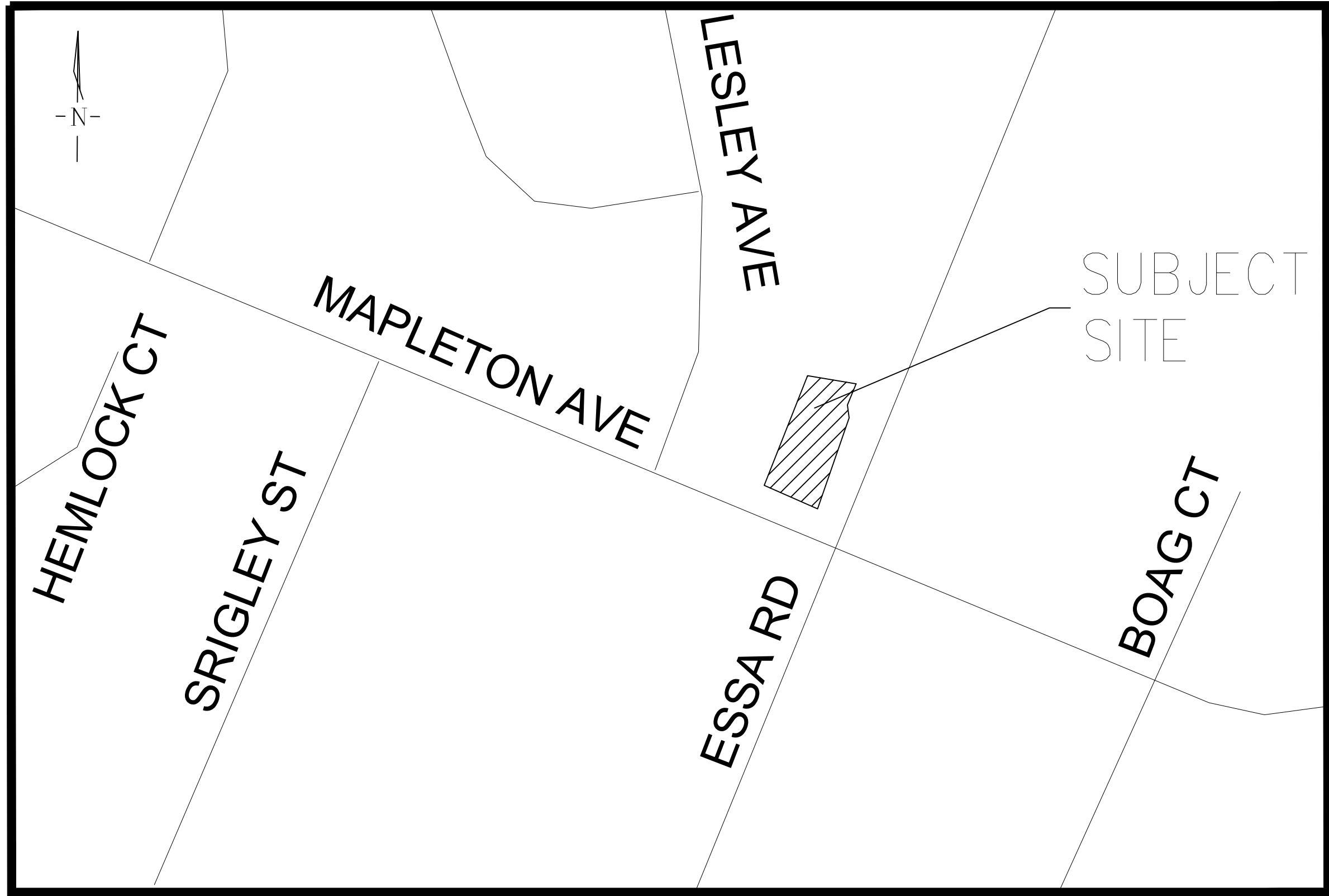
ONTARIO ASSOCIATION OF ARCHITECTS
TED HANDY ASSOCIATES Inc. ARCHITECT
76 Mary Street Barrie, Ont. L4N 1T1 Tel. 705.734.2580 Fax 705.721.0265

HABITAT
541 Essa Road, Barrie
ELEVATIONS
Project number 0022
A3.1
Scale As indicated

2021-10-14 4:48:48 PM

HABITAT FOR HUMANITY CITY OF BARRIE

CITY OF BARRIE FILE NO.
LANDMARK ENVIRONMENTAL GROUP LTD. PROJECT NO. LA-450-20



DRAWING LIST:

- | | |
|-----|--|
| L-1 | LANDSCAPE PLAN |
| D-1 | PLANTING INSTALLATION DETAILS AND PLANT LIST |
| D-2 | FENCING DETAILS |
| D-3 | DECORATIVE FENCE & UNIT PAVING DETAIL |

DEVELOPER:

HABITAT FOR HUMANITY
541 ESSA ROAD
BARRIE, ON
L4N 9E4

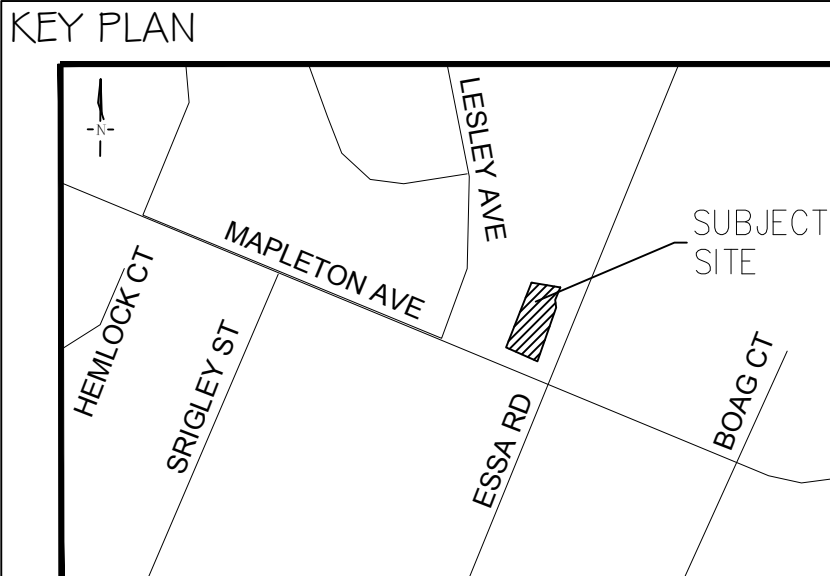
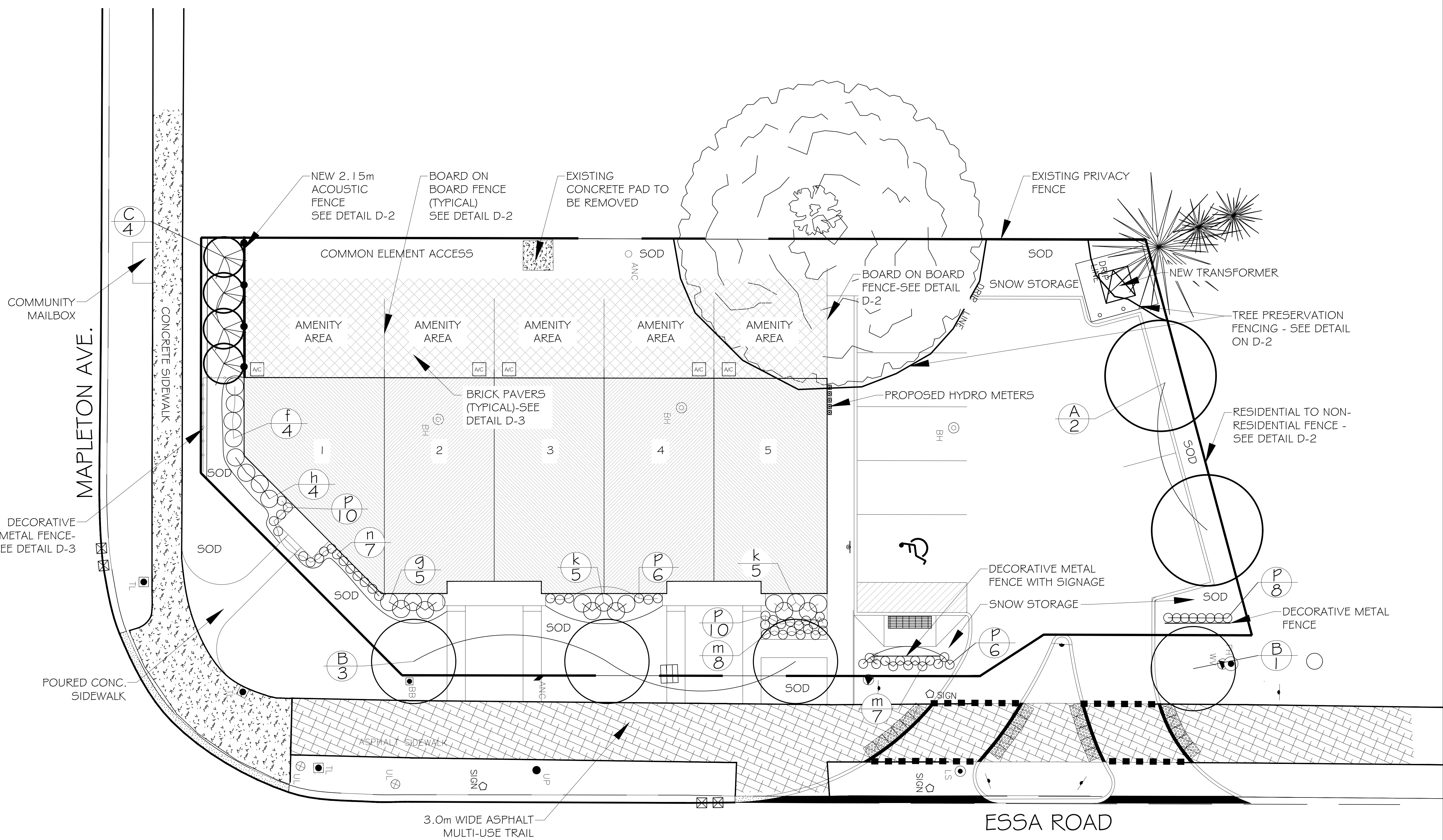
MUNICIPALITY:

CITY OF BARRIE
70 COLLIER ST.
BOX 400
BARRIE, ON
L4M 4T5

DEVELOPER'S LANDSCAPE ARCHITECT:

LANDMARK
ENVIRONMENTAL GROUP LTD

1/3 FLORENCE PARK RD, BARRIE, ONT L4N 6Y8 P. 705.719.0067 F. 705.719.2630 www.LEGroupLtd.com



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.

All specifications and drawings are instruments of service, are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of the Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

In the event that there are outstanding fees owed, Landmark Environmental Group Ltd reserves the right to withdraw all drawings including municipal agencies, until such time that all outstanding fees owed are settled in full.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

It is the responsibility of the Contractor to erect and maintain all hoarding as per the approved detail, preservation notes and locations shown on the drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

- LEGEND
- Proposed Deciduous Tree
 - Proposed Coniferous Tree
 - Proposed Shrub/Perennial
 - Landscape Key

3	MAR 12 2020	EF	AS PER UPDATED SITE PLAN
2	JAN 23 17	JH	AS PER NOV 14-16 CITY COMMENTS
1	DEC 19 16	JH/HH	AS PER CITY COMMENTS

NO	DATE	BY	REVISIONS
STAMP			
APPROVAL			
CITY OF BARRIE			
NAME _____			
DATE _____			
SIGNATURE _____			

LANDMARK
ENVIRONMENTAL GROUP LTD
13 FLORENCE PARK RD, BARRIE ONT L4N 6Y8 P: 705.719.0067 F: 705.719.2630 www.LEGroupLtd.com

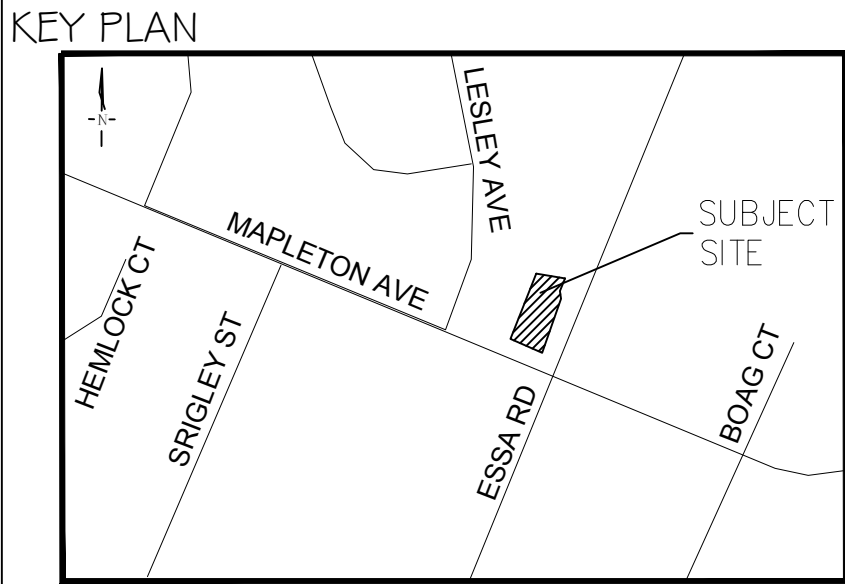
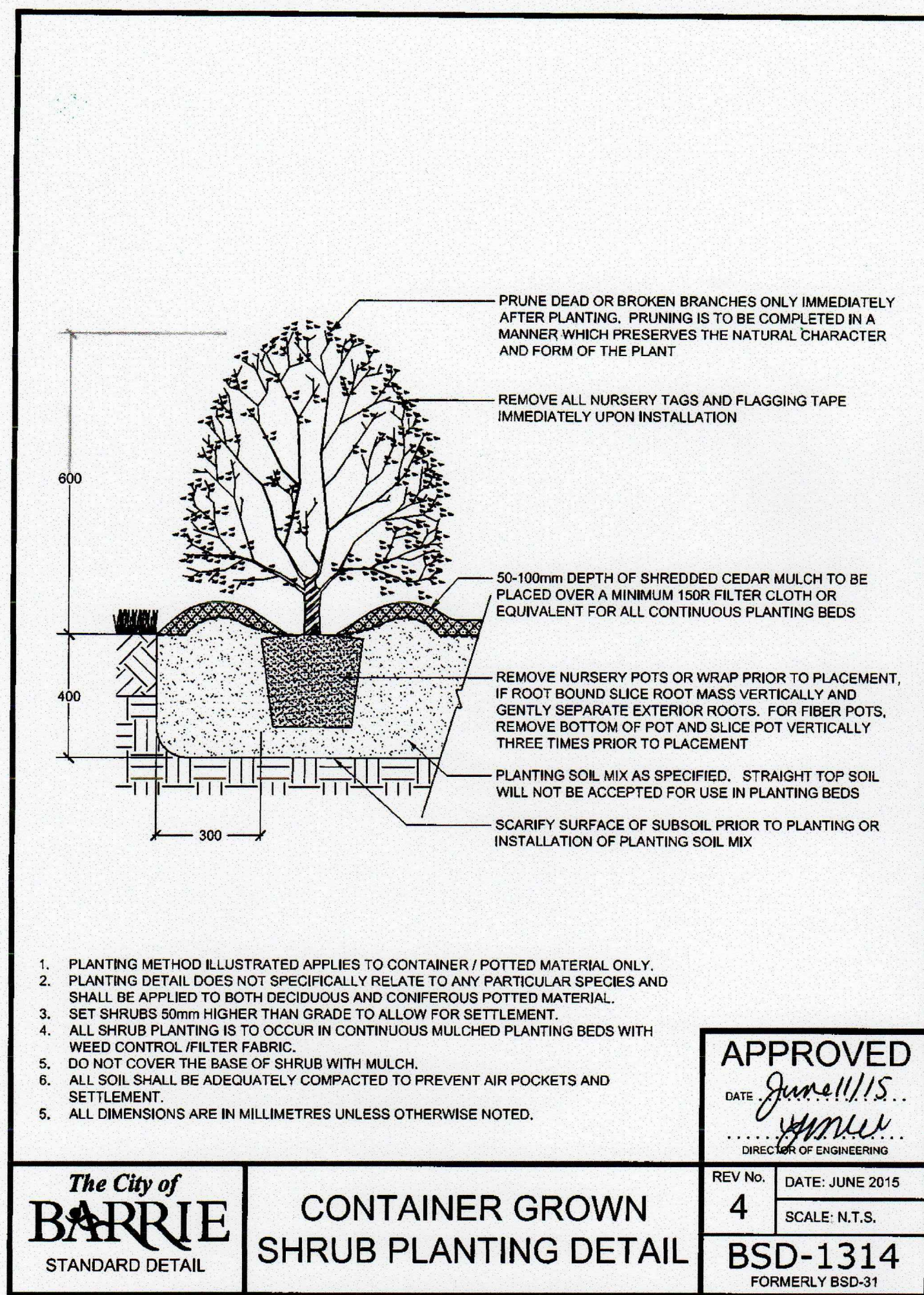
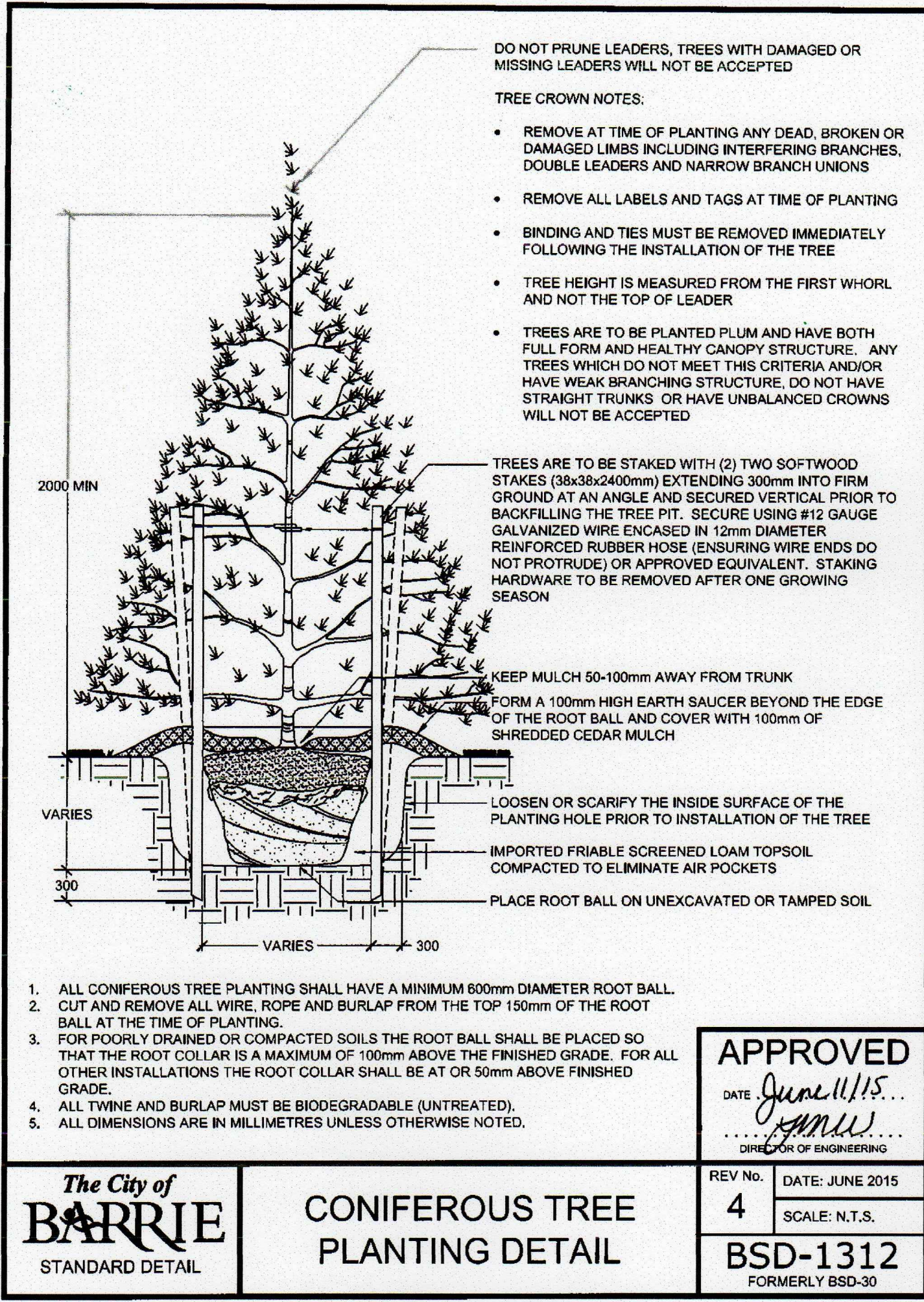
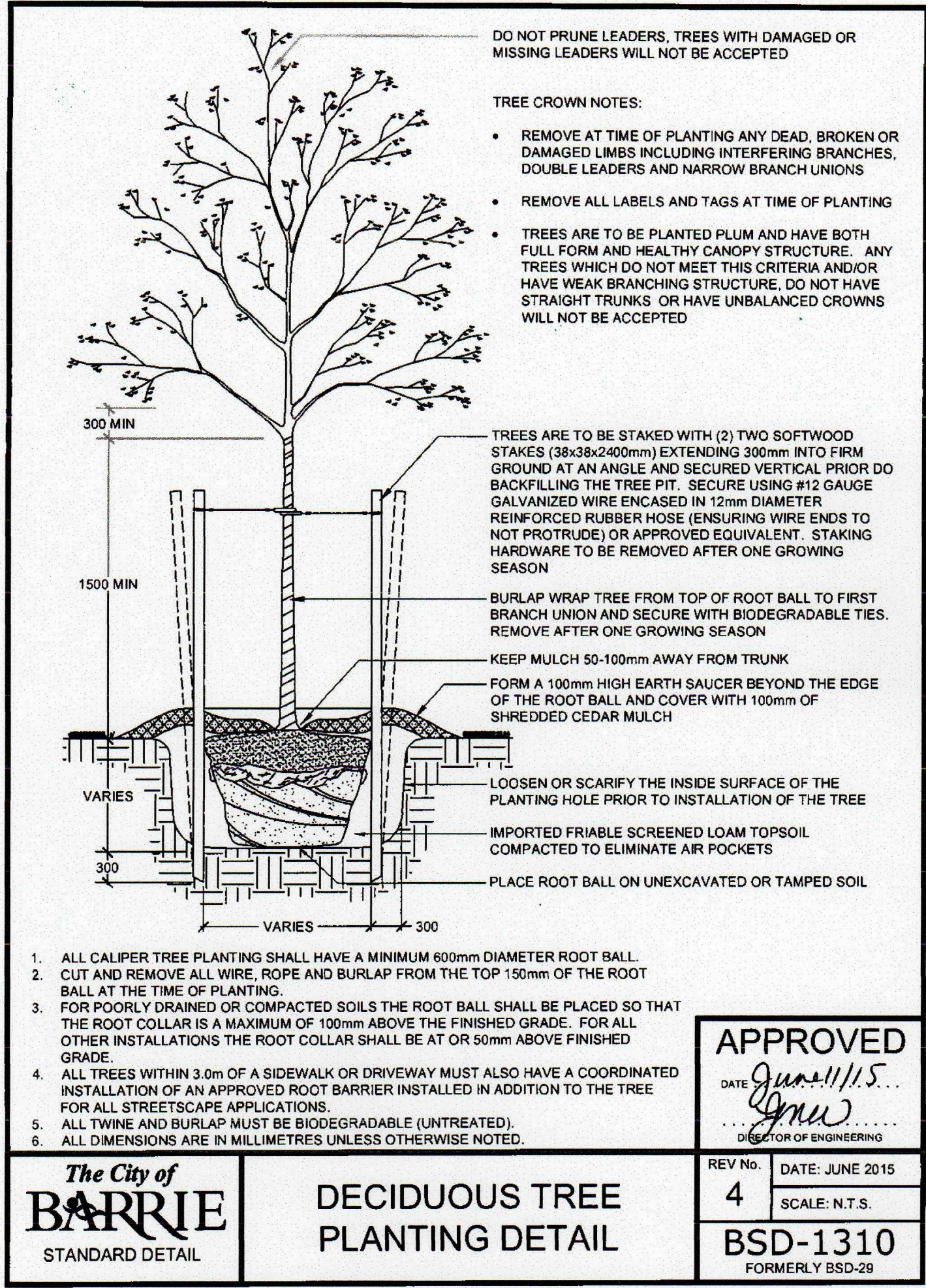
CLIENT:
HABITAT FOR HUMANITY
541 ESSA ROAD
BARRIE, ONTARIO

PROJECT:
LANDSCAPE PLAN

PROJECT NO.: LA 450-20	SCALE: 1:100
MUNICIPAL FILE NO.:	DATE: March 10, 2020
DRAWN BY: JH/Gemcad Inc.	DRAWING No.: L - 1

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BASE DATA OBTAINED FROM
IAN MALCOLM ARCHITECTS



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to drawing including municipal agencies, until such time that all outstanding fees owed are settled in full.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

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PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
A	2	Gleditsia tricanthos 'Draves'	Street Keeper Locust	60mm cal
B	4	Quercus alba	White Oak	60mm cal
C	4	Picea glauca	White Spruce	2.0m hgt
SHRUBS				
f	4	Philadelphus virginialis	Virginal Mockorange	60cm hgt
g	5	Juniperus sabina 'Arcadia'	Arcadia Juniper	40cm hgt
h	4	Sorbaria sorbifolia	False Spirea	50cm hgt
k	10	Syphocaropus albus	Snowberry	50cm hgt
PERENNIALS				
m	15	Hemerocallis Stella D'Oro	Stella D'Oro Daylily	potted
n	7	Hemerocallis 'H Faulza'	Orange Daylily	potted
p	30	Miscanthus sinensis 'Purpurescens'	Flame Grass	potted

PLANTING NOTES

- The Contractor shall review all information in all drawings details and specifications and report any discrepancies to the Landscape Architect in writing prior to commencement of works.
- All planting and related work shall be completed by experienced personnel under the direction and supervision of a qualified foreman.
- The work shall be done to conform with latest and best horticultural practice and specifications.
- All plant material which cannot be planted immediately will be properly heeled in or covered with a similar material which will keep root surfaces moist until planted.
- All plant material and operations shall meet or exceed current horticultural standards of the Canadian Nursery Trade Association and the Ontario Landscape Contractors Association. All plant material to be No. 1 Grade Nursery Stock. All unsatisfactory stock including field grown will be refused on site.
- Trees and shrubs shall have an uncut, strong central leader, be sound, healthy, vigorous, well-branched, densely foliated, free of disease, insects and have well-developed root systems.
- Where applicable, sod to be Canada No. 1 Nursery Sod, meeting Ontario Sod Growers Association Standards. All Areas to receive 100mm minimum depth of topsoil under sod unless otherwise indicated. See Drawings and Specifications for areas to be mulched.
- The Contractor shall stake out all planting locations for approval by the Landscape Architect or Contract Administrator prior to planting. Where dimensions are not provided, the drawing may be scaled ONLY to determine approximate locations of plant material. Dimensions are in millimetres unless otherwise stated.
- All mass plantings shall be in continuous beds with mulch as specified in planting details.
- All planting will be warranted by the Contractor for a minimum of 1 year. The Contractor shall water at time of planting and whenever deemed necessary to maintain trees in a healthy condition. Apply aqueous fertilizer in a ratio of 10-6-4 in accordance with manufacturers instructions. Sod, where specified, to be maintained and guaranteed until established, minimum after two mowings
- Unwrap or do not wrap tree trunks. Stake trees in accordance with required specifications.
- Provide sufficient rodent protection on all new planting so as to deter bark or shoot damage by rodents. Significant rodent damage, as determined by the Landscape Architect will require plant replacement.

TREE PRESERVATION NOTES

- THE INTENT OF THE TREE PRESERVATION PLAN IS TO PROVIDE PROTECTION AND PRESERVATION FOR EXISTING TREES ON THE SUBJECT PROPERTY. THEREFORE, ALL TREES ARE TO BE PRESERVED UNLESS OTHERWISE INDICATED IN THE PLAN OR THE ARBORIST'S REPORT. CONTACT THE LANDSCAPE ARCHITECT TO CONFIRM THE REMOVAL/RETENTION STATUS OF ANY TREES ON SITE, PRIOR TO CLEARING AND GRUBBING. THE OWNER WILL TAKE EVERY PRECAUTION TO PROTECT AND PRESERVE THE TREES APPROVED TO BE RETAINED IN ACCORDANCE WITH THE APPROVED PLANS.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING OR CONSTRUCTION WORKS, THE REQUIRED HOARDING WILL BE ERECTED 5M OUTSIDE OF THE OUTERMOST DRIFLINE OF ANY TREE TO BE RETAINED, IN ACCORDANCE WITH THE HOARDING DETAIL, AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. ERECTION OF ANY PROTECTION FENCING LESS THAN 5M SHALL BE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- NO STORAGE OF EQUIPMENT OR VEHICLES, NOR ANY STOCKPILING OF MATERIAL IS TO OCCUR WITHIN THE AREA OF PRESERVATION/PROTECTION. TREES SLATED FOR PROTECTION WILL NOT BE USED FOR RIGGING OR WRAPPING. THE PROTECTION/PRESERVATION AREA SHALL NOT BE USED TO EMPTY CONTAMINANTS, REFUELLING OR REPAIR OF VEHICLES OR EQUIPMENT.
- TREES LOCATED ON THE IMMEDIATE EDGE OF THE CONSTRUCTION WORKS ARE TO BE PRUNED IN THE INTEREST OF SAFETY, IN ACCORDANCE WITH APPROVED ARBORICULTURAL PRACTICES.
- TREE LOCATIONS ARE APPROXIMATE AND THEREFORE VERIFICATION ON SITE IS REQUIRED.
- SHOULD A TREE REQUIRED TO BE PROTECTED BECOME DAMAGED OR REMOVED WITHOUT WRITTEN PERMISSION OF THE CITY OF BARRIE OR THE LANDSCAPE ARCHITECT, THE CONTRACTOR OR OWNER WILL BE RESPONSIBLE FOR REPLACEMENT OF THE TREE OF EQUAL CALIPER AND ACCEPTABLE TREE SPECIES AT THE DISCRETION AND SATISFACTION OF THE LANDSCAPE ARCHITECT.
- THE WORK COMPLETED BY THE CONTRACTOR WILL NOT CAUSE OR EXACERBATE FLOODING CONDITIONS OR CAUSE SEDIMENT BUILDUP OVER THE ROOTZONE OF PROTECTED TREES. NO GRADING SHALL TAKE PLACE WITHIN THE TREE PRESERVATION AREA UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- ANY REQUIRED LIMB TRIMMING SHALL BE UNDER THE DIRECT SUPERVISION OF THE LANDSCAPE ARCHITECT OR A QUALIFIED ARBORIST.
- PRESERVATION FENCING TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED DETAIL. FILTER FABRIC TO BE INSTALLED IN CONJUNCTION WITH THE APPROVED ENGINEERING DRAWINGS.
- HOARDING/TREE PRESERVATION MAY BE COMPLETED IN CONJUNCTION WITH SEDIMENTATION CONTROL.

3 MAR 12 2017	EF	AS PER UPDATED SITE PLAN	
2 JAN 23 17	JH	AS PER NOV 14-16 CITY COMMENTS	
1 DEC 19 16	JH/WH	AS PER CITY COMMENTS	
NO	DATE	BY	REVISIONS

STAMP	APPROVAL
	CITY OF BARRIE
	NAME: _____
	DATE: _____
	SIGNATURE: _____

LANDMARK
ENVIRONMENTAL GROUP LTD
13 FLORENCE PARK RD, BARRIE, ONT L4N 6Y8 P 705.719.0067 F 705.719.2630 www.LEGroupLtd.com

CLIENT:

HABITAT FOR HUMANITY
541 ESSA ROAD
BARRIE, ONTARIO

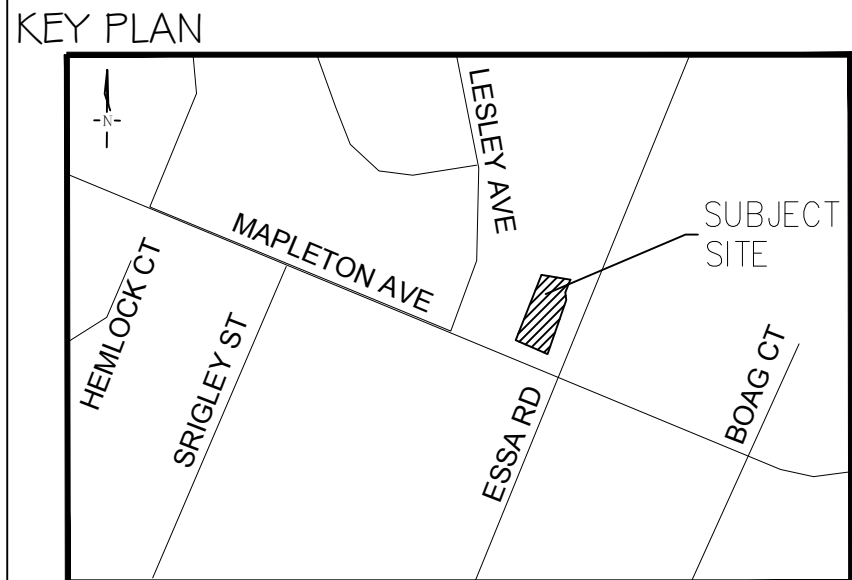
PROJECT:

PLANTING INSTALLATION DETAILS
PLANT LIST

PROJECT NO.: LA 450-20	SCALE: N.T.S.
MUNICIPAL FILE NO.:	DATE: March 10, 2020
DRAWN BY: JH/Gemcad Inc.	DRAWING No.: D-1

METRIC
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METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



GENERAL NOTES

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NO	DATE	BY	REVISIONS
3	MAR 12 2020	EF	AS PER UPDATED SITE PLAN
2	JAN 23 2017	JH	AS PER NOV 14-16 CITY COMMENTS
1	DEC 19 2016	JH	AS PER CITY COMMENTS

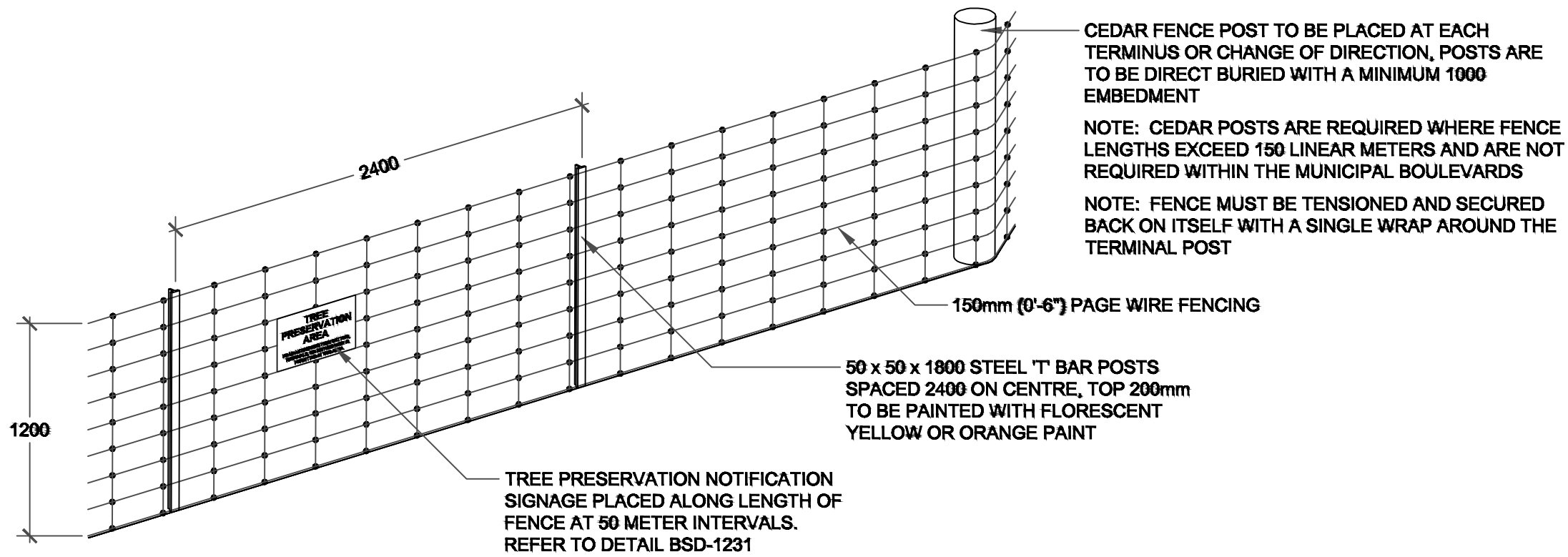
STAMP	APPROVAL
	CITY OF BARRIE
	NAME _____
	DATE _____
SIGNATURE _____	

LANDMARK
ENVIRONMENTAL GROUP LTD
13 FLORENCE PARK RD, BARRIE, ONT L4N 6Y6 P 705.719.0067 F 705.719.2630 www.LEGroupLtd.com

CLIENT:
HABITAT FOR HUMANITY
541 ESSA ROAD
BARRIE, ONTARIO

PROJECT:
FENCING DETAILS

PROJECT NO.: LA 450-20	SCALE: N.T.S.
MUNICIPAL FILE NO.:	DATE: March 10, 2020
DRAWN BY: JH/Gemcad Inc.	DRAWING No.: D-2



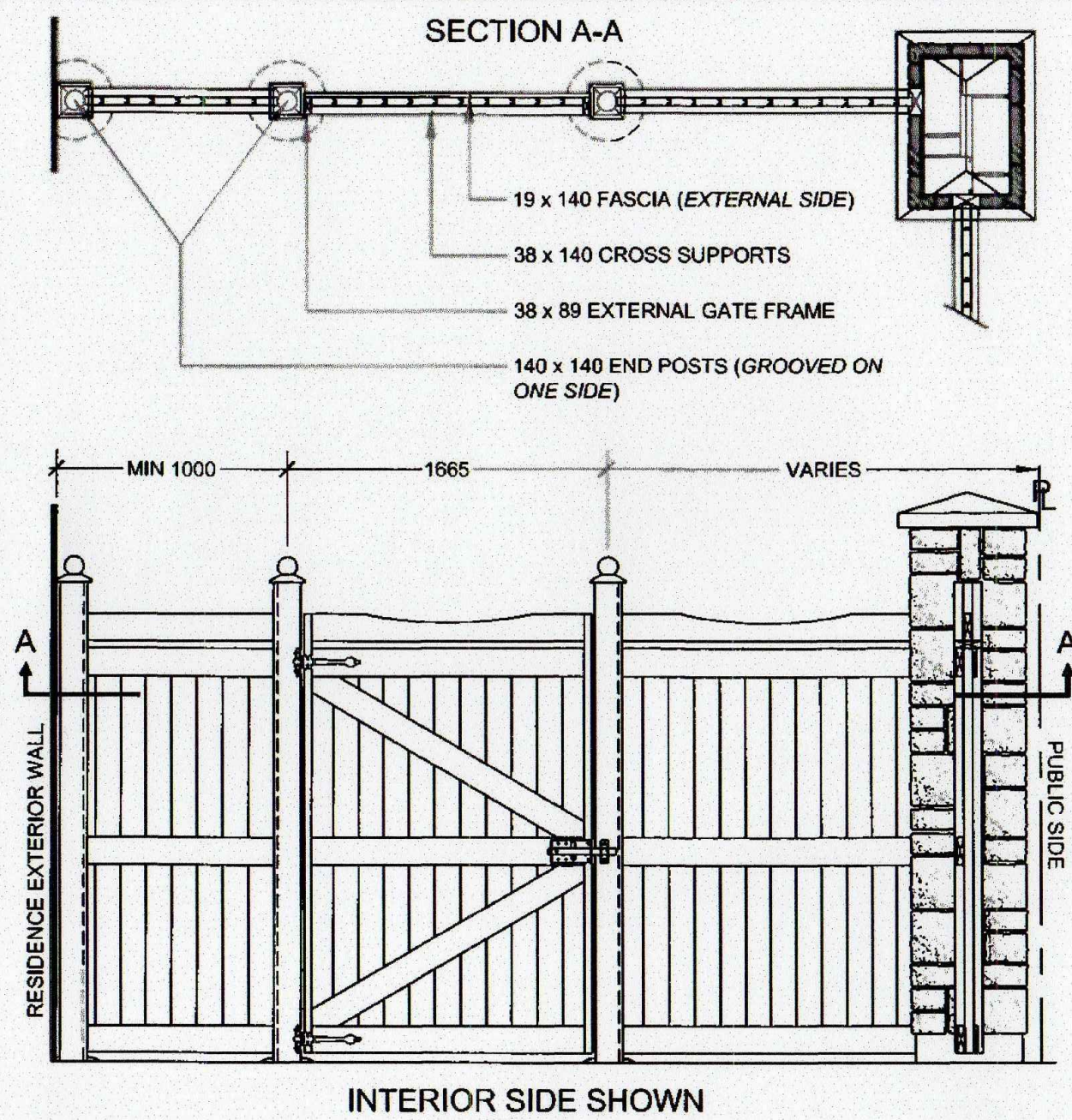
- THIS DETAIL IS USED IN CONJUNCTION WITH BSD-1233 - SEDIMENTATION CONTROL FENCE.
- PAGE WIRE FENCE TO BE ATTACHED TO CEDAR RAIL POSTS WITH 'U' SHAPED GALVANIZED NAILS ON EACH HORIZONTAL STRAND.
- USE A MINIMUM OF FOUR (4) 100MM, 16 GAUGE GALVANIZED T-POST CLIPS TO ATTACH PAGE WIRE FENCE TO EACH 'T' BAR POST.
- 'T' BARS ARE TO BE DRIVEN INTO THE GROUND TO A MINIMUM DEPTH OF 600mm.
- ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
- THIS DETAIL TO BE USED IN CONJUNCTION WITH BSD-1230, BSD-1231, BSD-1234 AND BSD-1235.

The City of
BARRIE
STANDARD DETAIL

TREE PRESERVATION FENCING

REV No.
1
DATE: JUNE 2015
SCALE: N.T.S.
BSD-1232

APPROVED
DATE: _____
DIRECTOR OF ENGINEERING



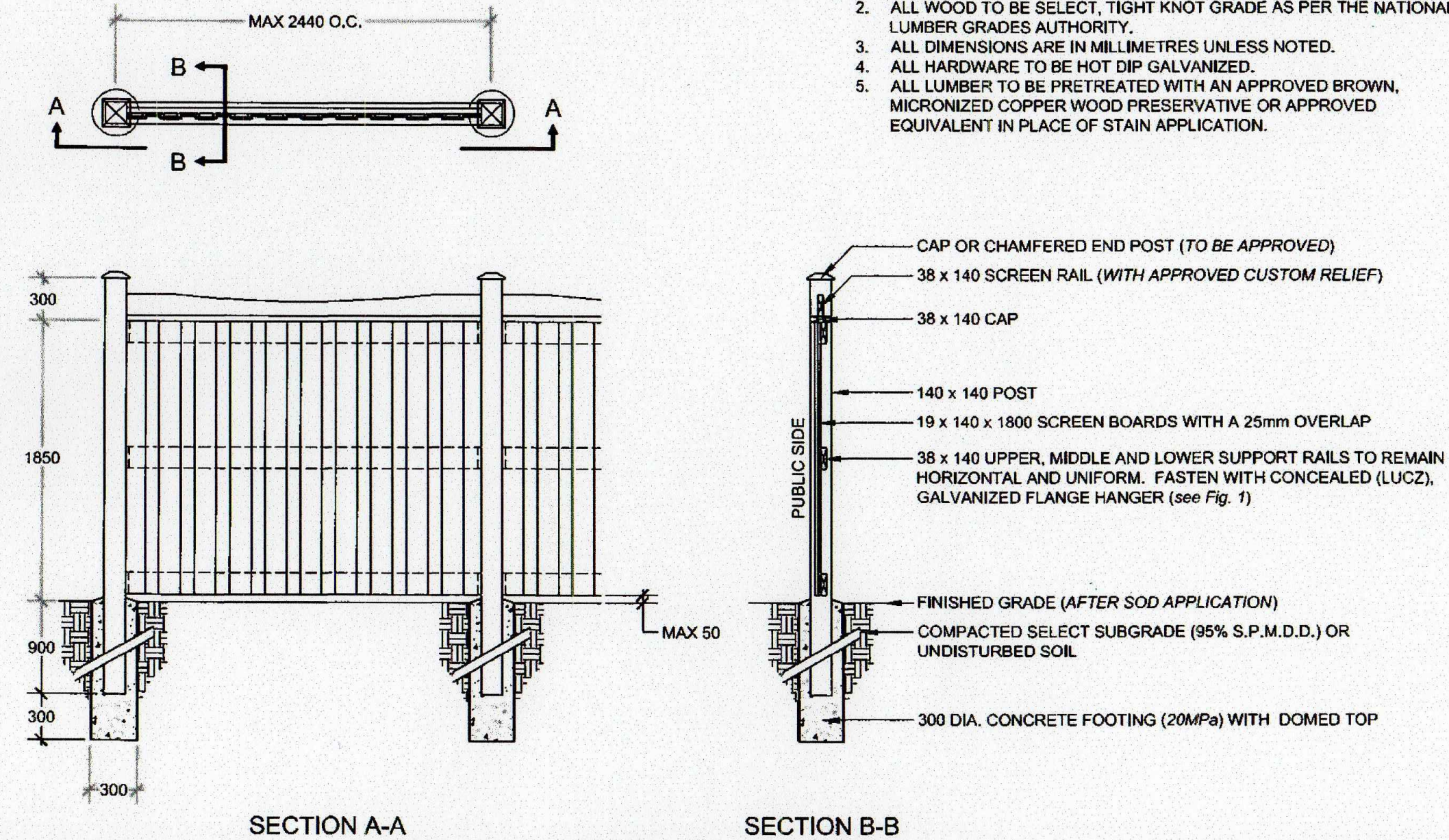
- FENCE/GATE LOCATIONS AND DIMENSIONS MUST BE IN ACCORDANCE WITH APPLICABLE NOISE STUDY RESULTS AND THE MINISTRY OF THE ENVIRONMENTS NOISE ASSESSMENT CRITERIA IN LAND USE PLANNING PUBLICATION LU-131.
- ALL WOOD TO BE SELECT TIGHT KNOT GRADE CEDAR AS PER THE NATIONAL LUMBER GRADES AUTHORITY.
- STRUCTURAL DESIGN (FOOTINGS AND POSTS MUST MEET DESIGN WIND LOAD SPECIFICATIONS AS PER THE ONTARIO BUILDING CODE.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED.
- ALL HARDWARE TO BE HOT DIP GALVANIZED.
- ALL LUMBER TO BE PRETREATED WITH AN APPROVED BROWN, MICRONIZED COPPER WOOD PRESERVATIVE OR APPROVED EQUIVALENT IN PLACE OF STAIN APPLICATION.
- ALL FENCING (INCLUDING FOOTINGS) IS TO BE INSTALLED SOLELY ON PRIVATE LANDS AND IS TO CONFORM TO APPROVED STREETSCAPE PLANS.
- ALL GATE HARDWARE TO BE HEAVY DUTY WROUGHT IRON STYLE AND SHALL BE SPECIFIED ON LANDSCAPE DRAWINGS AS A CUSTOM DESIGN FEATURE.
- PUBLIC SIDE OF ACOUSTIC GATE TO MATCH FENCING PANEL DETAILING.
- THIS DETAIL TO BE USED IN CONJUNCTION WITH BSD-1200, BSD-1201 AND BSD-1203.

The City of
BARRIE
STANDARD DETAIL

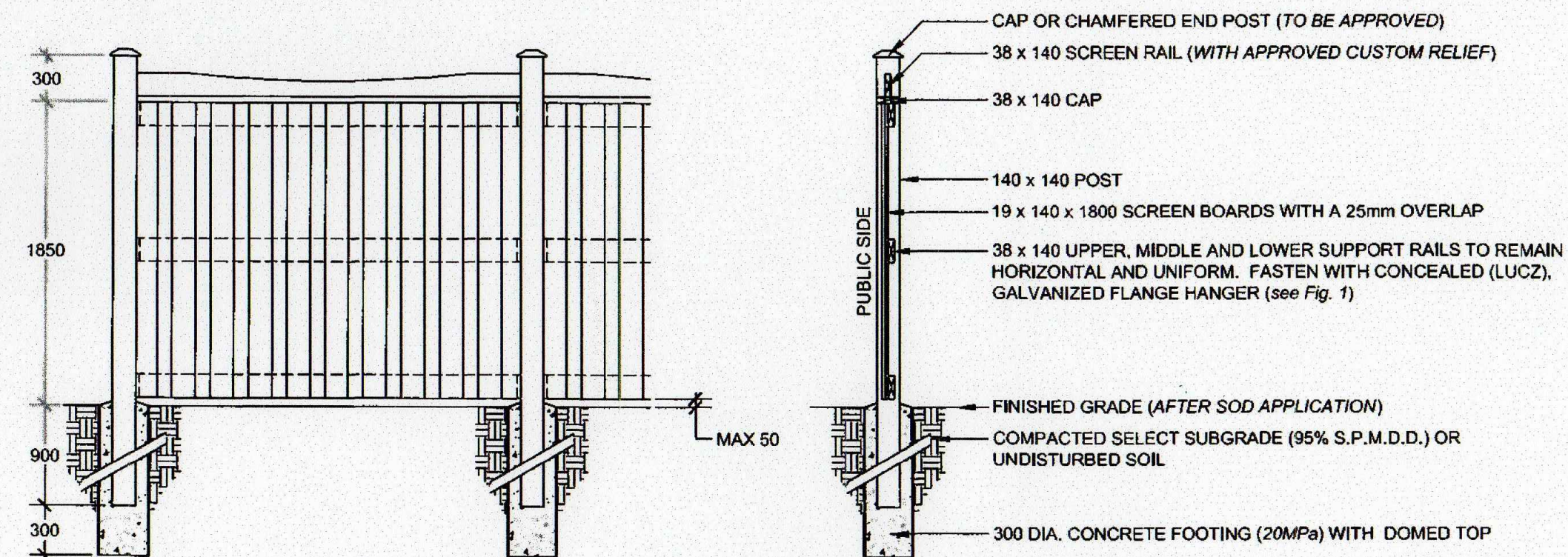
ACOUSTIC GATE SIDE LOT RETURN

REV No.
1
DATE: JUNE 2015
SCALE: N.T.S.
BSD-1202

APPROVED
DATE: *June 18/15*
DIRECTOR OF ENGINEERING



- FENCE LOCATIONS AND DIMENSIONS MUST BE IN ACCORDANCE WITH APPROVED LANDSCAPE PLANS.
- ALL WOOD TO BE SELECT, TIGHT KNOT GRADE AS PER THE NATIONAL LUMBER GRADES AUTHORITY.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED.
- ALL HARDWARE TO BE HOT DIP GALVANIZED.
- ALL LUMBER TO BE PRETREATED WITH AN APPROVED BROWN, MICRONIZED COPPER WOOD PRESERVATIVE OR APPROVED EQUIVALENT IN PLACE OF STAIN APPLICATION.

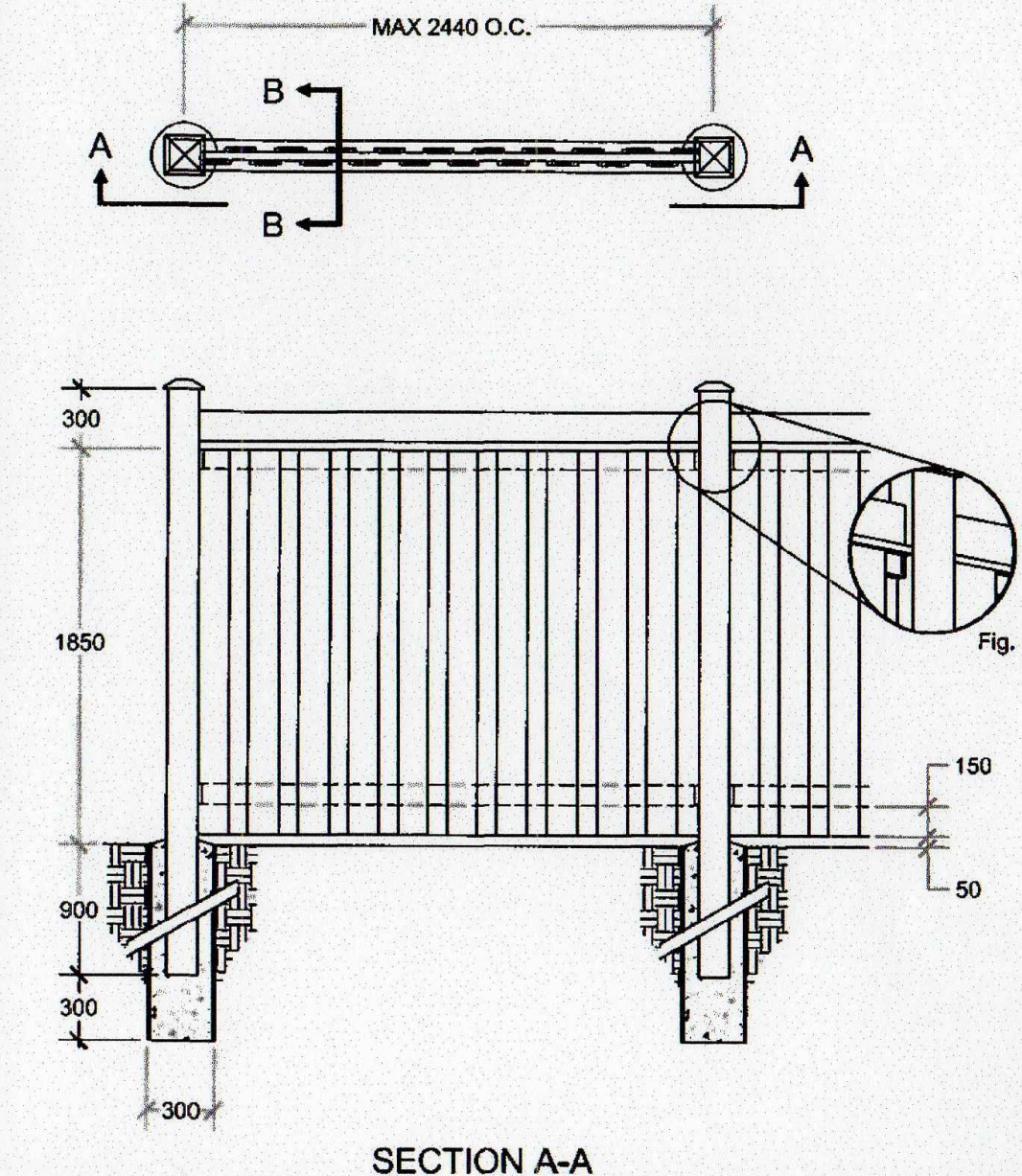


The City of
BARRIE
STANDARD DETAIL

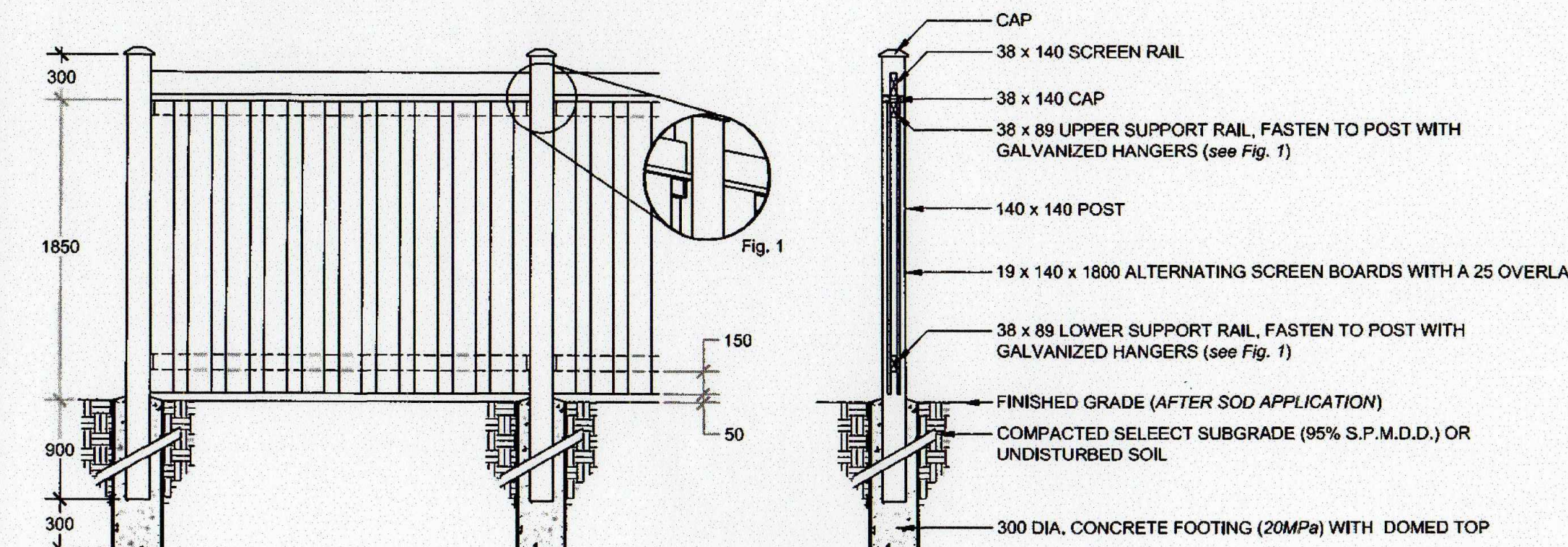
NON-RESIDENTIAL TO RESIDENTIAL FENCE

REV No.
1
DATE: JUNE 2015
SCALE: N.T.S.
BSD-1208
FORMERLY BSD-19D

APPROVED
DATE: *June 11/15*
DIRECTOR OF ENGINEERING



- ALL LUMBER TO BE PRETREATED WITH AN APPROVED BROWN, MICRONIZED COPPER WOOD PRESERVATIVE OR APPROVED EQUIVALENT.
- FENCE LOCATIONS AND DIMENSIONS MUST BE IN ACCORDANCE WITH APPLICABLE LANDSCAPE LAYOUT AND APPROVED DRAWINGS.
- BOTTOM AND TOP OF FENCE TO REMAIN HORIZONTAL AND UNIFORM.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED.
- ALL HARDWARE TO BE HOT DIP GALVANIZED.
- FOR SLOPE ACCOMMODATION SEE ALSO BSD-1207.

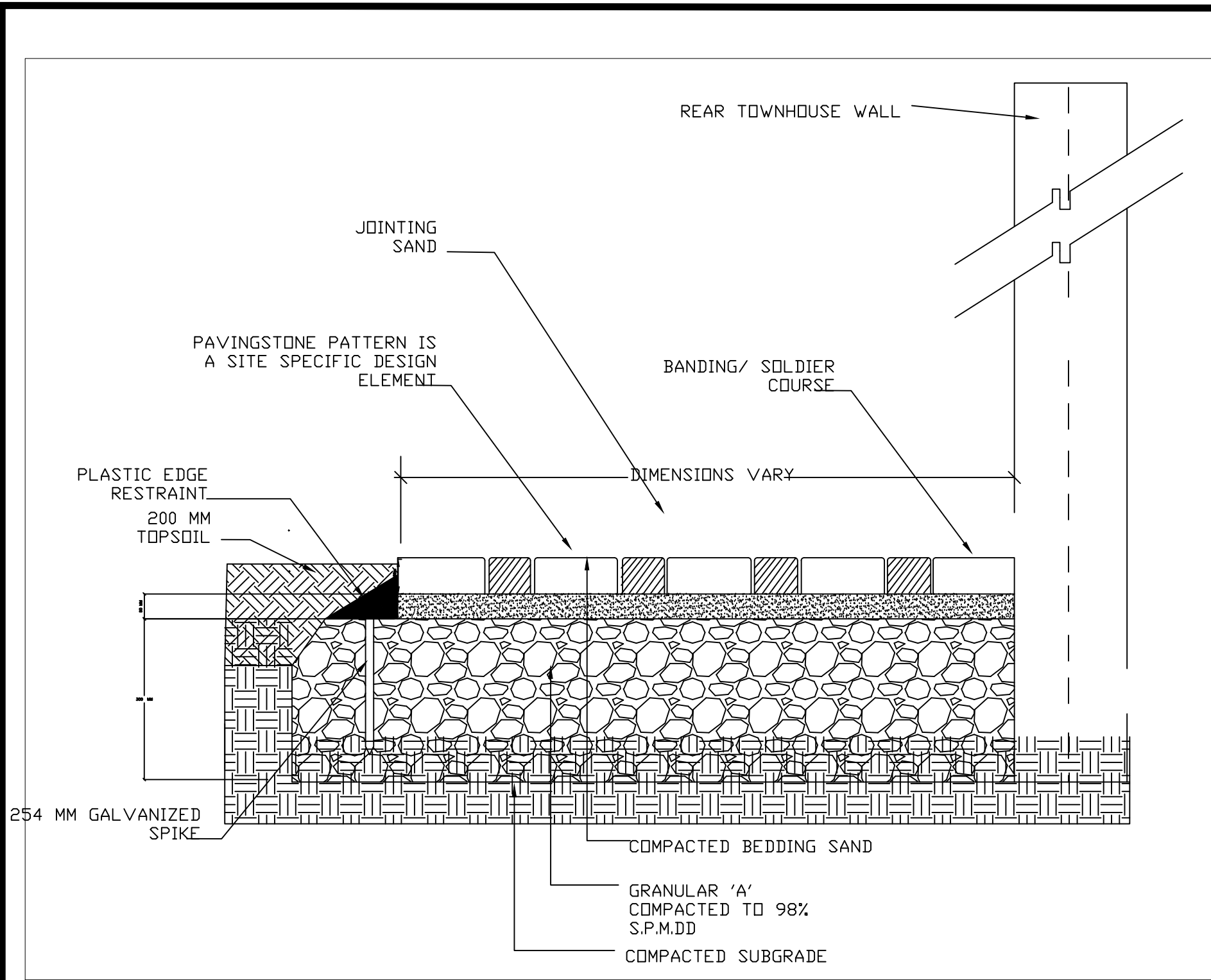


The City of
BARRIE
STANDARD DETAIL

BOARD ON BOARD RESIDENTIAL TO RESIDENTIAL FENCE

REV No.
1
DATE: JUNE 2015
SCALE: N.T.S.
BSD-1205
FORMERLY BSD-19C

APPROVED
DATE: *June 11/15*
DIRECTOR OF ENGINEERING



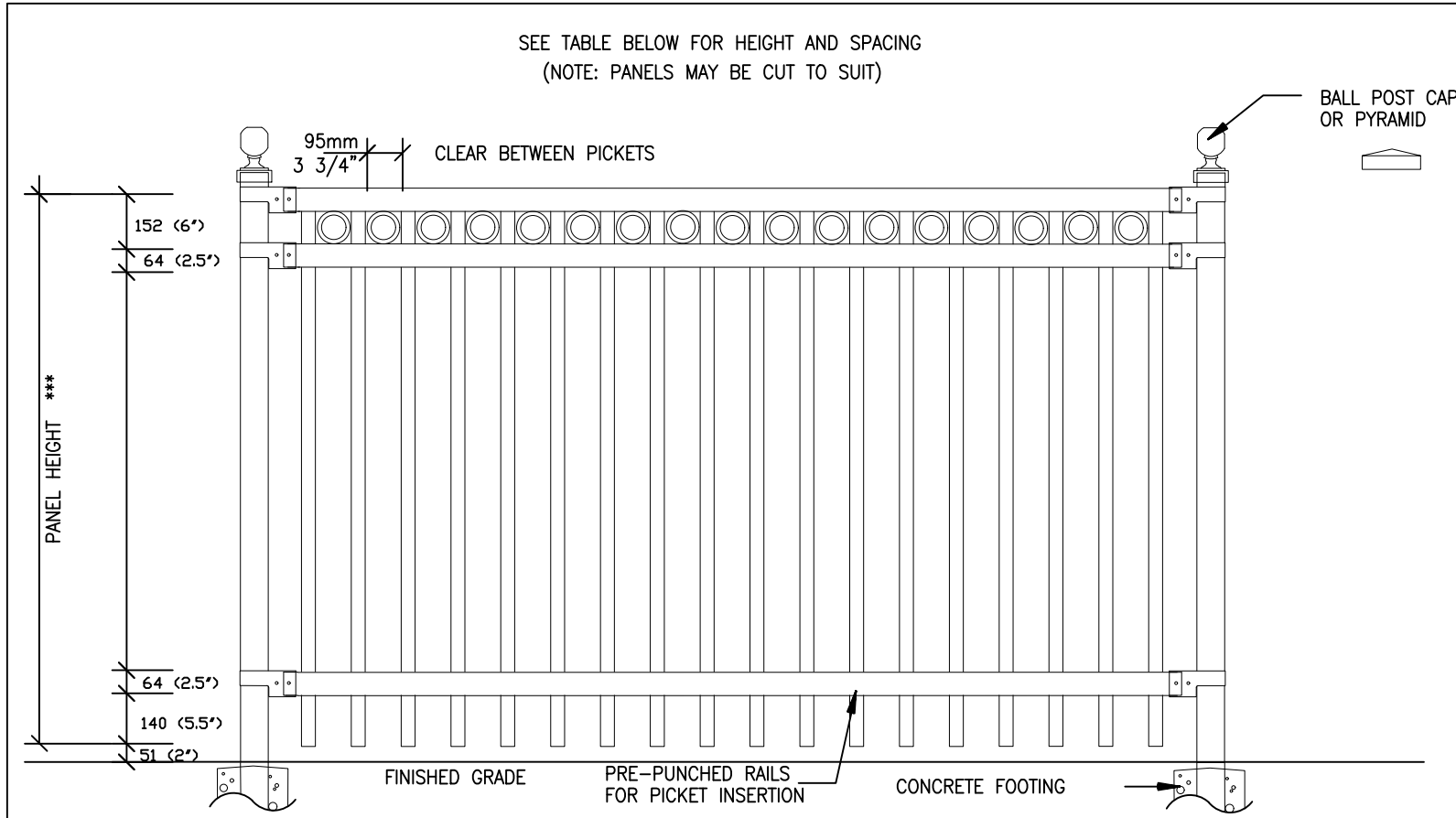
1. UNDER NO CIRCUMSTANCES SHALL SCREENING BE USED IN PLACE OF BEDDING SAND
2. CUT ALL STONES WITH A SAW TO ENSURE SMOOTH CUTS WITH NO CHIPS IN STONE.
3. WHEN ESTABLISHING SIZE OF PAVED AREA SUCH AS CROSSWALK WIDTHS, TREE PLANTING AREAS AND PAVING STRIP ALONG CURB, SET DIMENSIONS TO THE NEAREST FULL PAVING MODULE.
4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
5. DRAWING NOT TO SCALE

NO.	REVISION	APR'D	DATE
1.			

PAVING STONE DETAIL
ADJACENT TO REAR TOWNHOUSE WALL

LANDMARK
ENVIRONMENTAL GROUP LTD
13 FLORENCE PARK RD. BARRIE, ONT L4N 6Y8 P. 705.719.0067 F. 705.719.2630 www.LEGroupLtd.com

APR'D	J.H.	DATE	16.07.21
DRAWN	N.H.	SCALE	N.T.S.



PANEL HEIGHT ***	PANEL WIDTH	POST SETTING
<914mm (36")	2432mm (95 3/4")	(CENTRE TO CENTRE)
914mm (36")		
1219mm (48")		
1524mm (60")		2565mm (101")
1828mm (72")		
2134mm (84")	1899mm (74 3/4")	
2438mm (96")		
2743mm (108")		2032mm (80")
3048mm (120")		
>3048mm (120")		

SPECIFICATIONS:

POSTS, RAILS: COLD FORMED STEEL TUBING
& PICKETS: INTERIOR & EXTERIOR GALVALUME™ COATING
CHROMATE CONVERSION COATING ELECTROSTATICALLY
APPLIED THERMALLY BONDED POLYESTER POWDER
COATING - MINIMUM FILM THICKNESS 2.5 mils

POSTS: 76mm x 76mm (3"x3"),
14 GAUGE, SS40 OR SCH 40

POST FLANGES: 203mm x 203mm (8"x8") x 13mm (1/2") OR
254mm x 254mm (10"x10") x 13mm (1/2")

POST CAP: PYRAMID OR BALL

RAILS: 38mm x 64mm (1 1/2" x 2 1/2") , 16 GAUGE

PICKETS: 19mm x 38mm (3/4" x 1 1/2") , 16 GAUGE

FITTINGS: 12 GAUGE STAMP FORGED
FACTORY FINISH AS ABOVE

WELDS: STAINLESS STEEL

COLOURS: STANDARD COLOURS ARE BLACK,
SEMI-BLACK, BROWN, GREEN,
WHITE & FOREST GREEN

CUSTOM COLOURS AVAILABLE UPON REQUEST

WARRANTY: 5 YEAR MAINTENANCE FREE

NOTE: ALL TYPE OF GATES AVAILABLE
TAMPER PROOF NUT AVAILABLE
E-COAT PROTECTION AVAILABLE UPON REQUEST

COMMENTS:



TITLE
IRON EAGLE II SERIES
SILVER EAGLE c/w FULL RINGS

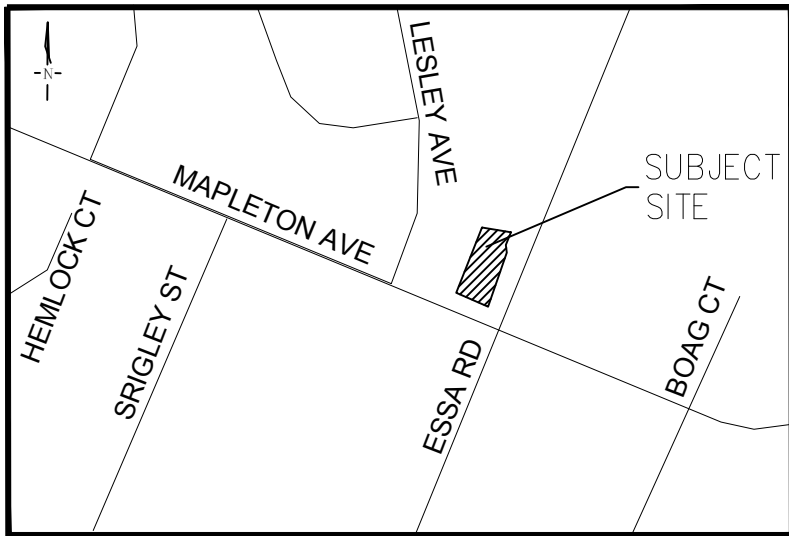
REF. CHK'D

DRAWING No.

S-03

IRON EAGLE INDUSTRIES INC. 1256 CARDIFF BLVD. MISSISSAUGA ONT. TEL 905-670-2558 FAX 905-670-2538
www.ironagleind.com

KEY PLAN



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.

All specifications and drawings are instruments of service, are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of the Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

In the event that there are outstanding fees owed, Landmark Environmental Group Ltd reserves the right to withdraw all drawings including municipal agencies, until such time that all outstanding fees owed are settled in full.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

It is the responsibility of the Contractor to erect and maintain all hoarding as per the approved detail, preservation notes and locations shown on the drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

3 MAR 12 20	EP	AS PER UPDATED SITE PLAN	
2 JAN 23 17	JH	AS PER NOV 14-16 CITY COMMENTS	
1 DEC 19 16	JH/NH	AS PER CITY COMMENTS	

NO.	DATE	BY	REVISIONS
STAMP			
			APPROVAL CITY OF BARRIE
NAME			_____
DATE			_____
SIGNATURE			_____

LANDMARK
ENVIRONMENTAL GROUP LTD
13 FLORENCE PARK RD. BARRIE, ONT L4N 6Y8 P. 705.719.0067 F. 705.719.2630 www.LEGroupLtd.com

CLIENT:
HABITAT FOR HUMANITY
541 ESSA ROAD
BARRIE, ONTARIO

PROJECT:
DECORATIVE FENCE + UNIT
PAVING DETAIL

PROJECT NO.: LA 450-20	SCALE: N.T.S.
MUNICIPAL FILE NO.:	DATE: March 10, 2020
DRAWN BY: JH/Gemcad Inc.	DRAWING No.: D-3

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE CONVERTED TO FEET
BY DIVIDING BY 0.3048



PROPOSED RESIDENTIAL DEVELOPMENT

541 ESSA ROAD

CITY OF BARRIE, ONTARIO



PINESTONE ENGINEERING LIMITED | www.pel.ca

INDEX

SHEET NO.	DESCRIPTION
	COVER SHEET
EX-1	EXISTING CONDITIONS
SA-1	SITE ALTERATION PLAN
GP-1	GRADING PLAN
SERV-1	SERVICING PLAN
PM-1	PAVEMENT MARKINGS AND SIGNAGE PLAN
DET-1	CONSTRUCTION NOTES AND DETAILS

PROJECT NO. 20-11493-B

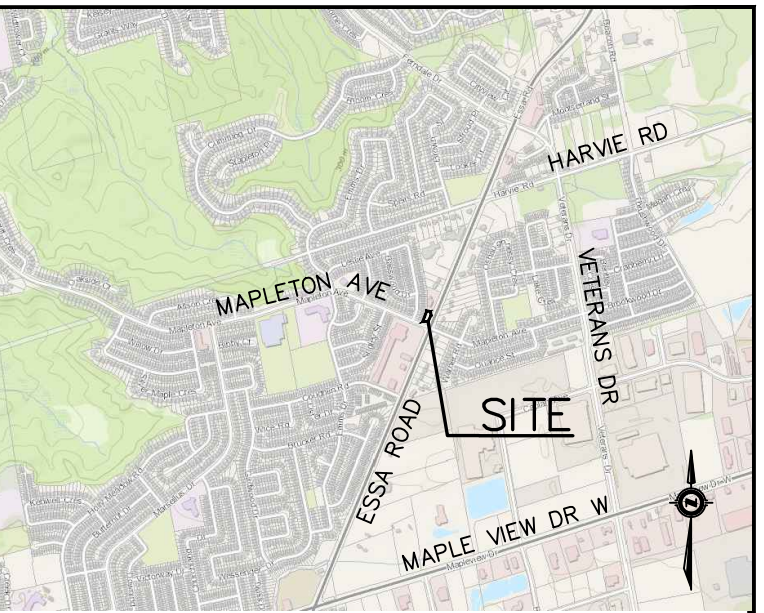
FOR APPROVAL
NOVEMBER 2020



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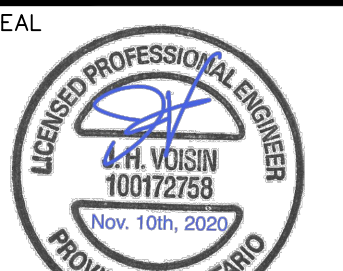
NOTES

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- LEGAL INFORMATION PROVIDED BY MACDONALD C.A. MACDONALD SURVEYING INC.
- SITE PLAN PREPARED BY IAN S. MALCOLM ARCHITECTS.

BENCHMARK

1. TBM#1
TOP OF SIB IN NORTHWEST CORNER OF PROPERTY
ELEVATION 313.99

NO.	YY.MM.DD	REVISION	BY
1	20.11.10	REVISED PER CITY COMMENTS	G.N.



NORTH ARROW



DESIGN BY:	J.V.
DRAWN BY:	G.N.
CHECKED:	J.V.
DATE:	FEBRUARY 2020
SCALE:	1:150

CLIENT/PROJECT

**541 ESSA ROAD
RESIDENTIAL DEVELOPMENT**

DRAWING TITLE

EXISTING CONDITIONS PLAN

PROJECT NO.	DRAWING NO.	REVISION
20-11493-B	EX-1	1

LEGEND

- EX. HP/LS
- EX. CATCHBASIN
- EX. HYDRANT
- EX. VALVE AND BOX
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- EX. TRAFFIC LIGHT
- EX. SIGN
- CONTOUR
- OVERHEAD HYDRO WIRE
- DITCH CENTERLINE
- DIRECTION OF OVERLAND FLOW
- EXISTING FENCE
- EXISTING BOREHOLE (REFER TO SOIL ENGINEERS LTD. REPORT DATED MARCH 2016)

HORIZONTAL CONTROL MONUMENTS U.T.M. (ZONE 17) NAD 83

MONUMENT # 03120040050
THE HORIZONTAL MONUMENT IS LOCATED AT THE CURB LINE ON THE NORTH SIDE OF ESSA ROAD, APPROXIMATELY 0.3km NORTH OF FERDALE DRIVE SOUTH ON THE WEST SIDE OF ENTRANCE TO #379 ESSA ROAD.

N = N4911475.809 E = 603404.438

MONUMENT # 01019860430
THE HORIZONTAL MONUMENT IS LOCATED ON THE EAST SIDE OF ESSA ROAD, APPROXIMATELY 15m NORTH OF BEACON ROAD.

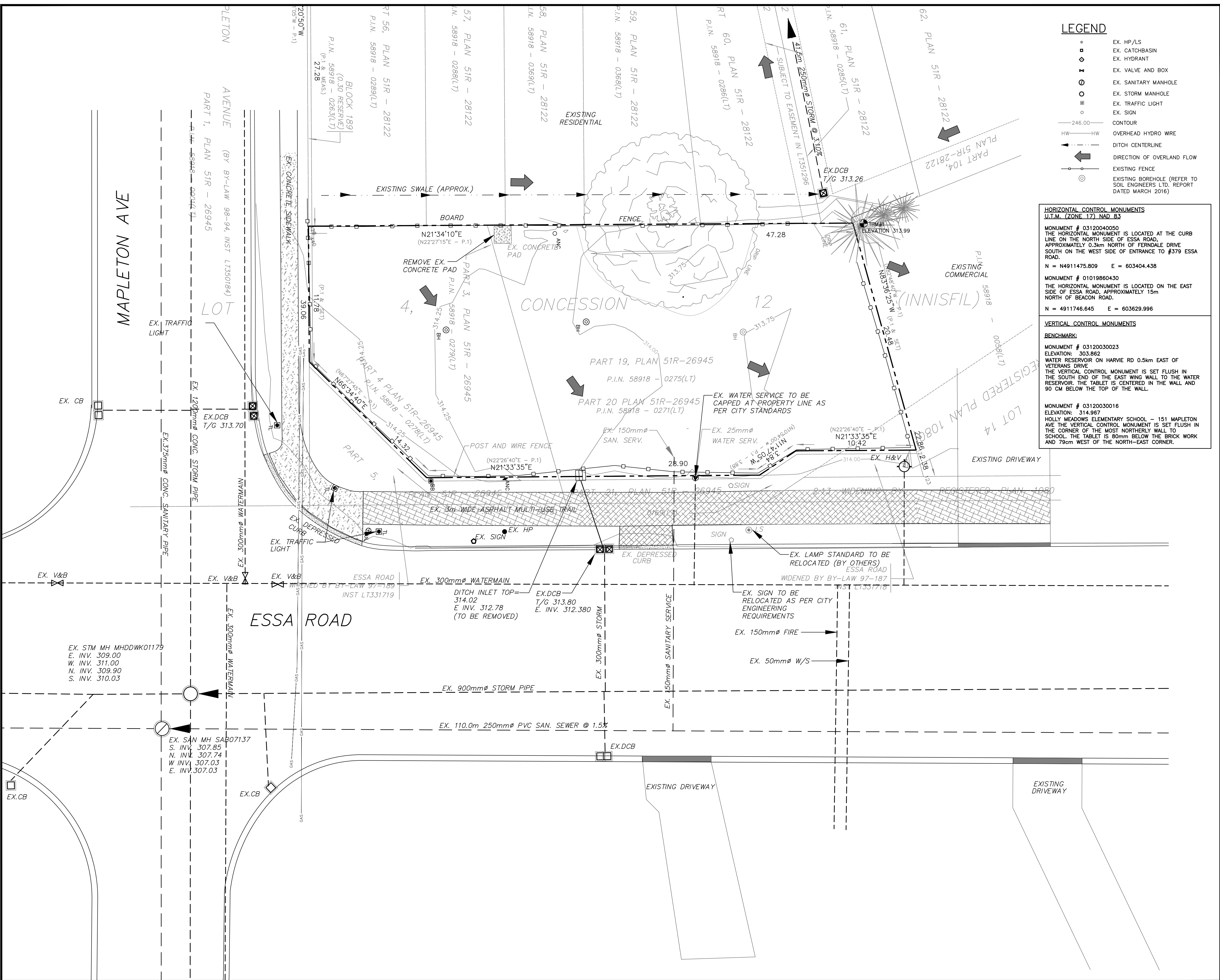
N = 4911746.645 E = 603629.996

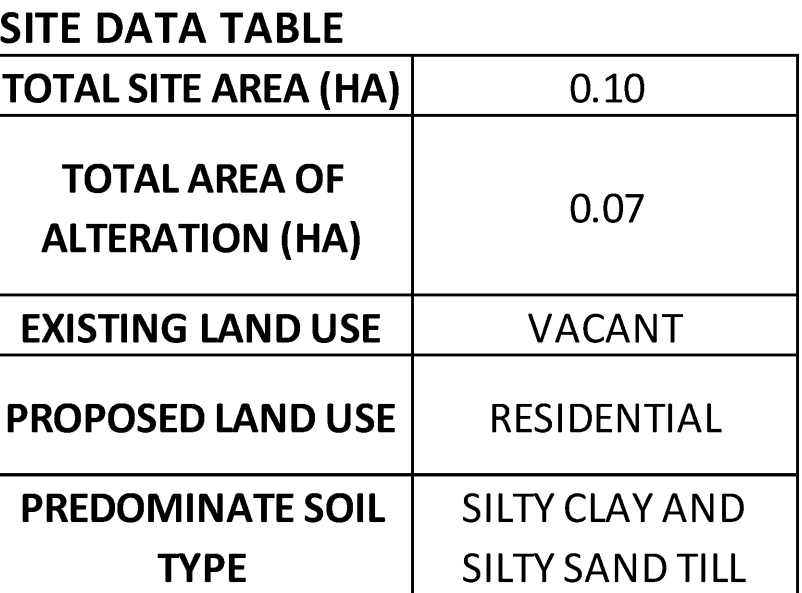
VERTICAL CONTROL MONUMENTS

BENCHMARK:

MONUMENT # 03120030023
ELEVATION: 303.862
WATER RESERVOIR ON HARVE RD 0.5km EAST OF VETERANS DRIVE
THE VERTICAL CONTROL MONUMENT IS SET FLUSH IN THE SOUTH END OF THE EAST WING WALL TO THE WATER RESERVOIR. THE TABLET IS CENTERED IN THE WALL AND 90 CM BELOW THE TOP OF THE WALL.

MONUMENT # 03120030016
ELEVATION: 314.967
HOLLY MEADOWS ELEMENTARY SCHOOL - 151 MAPLETON AVE
THE VERTICAL CONTROL MONUMENT IS SET FLUSH IN THE CORNER OF THE MOST NORTHERLY WALL TO SCHOOL. THE TABLET IS 80mm BELOW THE BRICK WORK AND 79cm WEST OF THE NORTH-EAST CORNER.





HORIZONTAL CONTROL MONUMENTS
U.T.M. (ZONE 17) NAD 83

MONUMENT # 03120040050
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VERTICAL CONTROL MONUMENTS

BENCHMARK:

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LEGEND

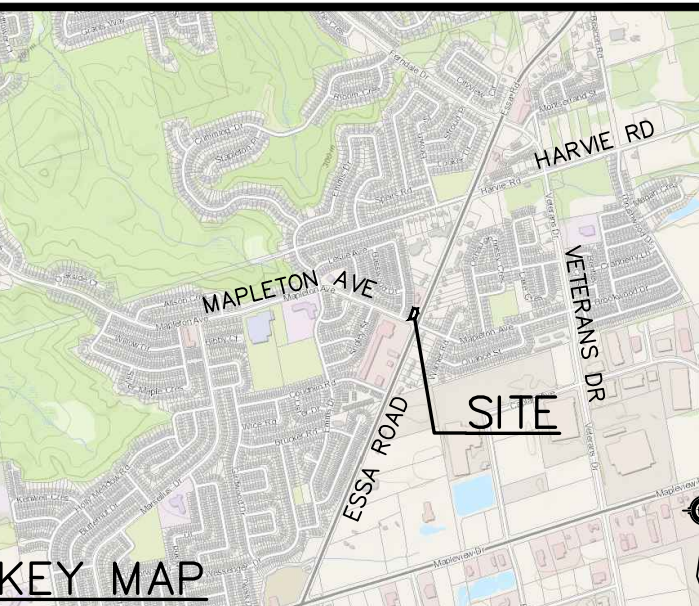
●	EX. HP/LS
□	EX. CATCHBASIN
○	EX. HYDRANT
⋈	EX. VALVE AND BOX
⊙	EX. SANITARY MANHOLE
⊙	EX. STORM MANHOLE
⊞	EX. TRAFFIC LIGHT
○	EX. SIGN
—246.00—	CONTOUR
HW————HW	OVERHEAD HYDRO WIRE
←	DITCH CENTERLINE
←	DIRECTION OF OVERLAND FLOW
—○—○—	EXISTING FENCE
⊙	EXISTING BOREHOLE
S————S	SILT FENCE
⬡	CONSTRUCTION ENTRANCE MAT
⬢	TEMPORARY STOCKPILE LOCATION



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Any errors and/or omissions shall be reported to
Pinestone Engineering Ltd. without delay.



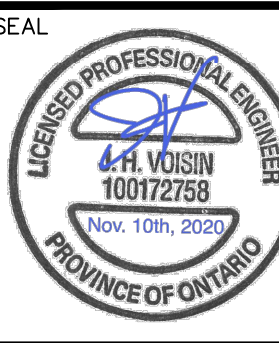
NOTES

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2. LEGAL INFORMATION PROVIDED BY MACDONALD C.A. MACDONALD SURVEYING INC.
3. SITE PLAN PREPARED BY IAN S MALCOLM ARCHITECTS.

BENCHMARK

TBM#1
TOP OF SIB IN NORTHWEST CORNER OF PROPERTY
ELEVATION 313.99

1	20.11.10	REVISED PER CITY COMMENTS	G.
NO.	YY.MM.DD	REVISION	B



NORTH ARROW



DESIGN BY:	J.V.
DRAWN BY:	G.N.
CHECKED	J.V.
DATE:	FEBRUARY 2021
SCALE:	1:150

CLIENT/PROJECT

541 ESSA ROAD
RESIDENTIAL DEVELOPMENT

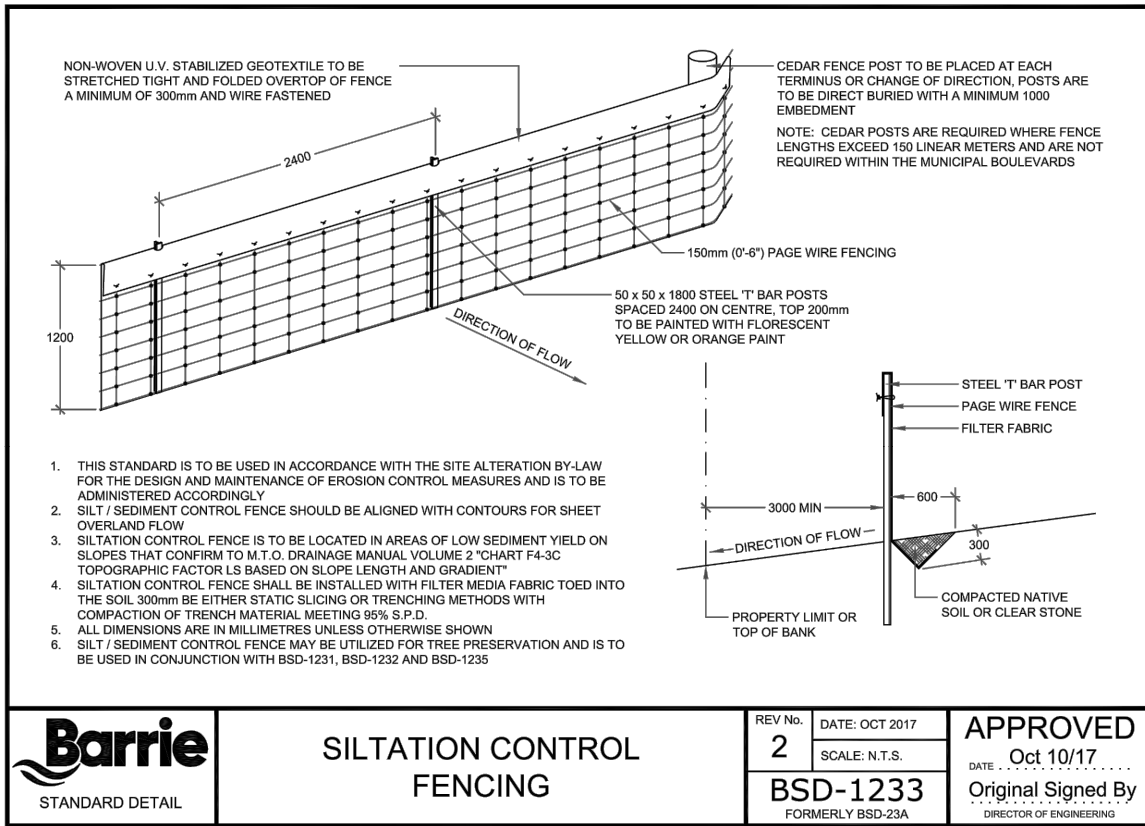
DRAWING TITLE

SITE ALTERATIONS PLAN

PROJECT NO. 20-11493-B	DRAWING NO. SA-1	REVISION 1
----------------------------------	----------------------------	----------------------

EROSION CONTROL NOTES:

1. ALL SILT FENCING TO BE INSTALLED PRIOR TO ANY GRADING OR EXCAVATION.
2. EROSION CONTROL FENCING TO BE INSTALLED AROUND THE BASE OF ALL STOCKPILES, ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
3. PINESTONE ENGINEERING LTD. TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO CITY REQUIREMENTS.
4. EROSION CONTROL STRUCTURES TO BE MONITORED AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL AND DAMAGE REPAIRED IMMEDIATELY.
5. SEDIMENTS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/2 THE HEIGHT OF THE FENCE.
6. ALL EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND HAVE BEEN RESTABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
7. NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY PINESTONE ENGINEERING LTD. AND THE CITY OF BARRIE DEPARTMENT OF PUBLIC WORKS.
8. CONTRACTOR IS RESPONSIBLE FOR MUNICIPAL ROADWAY AND SIDEWALK TO BE CLEARED OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. AT THE END OF EACH DAY.



NOTES:

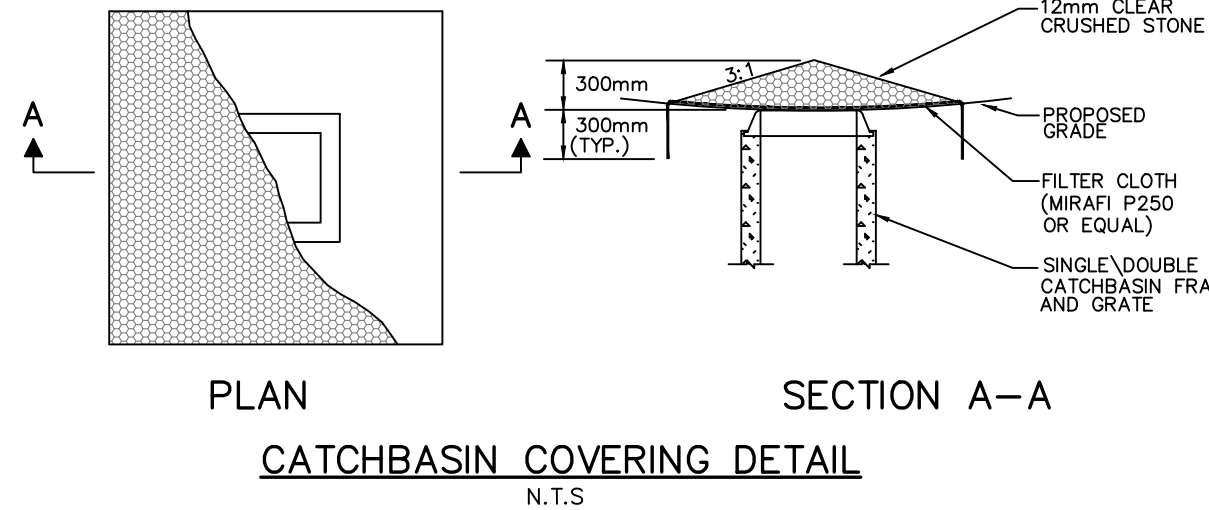
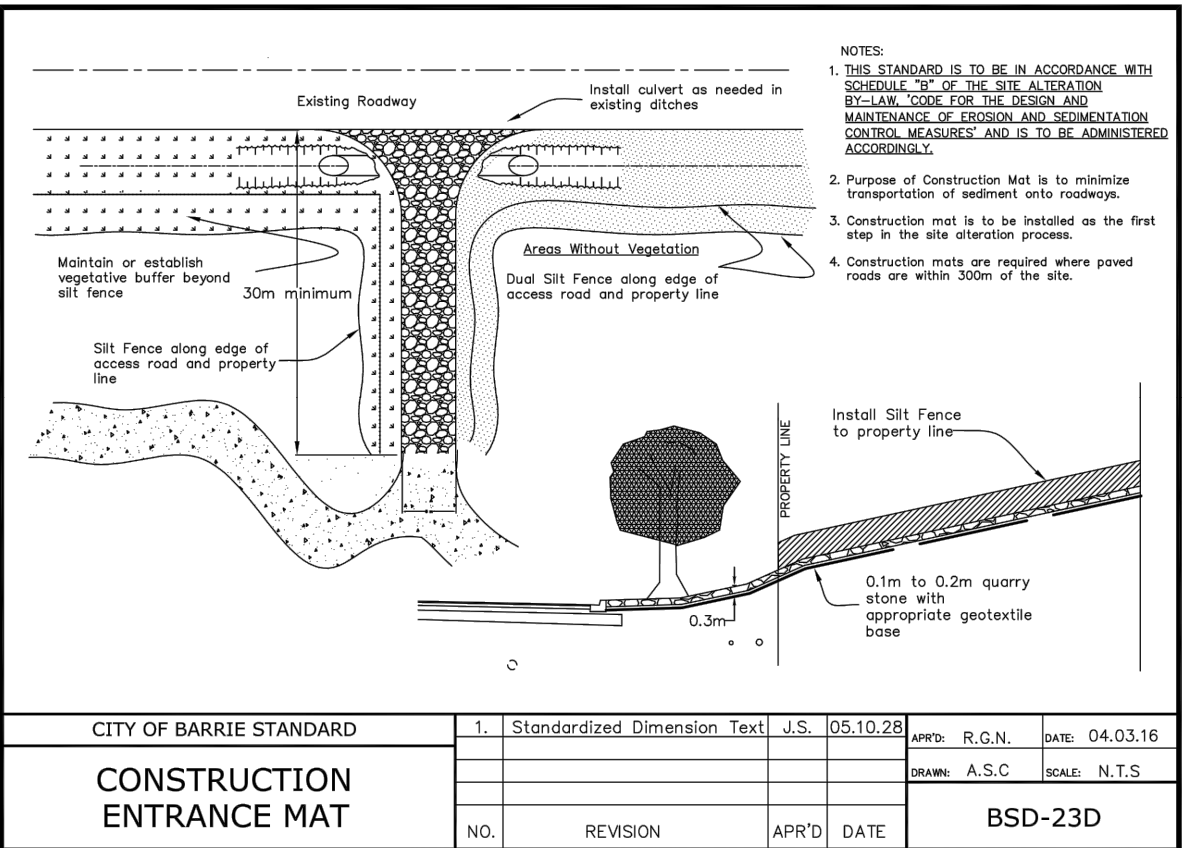
1. THIS STANDARD IS TO BE IN ACCORDANCE WITH SCHEDULE "B" OF THE SITE ALTERATION BY-LAW, "CODE FOR THE DESIGN AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES" AND IS TO ADMINISTERED ACCORDINGLY.
2. Piles containing more than 100 cubic metres of topsoil or spoil shall be located a minimum of 15 metres from a roadway or channel.
3. Piles left in place for more than 60 days shall be stabilized with a tarp, mulch, vegetative cover or other acceptable means.

Topsail or Spoil Pile

Silt Fence Detail

silt fence with wire backing

CITY OF BARRIE STANDARD				DATE	R.G.N.	REVISED DATE
					A.S.C.	N.T.S.
TOPSOIL OR SPOIL PILE SILTATION CONTROL						
NO.	REVISION	APPROVED	DATE			
				BSD-23E		



SECTION A-A

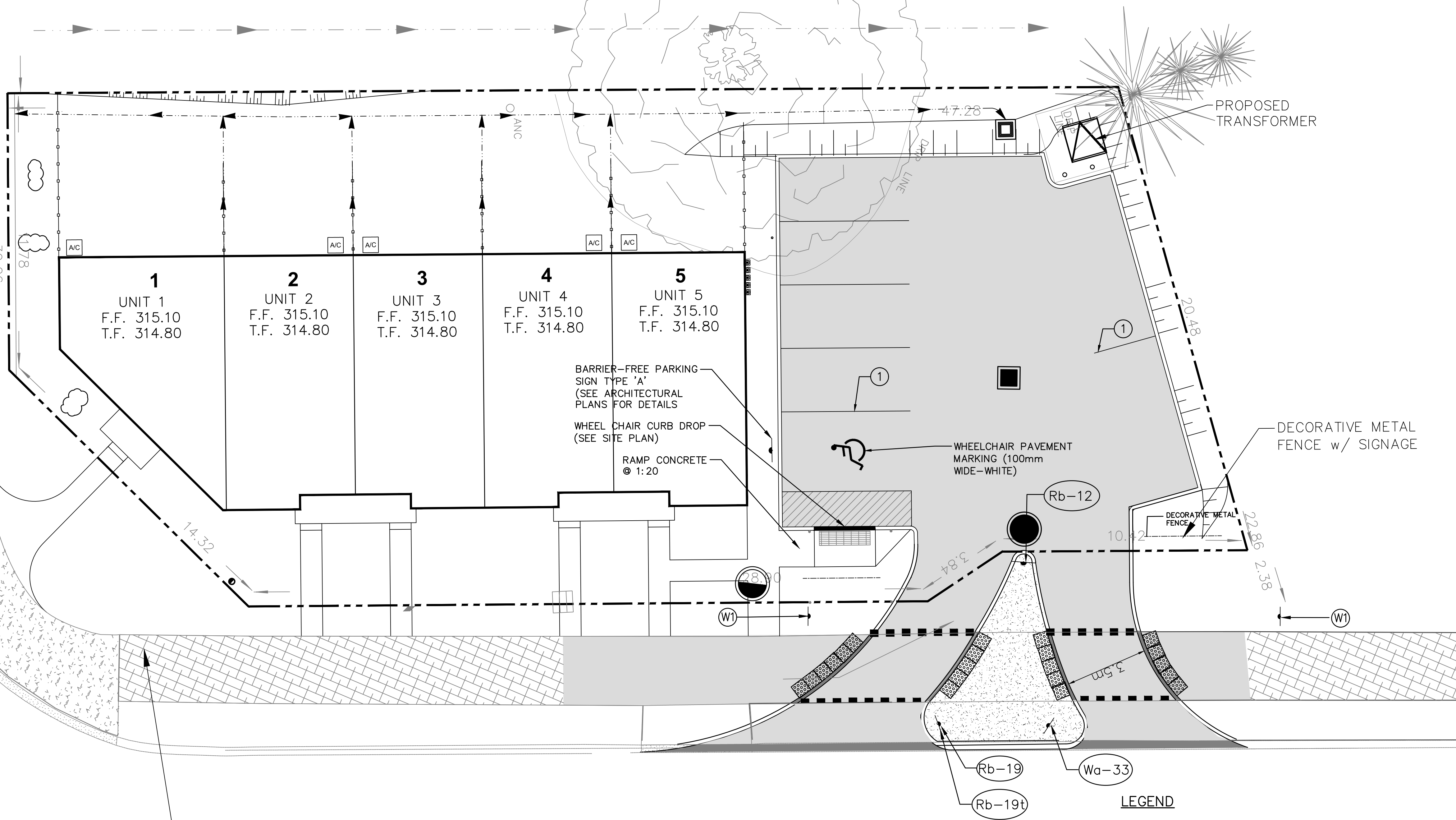
CATCHBASIN COVERING DETAIL
N.T.S

COURSE	THICKNESS (mm)	OPS SPECIFICATION
ASPHALT SURFACE	40	HL-3
ASPHALT BINDER	50	HL-8
GRANULAR BASE	150	20mm CRUSHER RUN LIMESTONE OR EQUIVALENT
GRANULAR SUB-BASE	200	50mm CRUSHER RUN LIMESTONE OR EQUIVALENT

[illegible]

CLIENT/PROJECT		
541 ESSA ROAD RESIDENTIAL DEVELOPMENT		
DRAWING TITLE		
GRADING PLAN		
PROJECT NO. 20-11493-M	DRAWING NO. GP-1	REVISION 1

COMMUNITY
MAILBOX
SIZE &
LOCATION
PER CANADA
POST
STANDARDS



HORIZONTAL CONTROL MONUMENTS U.T.M. (ZONE 17) NAD 83

MONUMENT # 03120040050
THE HORIZONTAL MONUMENT IS LOCATED AT THE CURB
LINE ON THE NORTH SIDE OF ESSA ROAD,
APPROXIMATELY 0.3km NORTH OF FERDALE DRIVE
SOUTH ON THE WEST SIDE OF ENTRANCE TO #379 ESSA
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N = N4911475.809 E = 603404.438

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BENCHMARK:

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THE VERTICAL CONTROL MONUMENT IS SET FLUSH IN
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90 CM BELOW THE TOP OF THE WALL.

MONUMENT # 03120030016
ELEVATION: 314.967
HOLLY MEADOWS ELEMENTARY SCHOOL - 151 MAPLETON
AVE THE VERTICAL CONTROL MONUMENT IS SET FLUSH IN
THE CORNER OF THE MOST NORTHERLY WALL TO
SCHOOL. THE TABLET IS 80mm BELOW THE BRICK WORK
AND 79cm WEST OF THE NORTH-EAST CORNER.

3.0m WIDE ASPHALT
MULTI-USE TRAIL

PAVEMENT MARKING AND SIGNAGE NOTES:

1. PROVIDE ALL SITE SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON SITE PLAN AND PAVEMENT MARKING AND SIGNAGE PLAN.
2. FINAL LOCATION OF FIRE ROUTE SIGNAGE TO BE DETERMINED IN FIELD BY LOCAL FIRE DEPARTMENT.
3. SIGNAGE AND LINE PAINTING TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. REFER TO SITE PLAN FOR BARRIER FREE PARKING SIGNAGE DETAILS.
5. PAVEMENT MARKING TO CONFORM WITH OPSS.710 AND 1712.
6. W1 SIGN TO BE APPROVED BY CITY OF BARRIE PRIOR TO CONSTRUCTION. SIGN TO MATCH EXISTING SIGNS USED AT RIGHT IN RIGHT OUT ENTRANCE LOCATED BETWEEN MAPLETON AVE. AND COUGHLIN ROAD, ON THE WEST SIDE OF ESSA ROAD.
7. ALL STRIPPING TO BE 100mm WIDE AND WHITE.

LEGEND

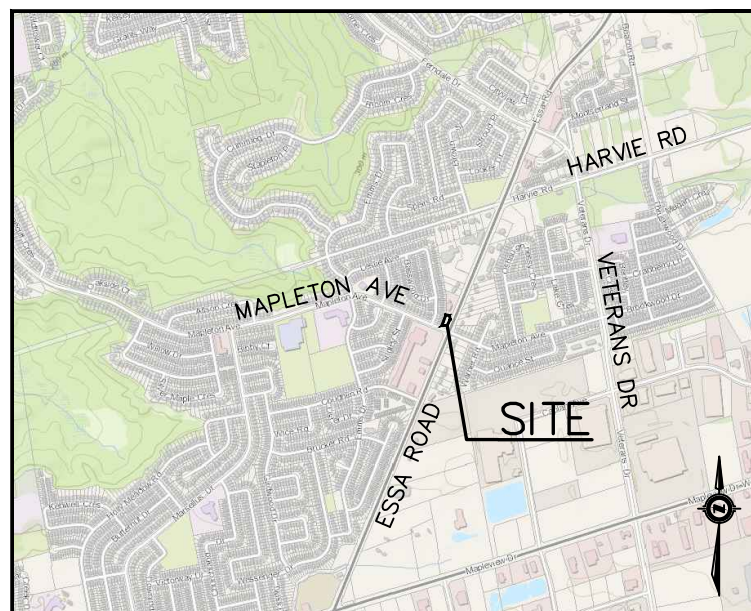
- | | | |
|--|--------|--|
| | Rb-19 | DO NOT ENTER SIGN (Rb-19) |
| | Rb-19t | DO NOT ENTER SIGN (Rb-19) |
| | Rb-12 | NO LEFT TURN (Rb-12) |
| | Wa-33 | WARNING MARKER (Wa-33) |
| | W1 | WATCH FOR VEHICLES TURNING |
| | 1 | SOLID WHITE, 10cm WIDTH |
| | | PROPOSED ASPHALT AREA |
| | | PROPOSED CONCRETE AREA |
| | | NOISE FENCE PER BARRIE STANDARD B5D-1200 |
| | | TACTILE PLATE PER OPSD 310.039 (TYP.) |



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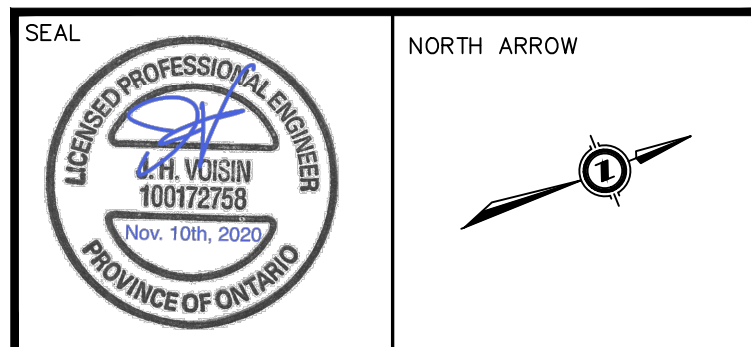
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2. LEGAL INFORMATION PROVIDED BY MACDONALD C.A. MACDONALD SURVEYING INC.
3. SITE PLAN PREPARED BY IAN S. MALCOLM ARCHITECTS.
4. THE OWNER/APPLICANT WILL BE FULLY RESPONSIBLE FOR THE RELOCATION OF THE EXISTING ROADWAY ILLUMINATION THAT IS AFFECTED BY THE PROPOSED DEVELOPMENT ACCESS AND MUST USE A CITY APPROVED ELECTRICAL CONTRACTOR. THE RELOCATION OF THE ILLUMINATION MUST BE COORDINATED WITH CITY STAFF.
5. ALL SITE LIGHTING TO BE DARK SKY FRIENDLY.
6. GARBAGE COLLECTION IS TO BE COLLECTED AT THE MUNICIPAL CURB SIDE.

BENCHMARK

BM#1
TOP OF SIB IN NORTHWEST CORNER OF PROPERTY
ELEVATION 313.99

NO.	YY.MM.DD	REVISION	BY
1	20.11.10	REVISED PER CITY COMMENTS	G.N.



DESIGN BY:	J.V.
DRAWN BY:	G.N.
CHECKED:	J.V.
DATE:	FEBRUARY 2020
SCALE:	1:100

CLIENT/PROJECT		
541 ESSA ROAD RESIDENTIAL DEVELOPMENT		
DRAWING TITLE		
PAVEMENT MARKINGS AND SIGNAGE PLAN		
PROJECT NO.	DRAWING NO.	REVISION
20-11493-B	PM-1	1

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY OF BARRIE STANDARD DRAWINGS (BSD) AND ONTARIO PROVINCIAL STANDARD DRAWINGS.
2. ORDER OF PRECEDENCE OF STANDARD DRAWINGS FIRSTLY CITY OF BARRIE STANDARD DRAWINGS (BSD) AND SECONDLY ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD)
3. LOCATION OF EXISTING SERVICES ARE NOT GUARANTEED. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
4. A RIGHT OF WAY ACTIVITY PERMIT IS REQUIRED FROM THE CITY OF BARRIE OPERATIONS DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SITE.
5. A SITE ALTERATION PERMIT IS REQUIRED FROM THE ENGINEERING DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS ON THE SITE. (IF ALTERATION IS GREATER THEN 0.5m)
6. NATIVE MATERIAL SUITABLE FOR BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DENSITY.
7. GRANULAR MATERIAL USED FOR BACKFILL, SHALL E PLACED IN LAYERS 150MM IN DEPTH MAXIMUM AND COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY.
8. ALL DISTURBED AREAS ARE TO BE REINSTATED TO THEIR ORIGINAL CONDITION OR BETTER, AS DETERMINED BY THE CITY ENGINEERING DEPARTMENT.
9. ALL SILT CONTROL AND EROSION PROTECTION DEVICES ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL CONSTRUCTION IS COMPLETE AND THE GRASS HAS ESTABLISHED GROWTH, SUBJECT TO APPROVAL BY THE CITY ENGINEERING DEPARTMENT.

SANITARY SEWER

- A. SANITARY SEWER TO BE LOCATED AT THE CENTRELINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.
- B. SEWERS SHALL BE CONSTRUCTED WITH BEDDINGS AS PER OPSD-802.010 (GRAN 'A' EMBEDMENT MATERIAL) FOR FLEXIBLE PIPES AND OPSD-802.030 OR 803-031 CLASS B (GRAN 'A' BEDDING MATERIAL) FOR RIGID PIPE UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF ENGINEERING.
- C. MAXIMUM DEFLECTION FROM COMBINED LIVE AND DEAD LOADING SHALL NOT EXCEED ANY C.S.A., O.P.S. OR MANUFACTURERS RECOMMENDED SPECIFICATIONS.
- D. PVC, CONCRETE AND PROFILE WALL PVC SEWERS SHALL HAVE RUBBER GASKET TYPE JOINTS AND SHALL BE CERTIFIED TO CONFORM TO ALL APPLICABLE CURRENT C.S.A. SPECIFICATIONS.
- E. CONCRETE SANITARY SEWERS SHALL HAVE A MINIMUM STRENGTH OF 50 N/m/mm CONFORMING TO C.S.A. STANDARD A257.2-1982. CLASS 50-D (PREVIOUSLY C.S.A. STANDARD A257.2-1974, CLASS II)
- F. MAINTENANCE HOLE TOPS (FRAMES) ARE TO BE SET TO BASE COURSE ASPHALT GRADE AND THEN ADJUSTED TO FINAL GRADE WHEN THE TOP LIFT OF ASPHALT IS PLACE. ALL ADJUSTMENT WILL BE ACCORDANCE WITH BSD-N2.
- G. ALL CONNECTIONS TO NEW SANITARY MAINS SHALL BE PRE-MANUFACTURED, FABRICATED TEES. CONNECTIONS TO EXISTING SANITARY SEWER SHALL BE MADE WITH APPROVED FACTORY MADE TEES OR INSERTA-TEES IN STRICT ACCORDANCE TO MANUFACTURERS GUIDELINES.

SANITARY SEWER SERVICE LATERALS

- A. SANITARY LATERAL CONNECTION TO BE LOCATED AT THE CENTRELINE OF THE LOT AND CAPPED UNLESS OTHERWISE SHOWN.
- B. LOCATION OF LATERAL TO BE MARKED 2.0m PAST PROPERTY LINE WITH A 50 X 100mm WOOD MARKER, PAINTED GREEN, EXTENDING FROM SERVICE INVERT TO 300mm ABOVE GROUND LEVEL.
- C. PIPE TO BE MINIMUM 100mm DIA. PVC SDR28, RUBBER GASKET TYPE JOINTS AND SHALL CONFORM TO C.S.A. (B-182.2.3.4)(COLOURED) FOR A RESIDENTIAL HOUSE AND 150mm MINIMUM DIA. PVC SDR28 FOR INDUSTRIAL/COMMERCIAL DEVELOPMENT.
- D. MINIMUM DEPTH OF LATERAL AT PROPERTY LINE SHALL BE 2.4m MEASURED FROM THE SEWER OVERTO TO FINISHED GROUND SURFACE ELEVATION UNLESS NOTED OTHERWISE.
- E. ALL CONNECTIONS TO NEW SANITARY MAINS SHALL BE PRE-MANUFACTURED, FABRICATED TEES. CONNECTIONS TO EXISTING SEWER SHALL BE MADE WITH APPROVED FACTORY MADE TEES OR INSERTA-TEES IN STRICT ACCORDANCE TO MANUFACTURERS GUIDELINES.
- F. MINIMUM PIPE SLOPE TO BE 2.0% MAXIMUM 8.0% (SEE OPSD-1006.010, 1006.020)

STORM SEWERS AND CULVERTS

- A. STORM SEWER TO BE PROVIDED ON ALL ROADS WITH CURB AND GUTTER.
- B. PLACE ALL CATCH BASIN LATERALS AT 2% GRADE UNLESS OTHERWISE NOTED. PIPE SIZE MINIMUM 250mm DIA. SINGLE, 300mm DIA. DOUBLE.
- C. STORM SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS PER OPSD-802.010 (GRAN 'A' EMBEDMENT MATERIAL) FOR FLEXIBLE PIPES AND OPSD-802.030 OR 802.031 CLASS B (GRAN 'A' BEDDING MATERIAL) FOR RIGID PIPE UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF ENGINEERING.
- D. MAINTENANCE HOLE TOPS (FRAMES) ARE TO BE SET TO BASE COURSE ASPHALT GRADE AND THEN ADJUSTED TO FINAL GRADE WHEN THE TOP LIFT OF ASPHALT IS PLACED. ALL ADJUSTMENT WILL BE ACCORDANCE WITH BSD-N2.
- E. STORM SEWER TO BE LOCATED OFFSET 3.0m SOUTH OR EAST OF CENTRELINE UNLESS OTHERWISE SPECIFIED.
- F. ALL CONNECTIONS TO THE STORM MAIN SHALL BE MADE WITH A STORM MANHOLE OR APPROVED FACTORY TEE CONNECTION AS PER OPSD - 708.01 OR 708.03.
- G. PIPE MATERIAL TO BE REINFORCED CONCRETE WITH A MINIMUM STRENGTH OF 50 N/m/mm CERTIFIED TO C.S.A. STANDARD A247.2-1982, CLASS 50-D (PREVIOUSLY C.S.A. STANDARD A257.2-1974, CLASS II) OR PVC CERTIFIED TO C.S.A. STANDARDS 182.2 AND 182.4.
- H. STORM SEWER TO BE MINIMUM 300mm DIAMETER WITH JOINTS CONFORMING TO C.S.A. STANDARD A257.3.
- I. ALL PIPE BEDDING MUST CONFORM TO OPSD, MAXIMUM COVER TABLE. NO FLEXIBLE PIPE SEWERS WILL BE INSTALLED WITH A DEPTH OF COVER GREATER THAN 6 METRES UNLESS SPECIFICALLY APPROVED BY THE DIRECTOR OF ENGINEERING.
- J. ALL PIPE HANDLING INSTALLATIONS MUST BE IN STRICT COMPLIANCE WITH MANUFACTURERS INSTALLATION GUIDES AND THE O.C.P.A. OR UNIBELL GUIDELINES.
- K. SUMP PUMP DISCHARGE PIPING IN BOULEVARD:
IN THE EVENT OF OVERACTIVE SUMP PUMP ACTIVITY, A 150mm DIAMETER PVC DR-28 SEWER MAY BE INSTALLED, WHEN SO DIRECTED BY THE DIRECTOR OF ENGINEERING, ALONG THE ELEVATIONS OF DESIGNED LOTS, WITH AN OFFSET OF 0.6m FROM BACK OF CURB. THIS SEWER IS TO BE CAPPED AT THE UPSTREAM END AND IS TO OUTLET INTO THE NEAREST CATCHBASIN DOWNSTREAM. DEPTH OF SEWER IS TO BE EQUAL TO SUBDRAIN DEPTH. NOT TO BE DIRECTLY CONNECTED TO FOUNDATION DRAINS.
- L. REAR YARD CATCHBASINS ALONG UNITS 10-17 TO MANUFACTURED BY ARMEC. CONTRACTOR TO PROVIDE ENGINEER SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

WATERMAIN NOTES

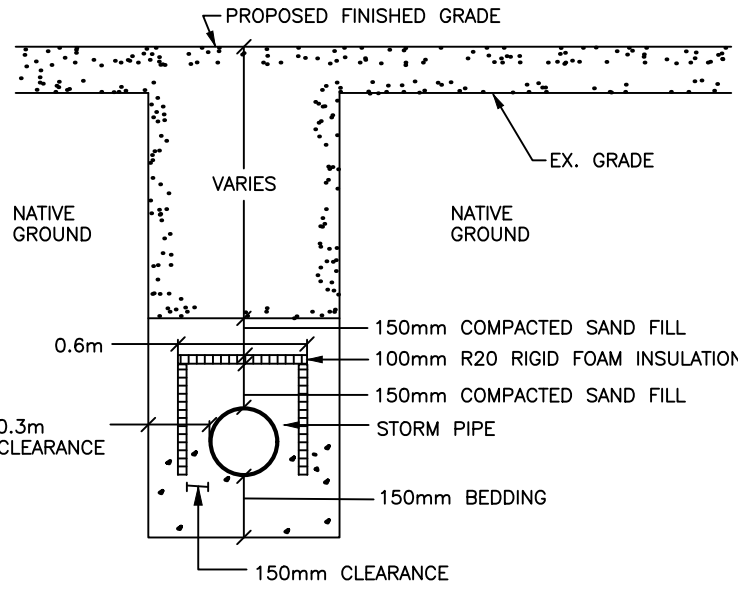
- A. CONTRACTOR SHALL INFORM THE CITY OF BARRIE ENGINEERING DEPARTMENT A MINIMUM OF 48 HOURS IN ADVANCE OF THEIR INTENTIONS TO WORK.
- B. OPERATION OF FIRE HYDRANTS AND VALVES ON POTABLE WATER BY OTHER THAN ENGINEERING DEPARTMENT IS PROHIBITED BY BY-LAW 1-88 AS AMENDED BY BY-LAW 99-290 THE CITY WILL SWAB, PRESSURE TEST, CHLORINATE AND FLUSH ALL NEW WATERMANS.
- C. MINIMUM COVER OVER WATERMAIN TO BE 1.7m THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATERMAIN AND SEWERS TO BE 2.5m WHERE WATERMAIN CONFLICTS WITH SEWER PIPES. HORIZONTAL WATERMAIN HORIZONTALLY OR VERTICALLY WHILE PROVIDING A MINIMUM OF 0.5m CLEARANCE BETWEEN WATERMAIN AND SEWERS, MAINTAIN MINIMUM DEPTH OF COVER AT ALL TIMES.
- D. 1) WATERMAIN SHALL BE CONSTRUCTED WITH BEDDINGS AS PER OPSD 802.010 (GRANULAR 'A' EMBEDMENT MATERIAL) FOR FLEXIBLE PIPES AND OPSD 802.030 OR 802.031 CLASS 'B' (GRANULAR 'A' BEDDING MATERIAL, GRANULAR 'A' OR SELECT NATIVE COVER MATERIAL) FOR RIGID PIPE UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF ENGINEERING OR * ALTERNATIVE.
- * ALTERNATIVE EMBEDMENT MATERIAL - SAND MEETING GRADATION REQUIREMENTS OR OPS 1004.05.05 COMPACTED TO 95% PROCTOR DENSITY. GEOTECHNICAL CERTIFICATION OF MATERIAL AND COMPACTION TESTING MUST BE PROVIDED EVERY 150 METRES. THE COMPACTION TESTING MUST INCLUDE THE ENTIRE EMBEDMENT ENVELOPE (HAUNCHES, BEDDING AND TOP OF PIPE).
- D. 2) COPPER WATER MAINS AND SERVICES 19mm to 50mm IN DIAMETER SHALL BE EMBEDDED IN SAND 100mm ABOVE AND BELOW TO CONFORM TO OPSD 1004.05.05.
- E. CONCRETE THRUST BLOCKS ARE TO BE INSTALLED AT ALL TEES, BENDS, HYDRANTS, END OF MAINS AND CONNECTIONS 100mm AND LARGER AS PER OPSD 1103.020. RESTRAINING DEVICES MAY BE REQUIRED IN ADDITION TO STANDARD CONCRETE THRUST BLOCKING WHERE SOIL CONDITIONS WARRANT.
- G. RESTRAINING WILL BE REQUIRED ON ALL FIRE HYDRANTS.
- H. NEW WATERMANS TO BE PVC DR18 CL150, OR DUCTILE IRON CL52.
- I. TRACING WIRE (#12 TWO STRANDED COPPER) TO BE INSTALLED ON THE TOTAL LENGTH OF ALL NON-METALLIC WATERMAIN AND BROUGHT UP AT EACH HYDRANT AND CONNECTED TO FLANGE BOLT.
- J. ALL WATER SERVICES SHALL BE MINIMUM 19mm TYPE 'K' COPPER UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF ENGINEERING. WATER SERVICE SADDLES SHALL BE USED WHEN TAPPING INTO PVC WATERMAIN.
- K. RISER PIPES ARE TO BE INSTALLED AS PER BSD-45 (REV #1), AND REMOVED AS DIRECTED. SWABBING SCHEDULE TO BE SUPPLIED BY A CITY OF BARRIE FIELD REPRESENTATIVE.
- L. SERVICE TAPPINGS SHALL BE PLACED AT A MINIMUM SEPARATION OF 1.0m AND A MINIMUM OF 0.6m FROM JOINTS (ENDS OF PIPE).
- M. ALL NEW CURB STOPS AND BOXES TO BE LOCATED AT PROPERTY LINE AND OUT OF DRIVEWAYS AND SIDEWALKS.

PARKING LOT/DRIVEWAY NOTES

1. EXISTING SOILS AND GRANULAR MATERIALS TO BE REMOVED TO THE LIMITS SHOWN ON THE DRAWINGS AND ANY SURPLUS IS TO BE DISPOSED OFF-SITE AT A LOCATION CHOSEN BY, AND PAID FOR, BY THE CONTRACTOR.
2. PROPOSED SUB-GRADE TO BE INSPECTED AND PROOF-ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACEMENT OF GRANULAR 'B'. DEFICIENT AREAS ARE TO BE SUB-EXCAVATED AND REPLACED WITH GRANULAR 'B' AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
3. THE GRANULAR SUB-BASE IS TO BE INSPECTED AND PROOF-ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACEMENT OF THE GRANULAR 'A'.
4. THE GRANULAR BASE IS TO BE INSPECTED AND PROOF-ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACEMENT OF THE ASPHALT.
5. CONTRACTOR TO PROVIDE SAMPLES OF GRANULAR MATERIALS AND THE ASPHALT MIX DESIGNS TO THE GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
6. GRANULAR MATERIALS TO BE UNIFORMLY COMPACTED TO MINIMUM 100% STANDARD PROCTOR MAXIMUM DRY DENSITY. HOT LAID ASPHALT TO BE ROLLED UNIFORMLY TO A MINIMUM OF 97% MARSHALL BULK DENSITY.
7. GRASSSED AREAS DISTURBED DURING CONSTRUCTION TO BE RESTORED WITH MINIMUM 200mm TOPSOIL, AND SOD.
8. TOPSOIL SHALL CONFORM TO OPSD 570, EXCEPT THAT TOPSOIL SHALL CONTAIN NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND NOT LESS THAN 2% FOR SANDY LOAMS, WITH AN ACIDITY VALUE RANGING FROM P.H. 6.0 TO P.H. 7.5 AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE FREE FROM ANY ADMXTURE OF SUBSOIL, CLAY LUMPS, STONES GREATER THAN 25mm IN DIAMETER AND ANY OTHER EXTRANEIOUS MATTER.
9. SOD SHALL CONFORM TO OPSD 571.

RESTORATION NOTES

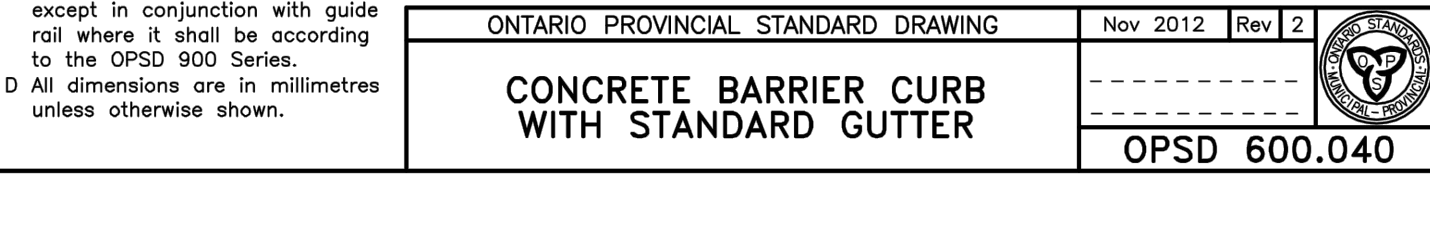
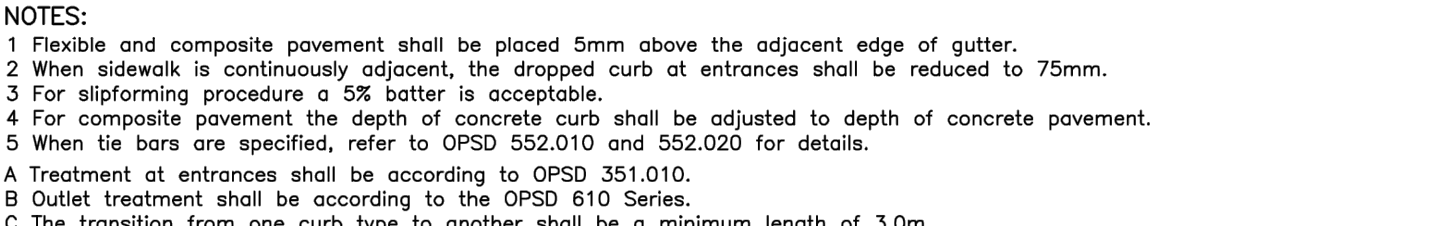
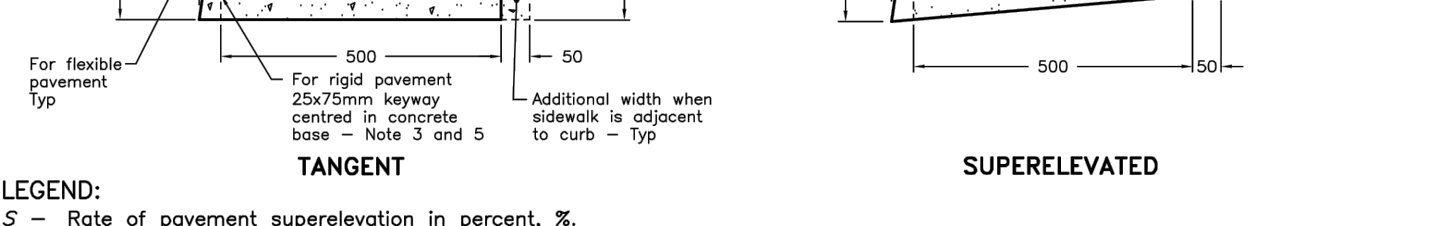
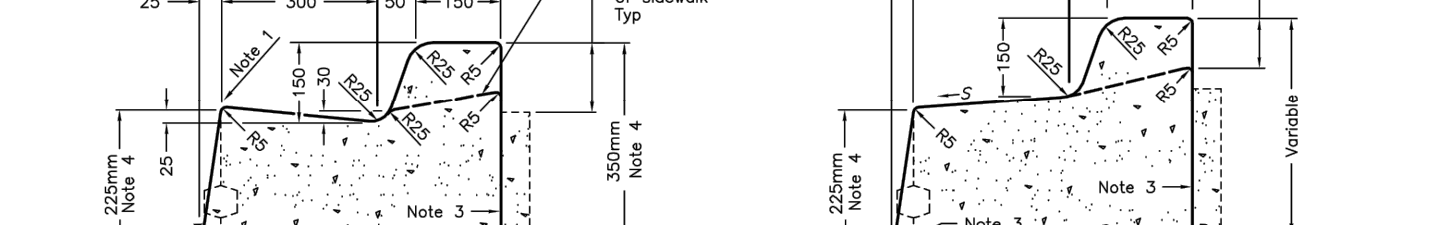
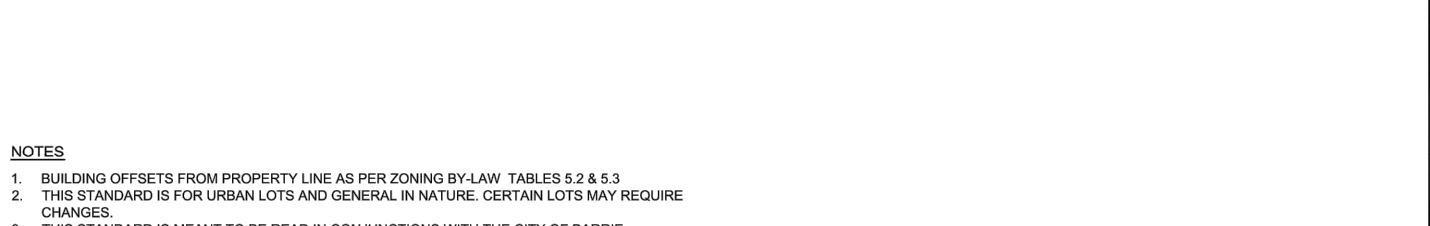
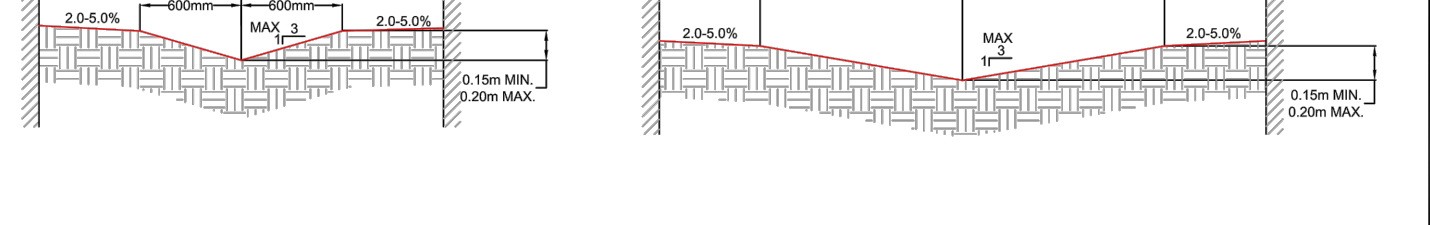
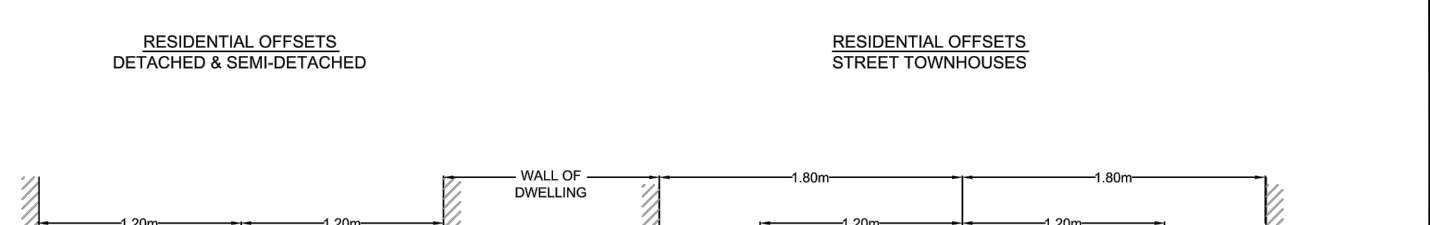
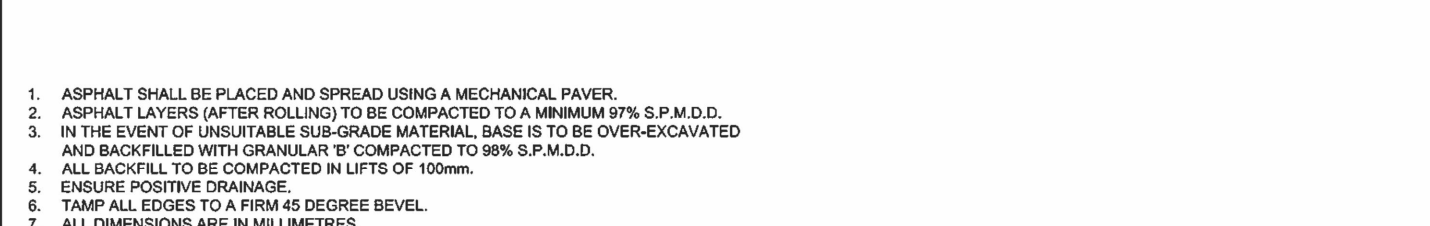
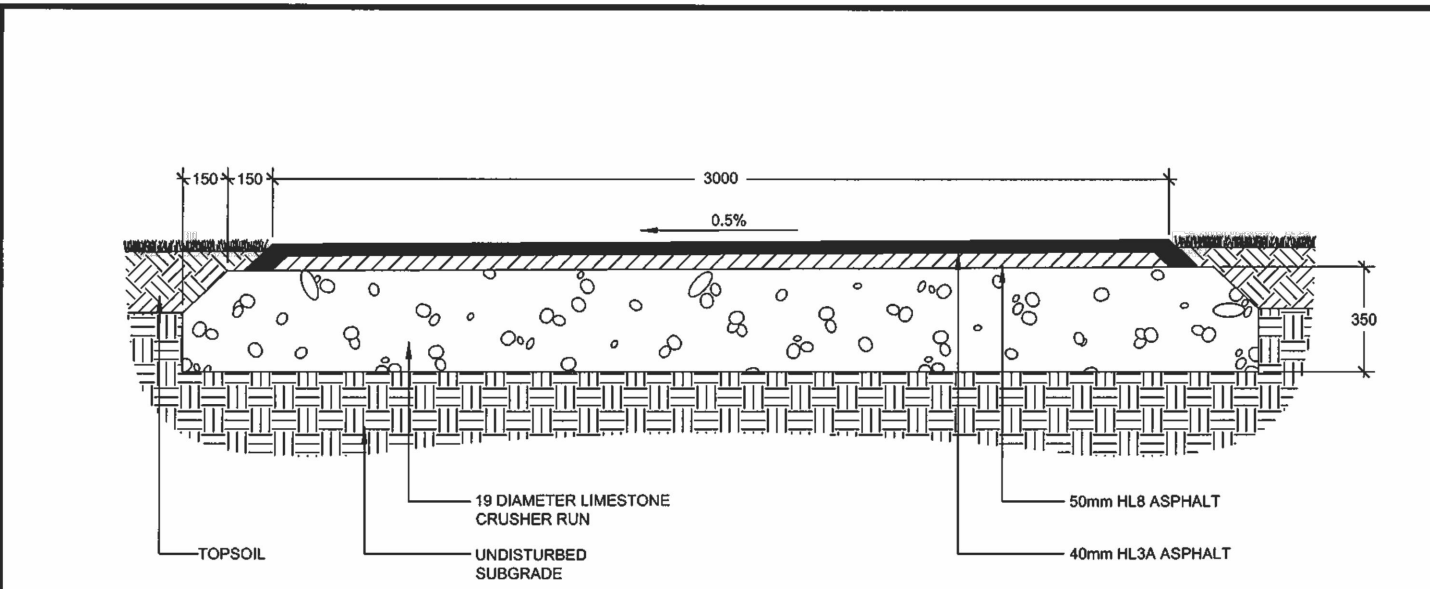
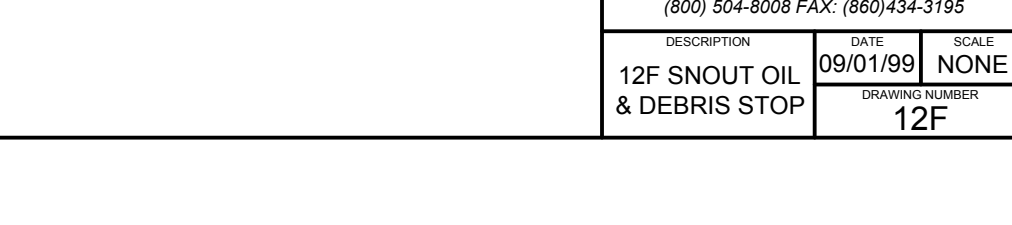
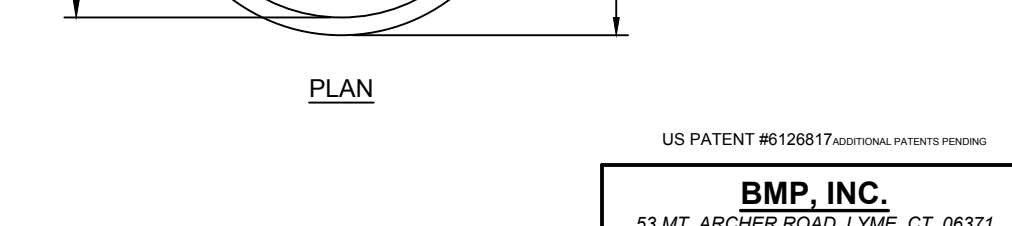
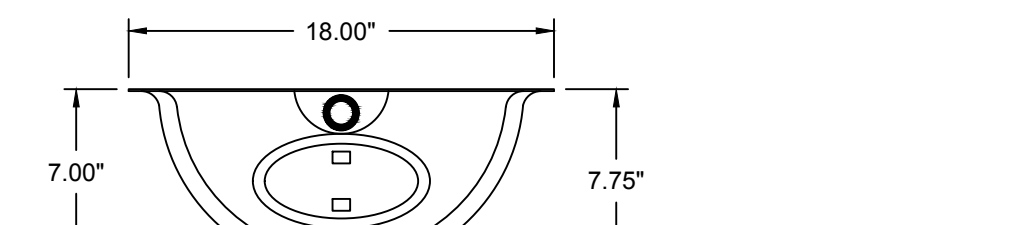
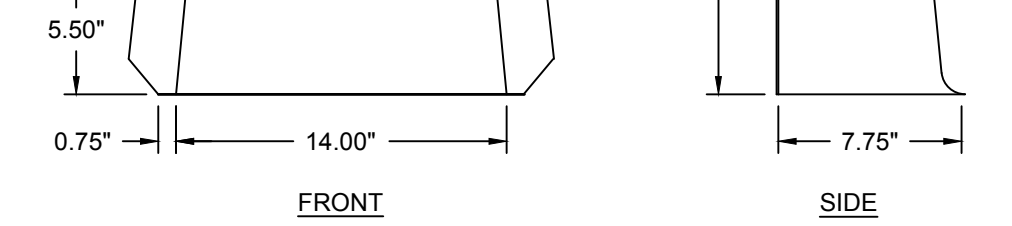
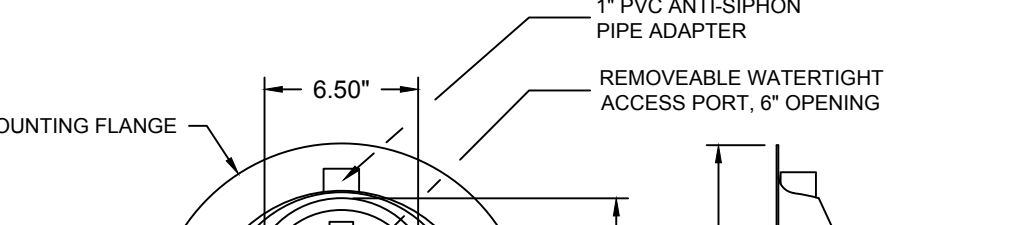
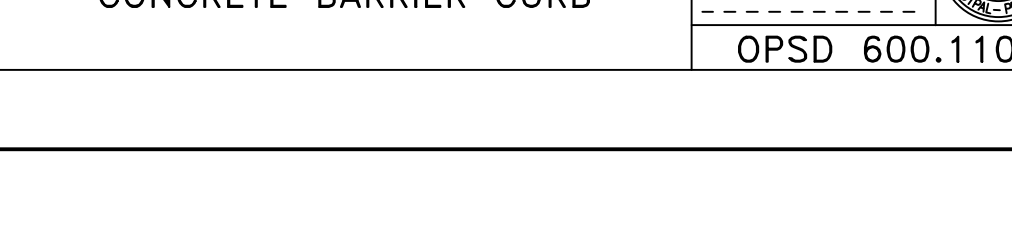
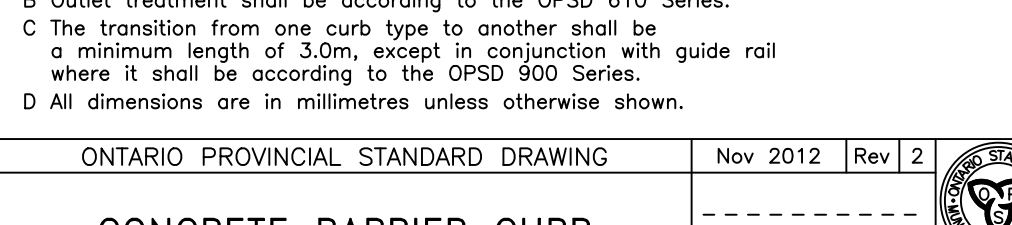
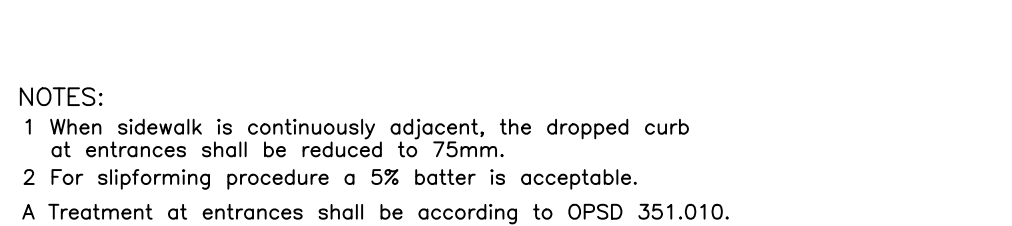
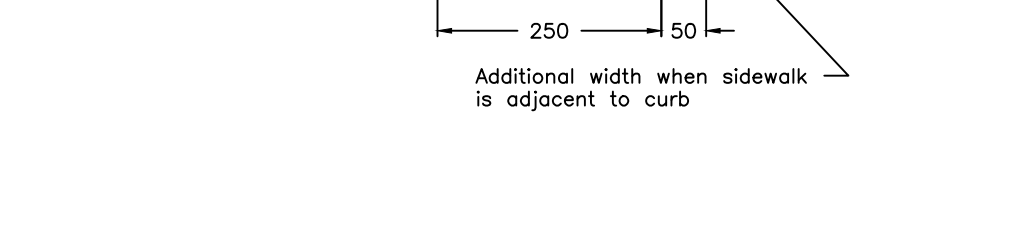
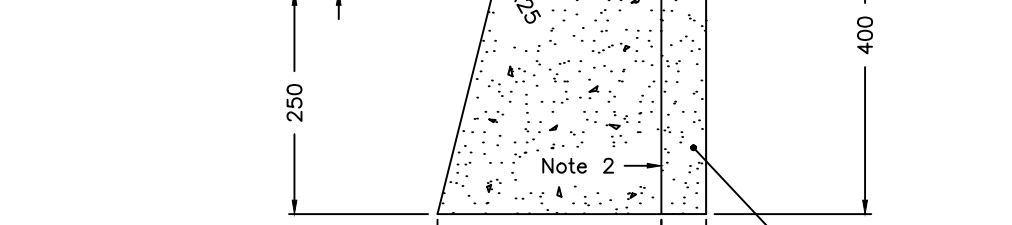
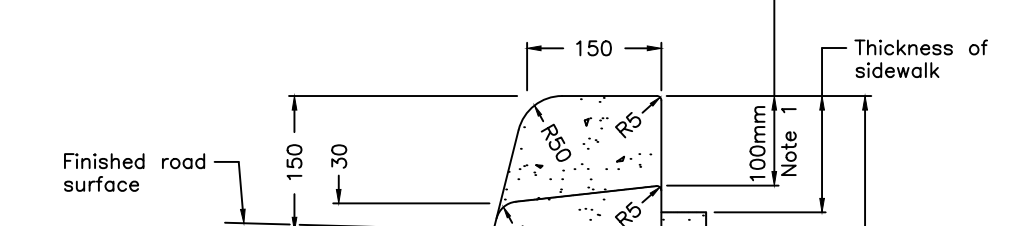
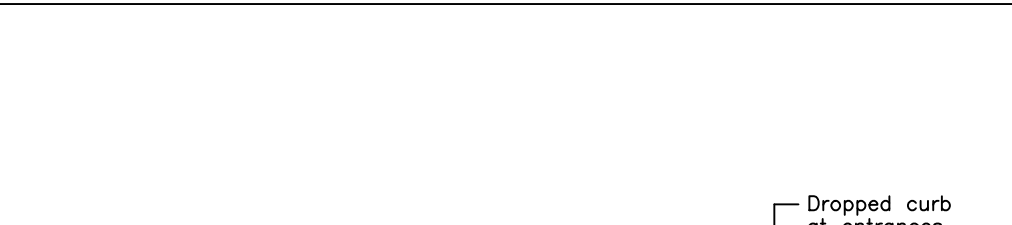
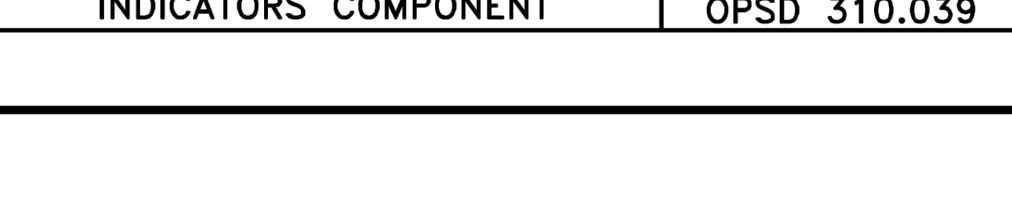
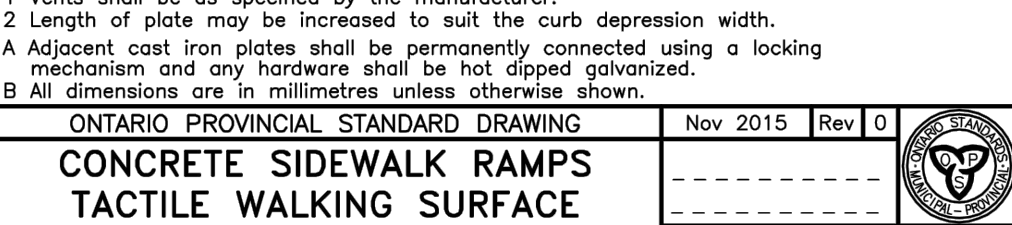
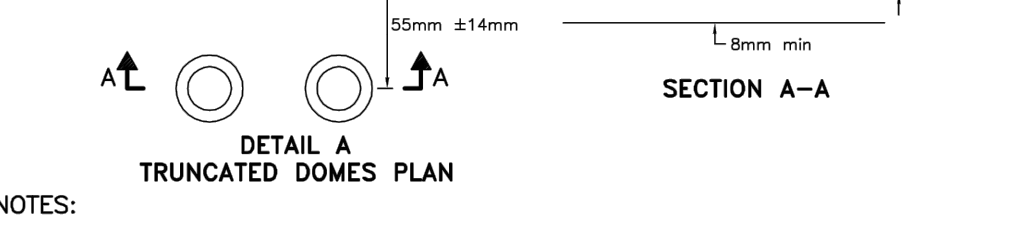
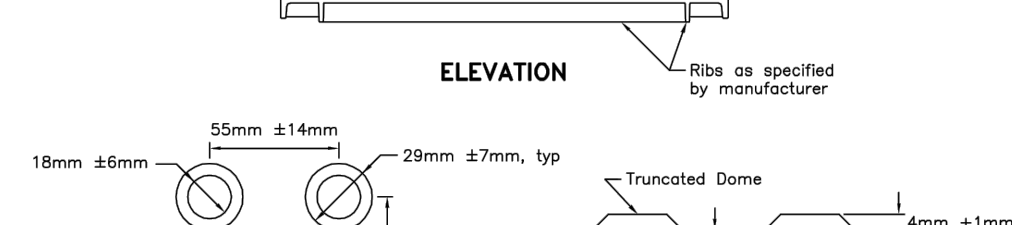
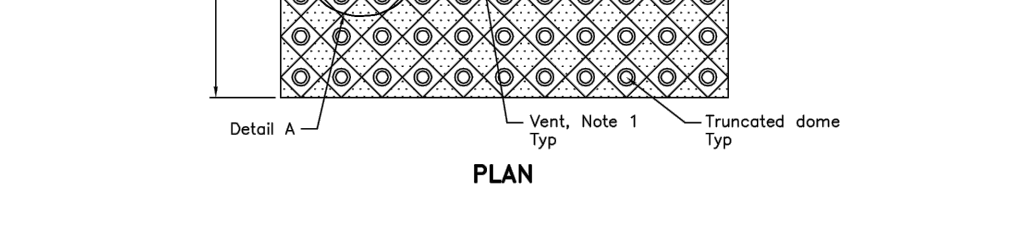
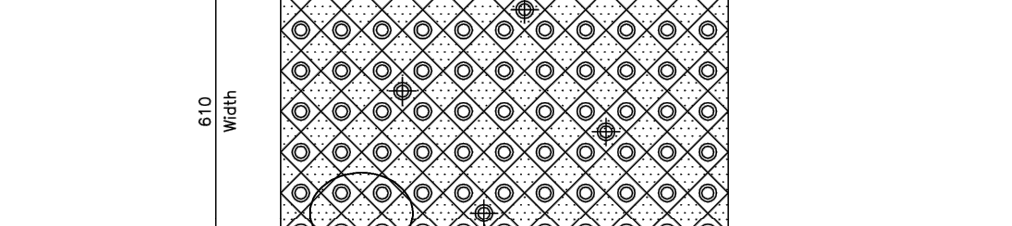
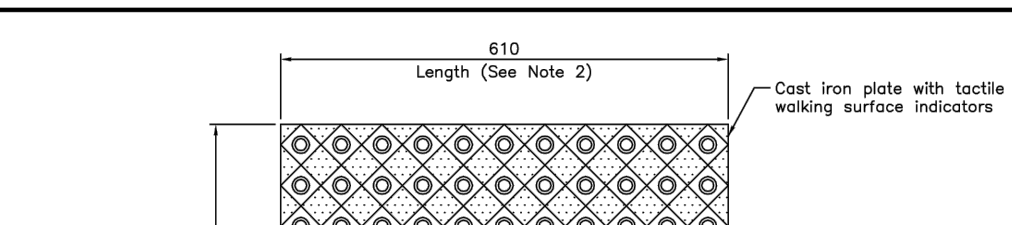
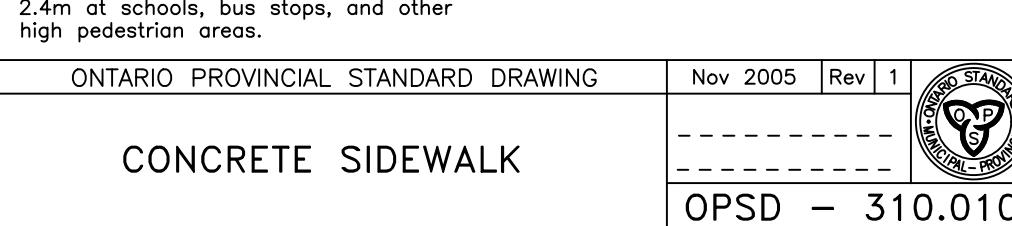
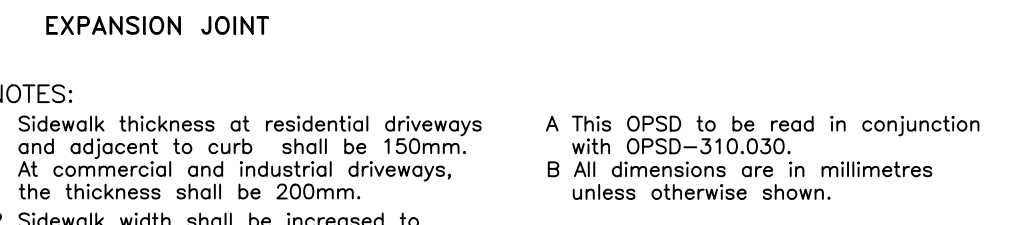
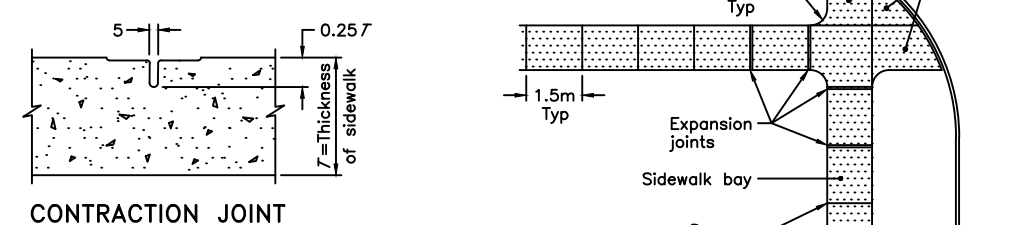
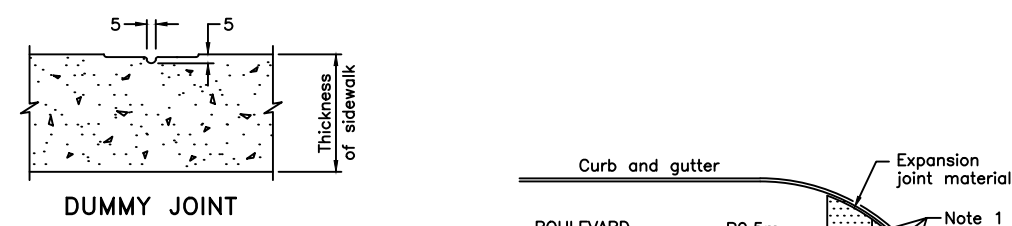
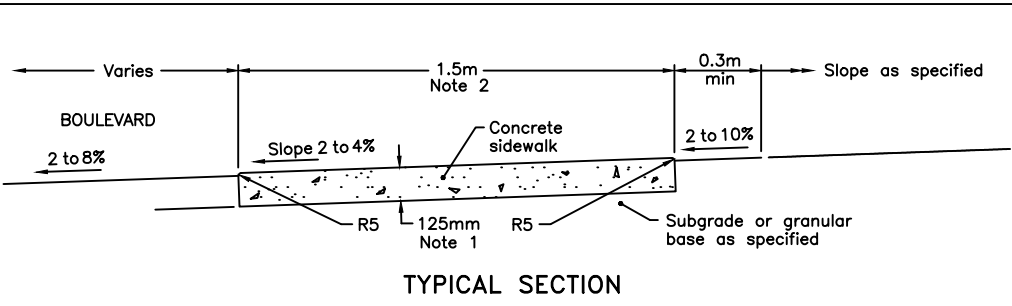
1. REINSTATE ROADS TO PREVIOUS CONDITION OR BETTER. MINIMUM 40mm HL3, 100mm HL4, 150mm GRANULAR 'A' AND 500mm GRANULAR 'B'
2. CONTRACTOR TO RESTORE DRIVEWAYS AND BOULEVARD IN AREAS DISTURBED BY CONSTRUCTION TO EQUAL OR BETTER CONDITIONS.
3. MINIMUM GRAVEL DRIVEWAY RESTORATION TO BE 150mm, GRANULAR 'A'. ASPHALT DRIVEWAY RESTORATION TO BE 50mm OF HL3, AND 200mm GRANULAR 'A'
4. ALL GRASSSED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 200mm DEPTH TOPSOIL AND SOD. MAINTAIN UNTIL ESTABLISHED.
5. ALL RESTORATION WORK TO BE COMPLETED TO THE SATISFACTION OF THE ENGINEER.



NOTE: SEWER PIPES TO BE INSULATED WHERE COVER IS LESS THAN 1.5m.

PIPE INSULATION DETAIL

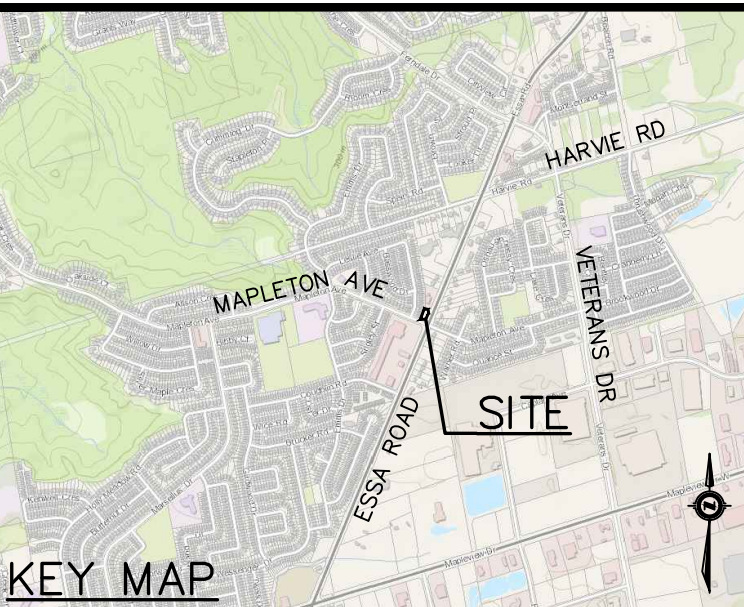
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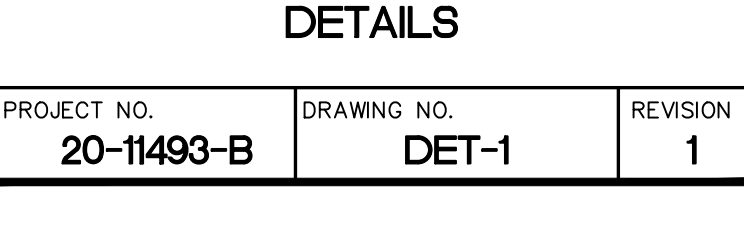
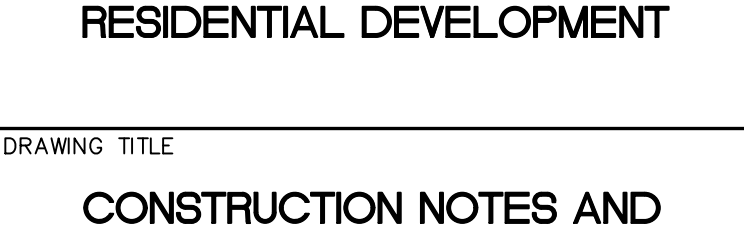
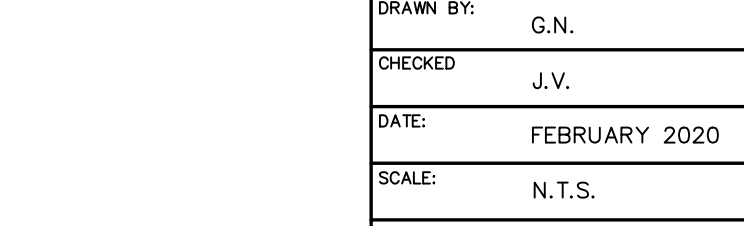
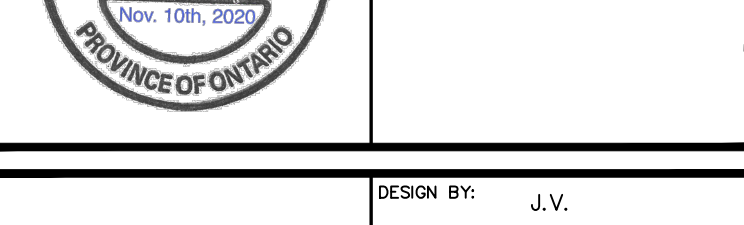
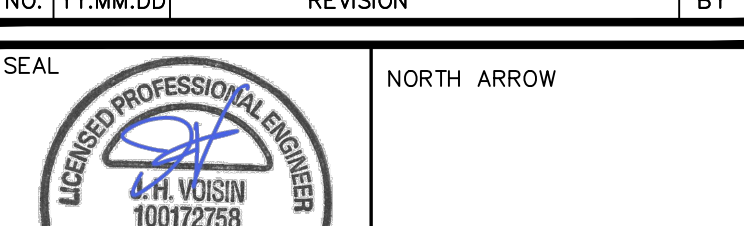
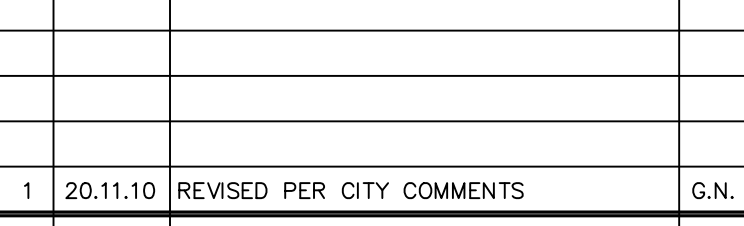
The position of existing above ground and underground utilities and facilities are not necessarily shown on the drawings, and where shown, the accuracy of the position of such utilities and facilities is not guaranteed. Before starting work, the contractor shall confirm the exact location of all existing utilities and facilities, and shall assume all liability for damage to them

Drawings shall not be used for construction unless sealed and signed. All work to be performed in accordance with the Occupational Health & Safety Act 1990.

Any errors and/or omissions shall be reported to Pinestone Engineering Ltd. without delay.



KEY MAP



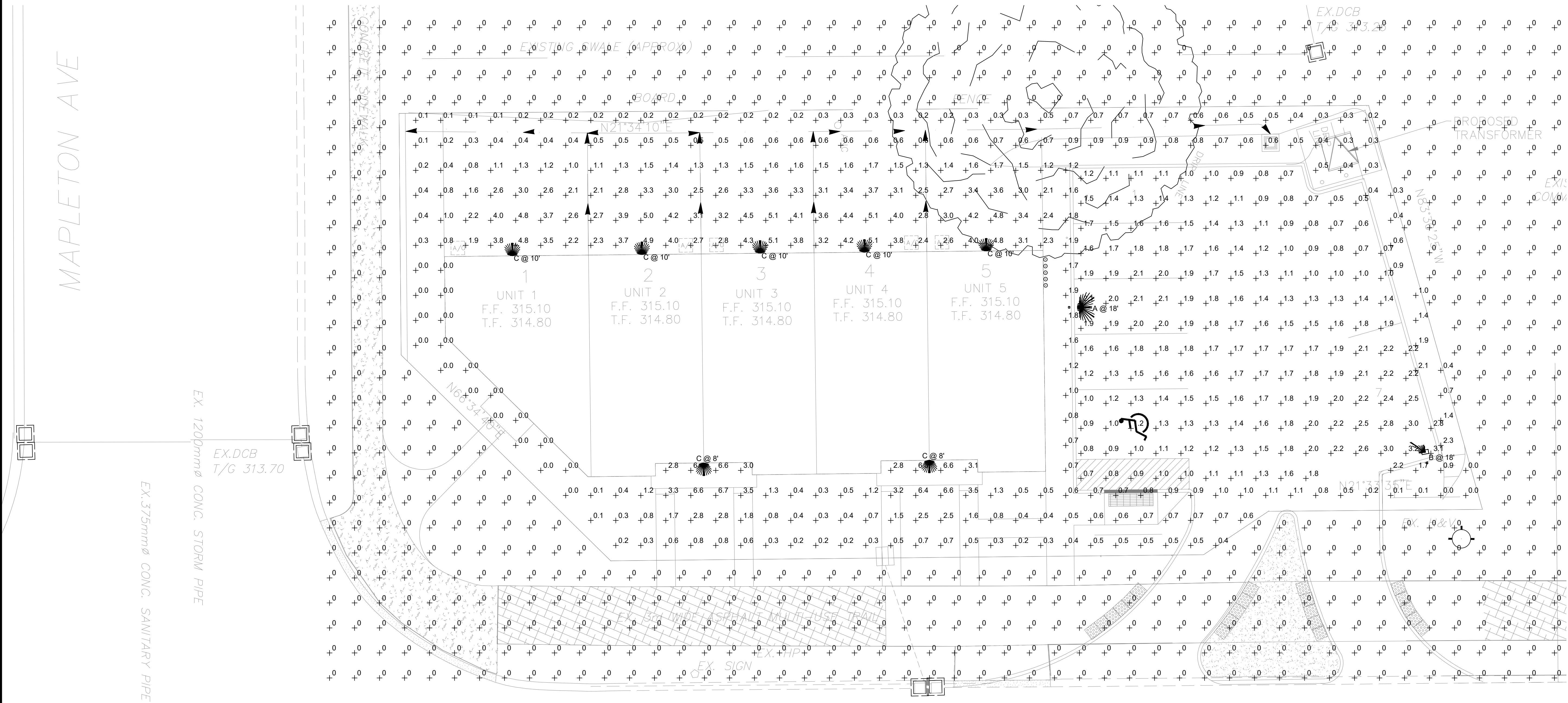
Drawing Notes
ALL PHOTOMETRIC VALUES IN FOOTCANDLES (FC)
FIXTURE TYPE AND MOUNTING HEIGHT SHOWN ADJACENT FIXTURE
ALL FIXTURES ARE DARK SKY COMPLIANT

Light Fixture Schedule					
Label	Quantity	Manufacturer	Catalog Number	Lamp	Wattage
A	1	Lithonia Lighting	DSX0 LED P1 40K T4M MVOLT	LED	38
B	1	Lithonia Lighting	DSX0 LED P1 40K RCCO MVOLT	LED	38
C	7	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VW	LED	10

Photometric Data		
Location	Parking	
Average	1.5	fc
Maximum	3.2	fc
Minimum	0.5	fc
Max/Min	6.4:1	
Average/Min	3.0:1	

Photometric Data		
Location	Site	
Average	1.5	fc
Maximum	6.7	fc
Minimum	0	fc
Max/Min	N/A	
Average/Min	N/A	

Photometric Data		
Location	Spill	
Average	0	fc
Maximum	0	fc
Minimum	0	fc
Max/Min	N/A	
Average/Min	N/A	

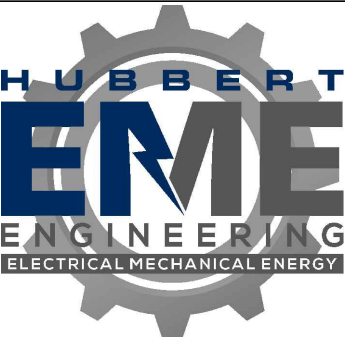
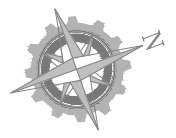


OCT 30/20	-	ISSUED FOR PERMIT	JG
DATE	MO	DESCRIPTION	BY

MARK VOID ALL PRINTS DATED
PREVIOUS TO FINAL DATE ABOVE

CONTRACTOR MUST CHECK AND VERIFY ALL
DIMENSIONS AND CONDITIONS IN THE FIELD AND
REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR
TO PROCEEDING WITH WORK.

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DRAWING TITLE:

SITE LIGHTING PLAN

DRAWN BY: JG	CHECKED BY: CL	SCALE: 1:100
DATE: OCT/2020	PROJECT NUMBER: 20-5978	DRAWING NUMBER: E-101