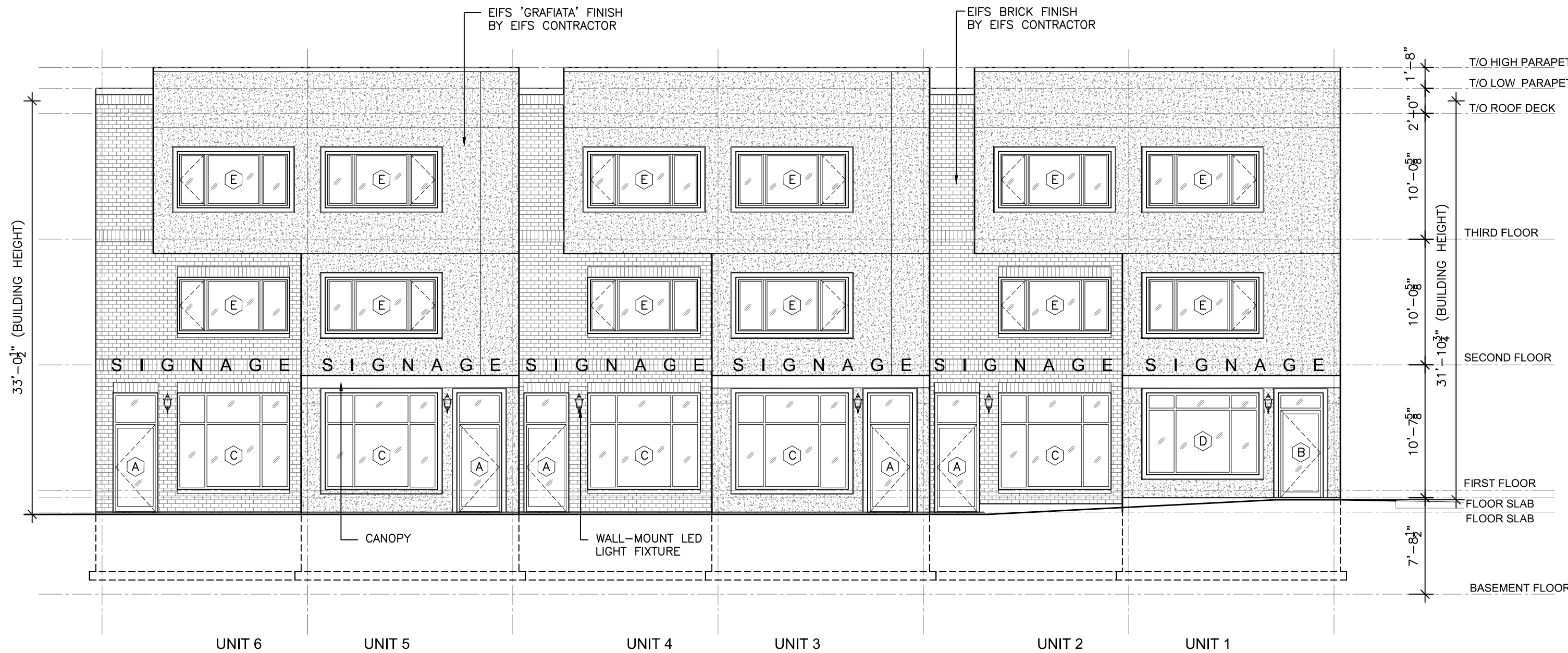
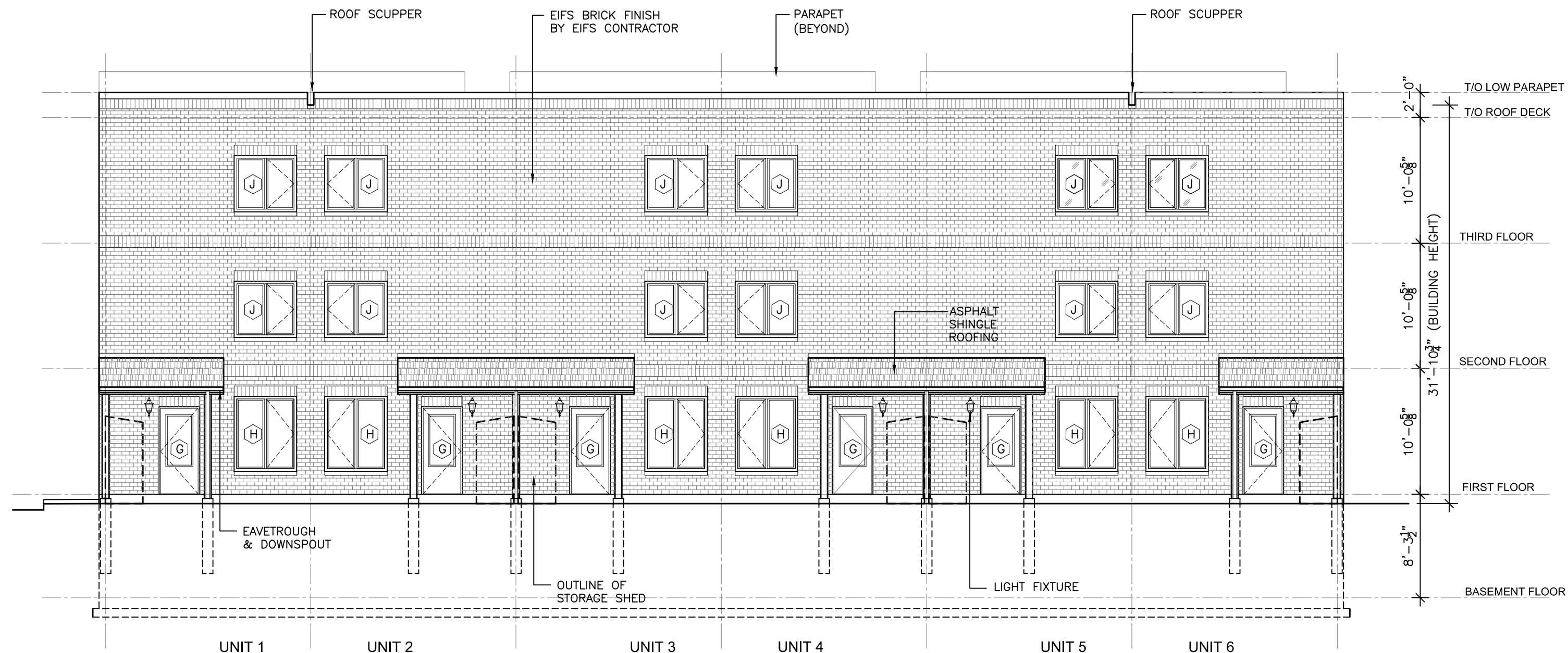
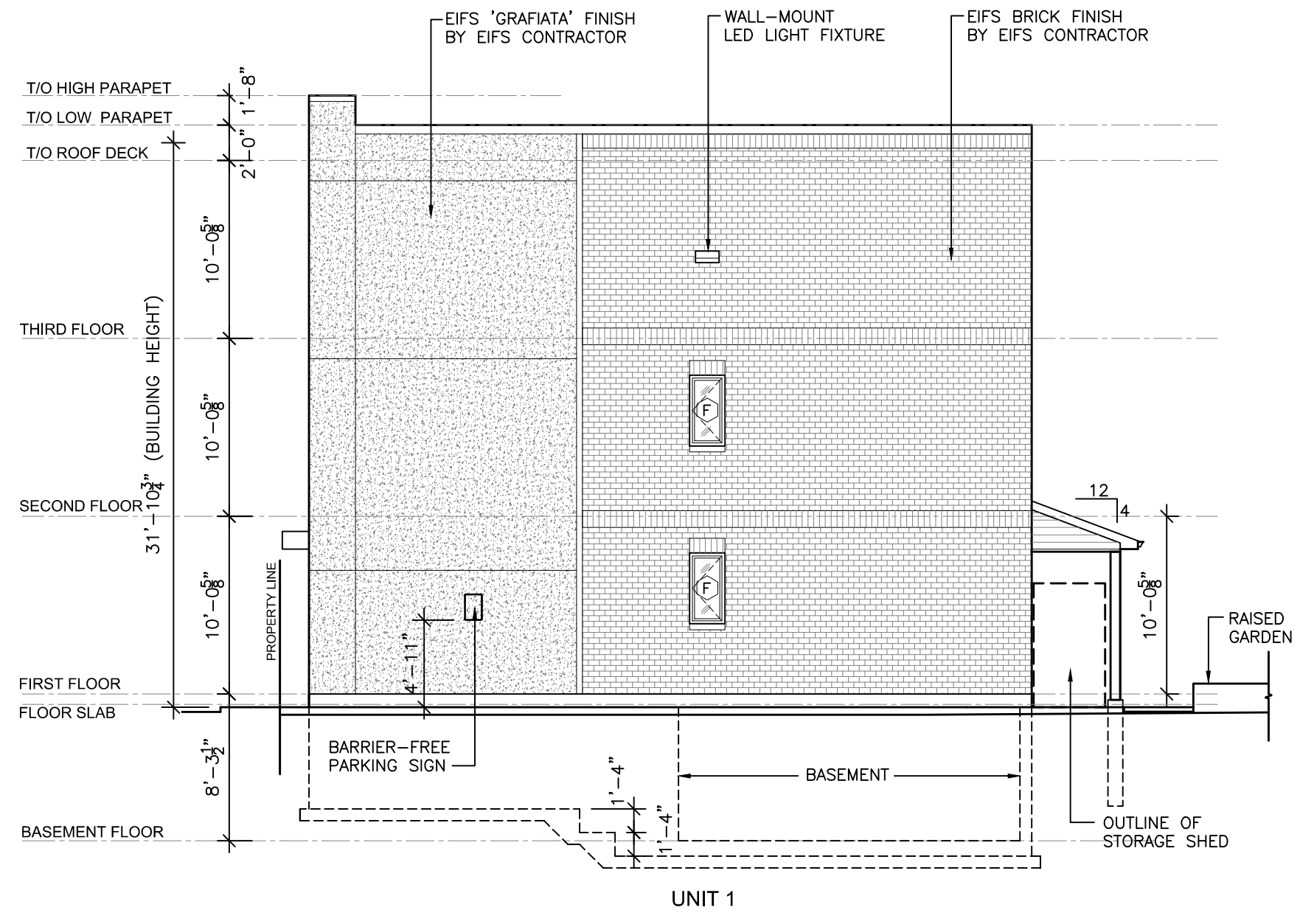




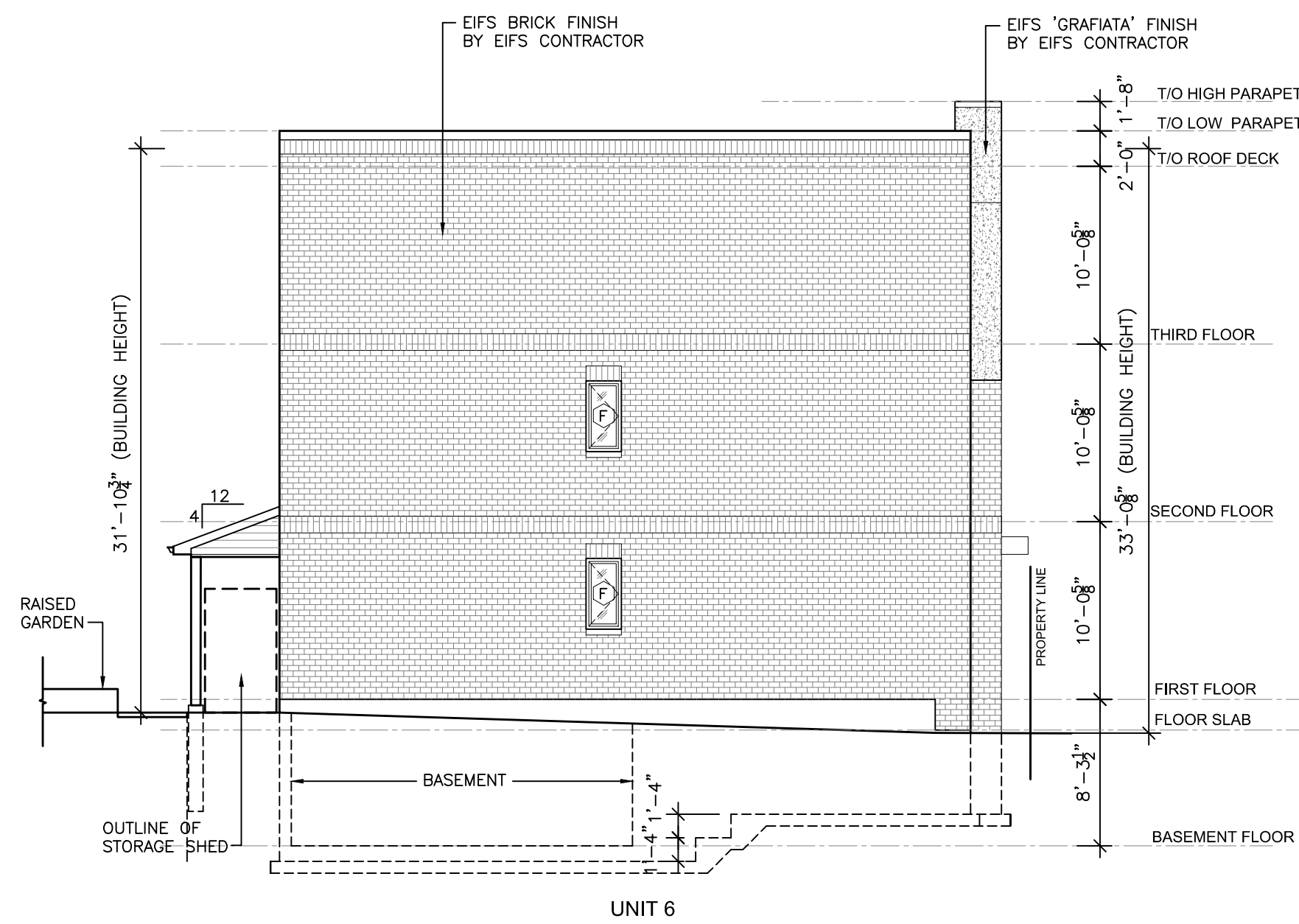
FRONT (NORTH) ELEVATION
SCALE : 1/8" = 1'-0"



REAR (SOUTH) ELEVATION
SCALE : 1/8" = 1'-0"



SIDE (WEST) ELEVATION
SCALE : 1/8" = 1'-0"

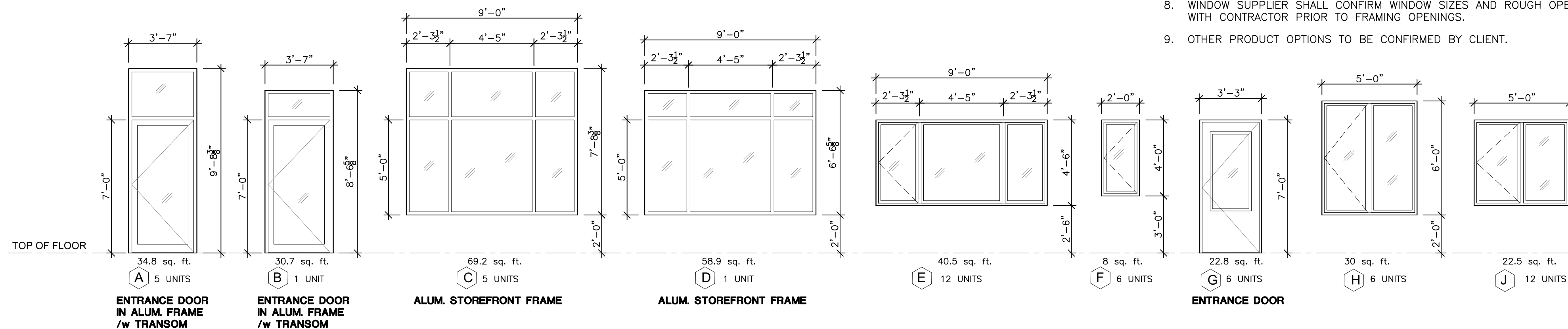


SIDE (EAST) ELEVATION
SCALE : 1/8" = 1'-0"

MATERIAL TAKEOFFS

CLADDING	NAME	AREA/ft2
STUCCO	EIFS- BRICK FINISH	--
STUCCO	EIFS- GRAFIATA FINISH	--

196 BURTON AVENUE - UNITS 1, 2, 3, 4, 5, 6										
Item	Ontario Building Code Data Matrix Parts 9						OBC Reference			
1	Project Description ■ New						■ Part 9			
2	Major Occupancy(s) C, D, E						9.10.2			
3	Building Area (m2)		Existing		New 373.87 Total 373.87		1.13.2			
4	Gross Area		Existing		New 1110.48 Total 1110.48		1.13.2			
5	Number Of Storeys Above grade 3				Below grade 1		1.13.2			
6	Height of Building THREE STOREY									
7	Number of Streets/Access Routes 1						9.10.20			
8	Building Classification GROUP C - RESIDENTIAL						9.10.2			
9	Barrier-free Design ■ Yes (D, E OCCUPANCY) ■ No (C OCCUPANCY)						9.5.2			
10	Required Fire Resistance Rating (FRR)	Vertical Assemblies			Listed Design No. or Description (SB-3)			9.10.8.14		
		FRR (Hours)								
		Party Walls 1 Hour		W13a						
		Demising Walls 1 Hour		W3a						
11	Required Fire Resistance Rating (FRR)	Horizontal Assemblies			Listed Design No. or Description (SB-3)			9.10.9		
		FRR (Hours)								
		Floors 3/4 Hours (D or E)			OBC SB-3 F8d			FLOOR/CEILING OVER D or E ONLY		
		Roof 0 Hours			N/A					
		FRR of Supporting Members			Listed Design No. Or Description (SB-3)					
		Floors 3/4 Hours			W13a SB-2			SB-2 TABLES FOR EXTERIOR WALLS		
		Roof 0 Hours			N/A					
12	Spatial Separation-Construction Of Exterior Walls						9.10.15			
	Wall	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Constr. Nonc. Cladding	Non-Comb. Const.
	North	N/A							YES	
	East	116.33	3.1		10.2	2.0	1	SB-2		YES
	West	116.58	22.0		100	2.0	0		YES	
	South	48.55	5.2		45.4	18.4	3/4	SB-2	YES	



WINDOW & DOOR ELEVATIONS

RATIO OF FENESTRATION TO WALL AREA			
UNIT	GROSS PERIPHERAL WALL AREA	GROSS FENESTRATION AREA	RATIO (%)
1	3697.5 sq. ft. (343.51 m2)	284.4 sq. ft. (26.42 m2)	7.7%
2	3790.8 sq. ft. (352.17 m2)	282.8 sq. ft. (26.27 m2)	7.5%
3	3884.3 sq. ft. (360.86 m2)	282.8 sq. ft. (26.27 m2)	7.3%
4	3794.1 sq. ft. (352.48 m2)	282.8 sq. ft. (26.27 m2)	7.5%
5	3884.3 sq. ft. (360.86 m2)	282.8 sq. ft. (26.27 m2)	7.3%
6	3724.0 sq. ft. (345.97 m2)	298.8 sq. ft. (27.76 m2)	8.0%

WINDOW NOTES

- ALL WINDOWS SHALL MEET MINIMUM STANDARDS FOR AIR TIGHTNESS, WATER TIGHTNESS, WIND LOAD RESISTANCE AS PER CAN/CSA-A440S1.
- ALL WINDOWS ON MAIN FLOOR SHALL MEET MINIMUM STANDARDS FOR RESISTANCE TO FORCED ENTRY AS PER CAN/CSA-A440.
- ALL GLASS TO MEET OR EXCEED STANDARDS AS PER CAN/CGSB-12 & ASTM E2190 FOR TYPES OF GLASS AND STRUCTURAL DESIGN.
- PRODUCT TO BE AS SELECTED BY CLIENT. COLOURS AS SELECTED BY ARCHITECT.
- ALL GLAZING TO BE SEALED DOUBLE GLASS UNITS AND HAVE A MAXIMUM U-VALUE OF 0.28 (IP) OR ENERGY RATING OF 25.
- ALL OPERABLES TO RECEIVE MATCHING GLARE RESISTANT INSECT SCREEN.
- ALL HARDWARE SUPPLIED BY WINDOW MANUFACTURER. FINISH AS SELECTED BY CLIENT.
- WINDOW SUPPLIER SHALL CONFIRM WINDOW SIZES AND ROUGH OPENINGS WITH CONTRACTOR PRIOR TO FRAMING OPENINGS.
- OTHER PRODUCT OPTIONS TO BE CONFIRMED BY CLIENT.

ISM ARCHITECTS Inc.

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No.	ISSUE/REVISION	DATE
1	ISSUE FOR REVIEW	JUL 12 2019
2	TOWNHOUSE CONVERSION	AUG 06 2019
3	PRE-SPC SUBMISSION	AUG 22 2019
4	CHANGE TO UNITS	NOV 06 2019
5	SPC SUBMISSION	FEB 15 2019
6	REVISED AS PER SPC COMMENTS	MAY 07 2019



The enclosed drawings, specifications and schedule are the architect's design and shall be used in accordance with the conditions of the contract documents. The architect does not warrant or represent that the drawings, specifications and schedule are complete or that they conform to the requirements of the applicable building codes. The architect shall not be responsible for any errors or omissions in the drawings, specifications and schedule. The architect shall not be responsible for any delays or interruptions in the construction process. The architect shall not be responsible for any claims or damages arising from the use of the drawings, specifications and schedule. The architect shall not be responsible for any claims or damages arising from the use of the drawings, specifications and schedule.

ORIENTATION

CLIENT
655423 LTD.
DINO MELCHIOR
JOHN VELLINGA

PROJECT
6 LIVE/WORK
TOWNHOMES
196 BURTON AVENUE
BARRIE ON

PROJECT INFORMATION
PROJECT NO.: 184007
DRAWN BY: RCM
CHECKED BY: ISM
DATE: FEB 20 2019
SCALE: AS NOTED

DRAWING
ELEVATIONS

DRAWING NO.
A300