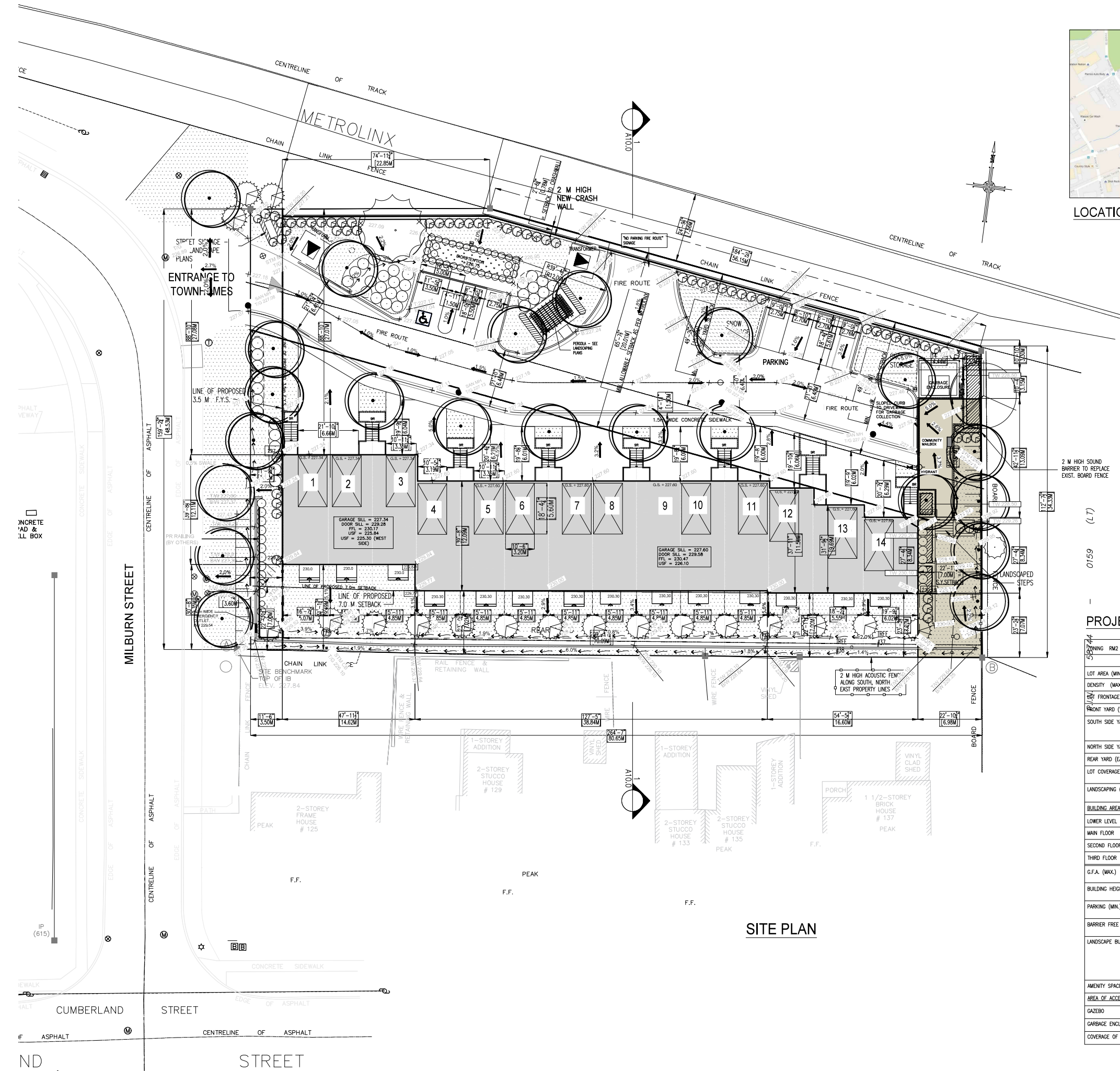
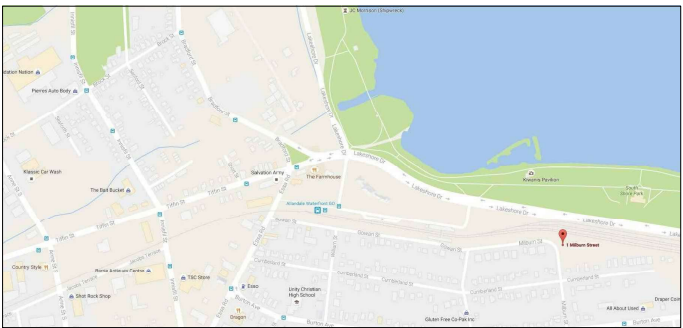




SITE PLAN



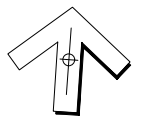
LOCATION MAP (N.T.S.)

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT NORTH



These architectural drawings are the property of Peter Higgins Architect Inc., 124 Merton Street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments, is granted to the client/agency responsible for the construction of the forementioned titled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES

PROJECT STATISTICS

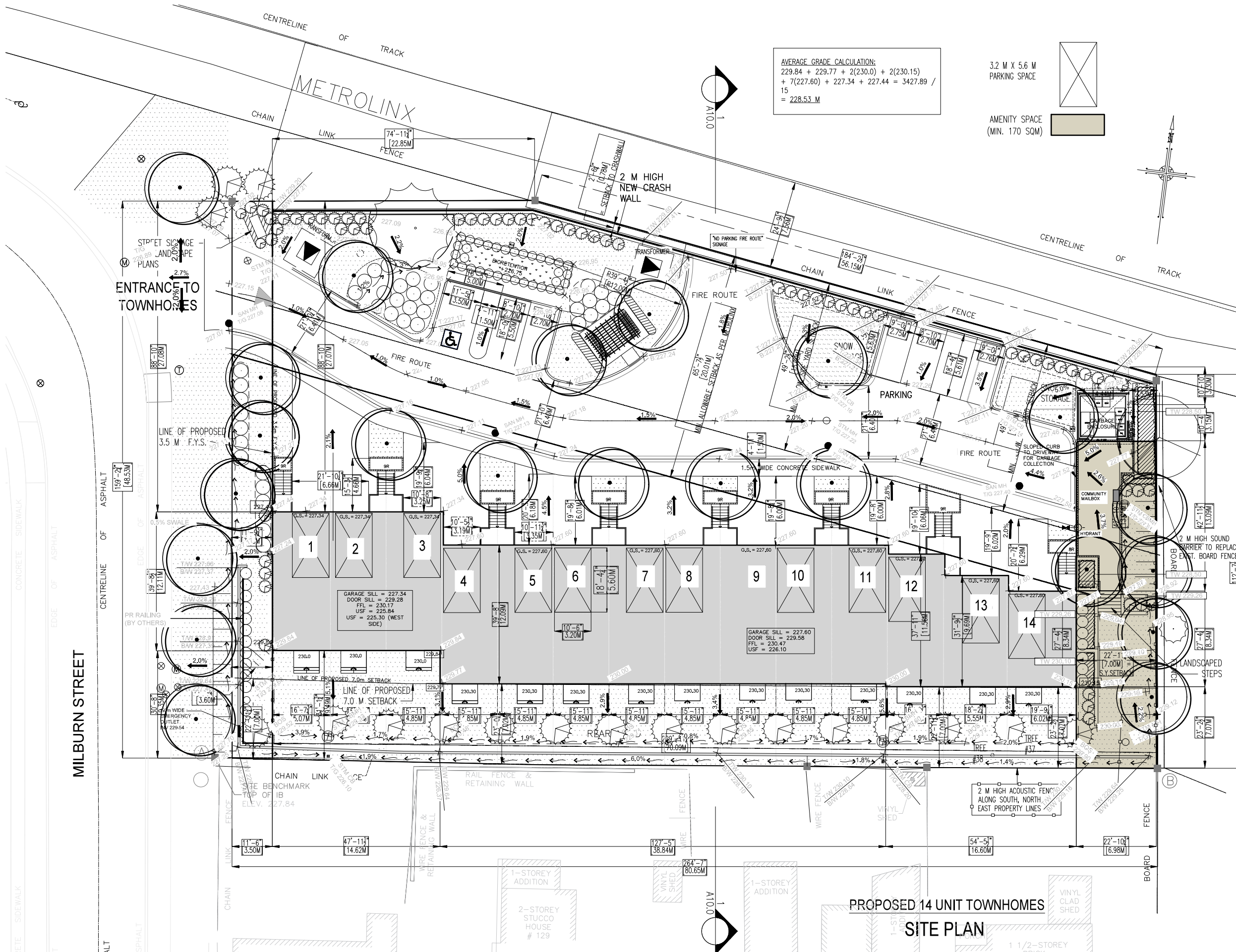
REQUIRED	PROPOSED
LOT AREA (MIN.)	720 m ²
DENSITY (MAX.)	18 UNITS
FRONTAGE (MIN.)	21 M
FRONT YARD (WEST) SETBACK (MIN.)	3.5 M (A5/17)
SOUTH SIDE YARD SETBACK (MIN.)	6.0 M (A5/17) 7.0 M FOR SECOND MEAN OF EGRESS
NORTH SIDE YARD SETBACK (MIN.)	15 M (SP-228)
REAR YARD (EAST) SETBACK (MIN.)	7 M
LOT COVERAGE (MAX.)	35% 810 m ² + 18.5 m ² + 14.0 m ² / 3554.8 = 23.7% (INCL. GARBAGE ENCLOSURE + GAZEBO)
LANDSCAPING (MIN.)	35% 1315 m ² / 3554.8 m ² = 37%
BUILDING AREA:	
LOWER LEVEL (INC. BASEMENT, GARAGE, UTILITY)	810.0 m ²
MAIN FLOOR	826.2 m ²
SECOND FLOOR	826.2 m ²
THIRD FLOOR	707.4 m ²
G.F.A. (MAX.)	69% (SP-228) 2359.8 m ² / 3554.8 = 66.4%
BUILDING HEIGHT (MAX.)	10 M 3 STOREYS (SP-228)
PARKING (MIN.)	1.5 SPACES/UNIT = 21 SPACES
BARRIER FREE (MIN.)	1 TYPE A SPACE (4.9 X 5.5 M)
LANDSCAPE BUFFER STRIP	2M HIGH TIGHT BOARD FENCE ALONG THE SOUTHERLY AND EASTERLY PROPERTY LINES (SP-228) 3 M LANDSCAPED BUFFER STRIP ALONG REAR PROPERTY LINE ABUTTING PARKING AREA
AMENITY SPACE(MIN.)	12 m ² PER UNIT = 168 m ²
AREA OF ACCESSORY STRUCTURES:	
GAZEBO	18.5 m ²
GARBAGE ENCLOSURE	14.0 m ²
COVERAGE OF ACCESSORY STRUCTURES	10% OF TOTAL LOT COVERAGE 84.25 m ² 32.5 m ² / 842.5 m ² = 3.9 %

14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION
NO.	DATE	DESCRIPTION
REVISIONS / ISSUE DATES		

PETER HIGGINS
ARCHITECT

124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-6229
FAX: (416) 481-6034
E-MAIL: phigginsarchitect@rogers.com

PROJECT:	PROPOSED DEVELOPMENT AT	
	1 MILBURN ST BARRIE, ONTARIO	
DRAWN BY:	DATE:	
L.B.M.	SEP 2016	
CHECKED BY:		
P.J.H.		
SCALE:	BCIN 4208 3486	
PROJECT NO:	DRAWING TITLE:	DRAWING NO:
16-049	CONTEXT PLAN + SITE STATS	A1.0



AVERAGE GRADE CALCULATION:
 $229.84 + 229.77 + 2(230.0) + 2(230.15)$
 $+ 7(227.60) + 227.34 + 227.44 = 3427.89 / 15$
 $= 228.53 \text{ M}$

3.2 M X 5.6 M
PARKING SPACE

AMENITY SPACE
(MIN. 170 SQM)

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT NORTH

These architectural drawings are the property of Peter Higgins Architect Inc., 124 Merton Street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the forementioned project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc. SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES

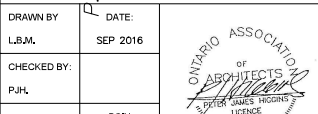
NO.	DATE	DESCRIPTION
14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION

PETER HIGGINS
ARCHITECT
124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-4229
FAX: (416) 481-4084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: PROPOSED DEVELOPMENT AT
1 MILBURN ST
BARRIE, ONTARIO

DRAWN BY: L.B.M.
CHECKED BY: P.J.H.
SCALE: 1:150
PROJECT NO: 16-033

DATE: SEP 2016
BCIN: 4208 3486
DRAWING TITLE: SITE PLAN
DRAWING NO: A1.0 (a)



PROPOSED 14 UNIT TOWNHOMES
SITE PLAN

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT
NORTH

These architectural drawings are the property of Peter Higgins Architect Inc., 124 merton Street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the forementioned titled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES



NORTH ELEVATION

GENERAL CONSTRUCTION NOTES- TYPICAL UNIT:

NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

FOOTINGS AND FOUNDATIONS (1) FOOTINGS (2) EXCAVATION (3) FOUNDATION (4) STEP FOOTINGS (5) KEEPING TILES (6) FOUNDATION WALL (7) INSULATED FOUNDATION WALL (8) FOUNDATION BACKFILLING	TYPICAL INTERIOR (23) SHOWER / LAUNDRY MACHINE FLOOR PAN (24) BATHUB AND SHOWER WALL (25) ACoustICAL TREATMENT (26) ACoustICAL TREATMENT (MECH. ROOM) (27) DOORS (28) MILLWORK (29) PAINTING (30) DRYWALL (31) RESIDENTIAL - GUARD DESIGN LOADS (32) STAIRS (33) INTERIOR HANDRAILS TO CONFIRM WITH O.B.C. 9.2.7	GARAGE (34) ACoustIGAL TREATMENT (35) GAS AND EXHAUST FUMES PROTECTION (36) INSULATED INTERIOR WALL (37) INSULATED FLOOR ASSEMBLY (ABOVE)
TYPICAL ENVELOPE (38) FLASHING (39) ROOF CONSTRUCTION - TRUSSES (40) DESIGN LOADS (41) FLAT INSULATED ROOF (42) FLAT INSULATED ROOF (43) FLAT ROOF VENTILATION (44) EAVESTROUGH / DOWNPIPES (45) SKYLIGHT (FLAT ROOFS) (46) MASONRY VENEER EXTERIOR WALL (47) PANELLED EXTERIOR WALL (48) INSULATED FLOOR ASSEMBLY		
MECHANICAL ROOM DOOR XX - INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER XX - ELECTRIC FLOOR WARMING UNDER TILED AREAS GARAGE / UNIT DOOR XX - STEEL INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER		

NOTE:
ALIGN HEADS OF WINDOWS & DOORS UNLESS OTHERWISE NOTED ON ALL ELEVATIONS/ SECTIONS/ PLANS. ADJUST THE SILL HEIGHTS ACCORDINGLY

NOTE:
WINDOW DIMENSIONS REFER TO FRAME SIZES

NOTE:
COPPER / LEAD COATED (TO BE DETERMINED)
DOWN PIPES- LOCATION TO BE CONFIRMED

NOTE:
- ANY DIMENSION NOTED ON THE ELEVATIONS IS FINISHED.

NOTE:
ENSURE ADEQUATE ROOF SEPARATION
TO ALLOW FOR FASCIA AND EAVES TROUGH @ LOWER ROOF.

*NOTE:
FINAL KNEE WALL HEIGHT TO BE CONFIRMED BY TRUSS DESIGNER
VERSUS HEEL DETAIL (TYPICAL)

NOTE:
PROVIDE ACoustICAL INSULATION FOR ALL BEDROOM AND BATHROOM WALLS TYP. / LAUNDRY/MECHANICAL ROOMS WALL & CEILING

14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION
NO.	DATE	DESCRIPTION
REVISIONS / ISSUE DATES		

HIGGINS

PETER HIGGINS
ARCHITECT
124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-6229
FAX: (416) 481-8084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: PROPOSED DEVELOPMENT AT
1 MILBURN ST
BARRIE, ONTARIO

DRAWN BY L.B.M./ S.A.	DATE: SEP 2016
CHECKED BY: P.J.H.	
SCALE: 1:100	BCIN 4208 3486
PROJECT NO: 16-033	DRAWING TITLE: NORTH ELEVATION
	DRAWING NO: A-12.0

ONTARIO ASSOCIATION
OF
ARCHITECTS
PETER JAMES HIGGINS
LICENSE
4308

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT
NORTH

These architectural drawings are the property of Peter Higgins Architect Inc., 124 Merton Street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the forementioned titled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES



NORTH ELEVATION (PART 1 OF 2)

AVERAGE GRADE CALCULATION:
 $227.44 + 229.53 + 229.43 + 230.10 + 227.75 / 5$
 $= 228.85 \text{ M}$

GENERAL CONSTRUCTION NOTES- TYPICAL UNIT:
NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

FOOTINGS AND FOUNDATIONS	TYPICAL INTERIOR	GARAGE
1 FOOTINGS 2 EXCAVATION 3 FOUNDATION 4 STEP FOOTINGS 5 KEEPING TILES 6 FOUNDATION WALL 7 INSULATED FOUNDATION WALL 8 FOUNDATION BACKFILLING	9 SHOWER / LAUNDRY MACHINE FLOOR PAN 10 BATHUB AND SHOWER WALL 11 ACOUSTICAL TREATMENT 12 ACOUSTICAL TREATMENT (MECH. ROOM) 13 DOORS 14 MILLWORK 15 PAINTING 16 DRYWALL 17 RESIDENTIAL - GUARD DESIGN LOADS 18 STAIRS 19 INTERIOR HANDRAILS TO CONFIRM WITH O.B.C. 9.2.1	20 ACOUSTICAL TREATMENT 21 GAS AND EXHAUST FUMES PROTECTION 22 INSULATED INTERIOR WALL 23 INSULATED FLOOR ASSEMBLY (ABOVE)
TYPICAL ENVELOPE		
24 FLASHING 25 ROOF CONSTRUCTION - TRUSSES 26 DESIGN LOADS 27 FLAT INSULATED ROOF 28 FLAT INSULATED ROOF 29 FLAT ROOF VENTILATION 30 EAVESTROUGH / DOWNPIPES 31 SKYLIGHT (FLAT ROOFS) 32 MASONRY VENEER EXTERIOR WALL 33 PANELLED EXTERIOR WALL 34 INSULATED FLOOR ASSEMBLY		
MECHANICAL ROOM DOOR	GARAGE / UNIT DOOR	
XX - INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER XX - ELECTRIC FLOOR WARMING UNDER TILED AREAS	XX - STEEL INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER	

- NOTE:
ALIGN HEADS OF WINDOWS & DOORS UNLESS OTHERWISE NOTED ON ALL ELEVATIONS/ SECTIONS/ PLANS. ADJUST THE SILL HEIGHTS ACCORDINGLY

NOTE:
WINDOW DIMENSIONS REFER TO FRAME SIZES
- NOTE:
COPPER / LEAD COATED (TO BE DETERMINED)
DOWN PIPES- LOCATION TO BE CONFIRMED
- NOTE:
- ANY DIMENSION NOTED ON THE ELEVATIONS IS FINISHED.
- NOTE:
ENSURE ADEQUATE ROOF SEPARATION
TO ALLOW FOR FASCIA AND EAVES TROUGH @ LOWER ROOF.
- *NOTE:
FINAL KNEE WALL HEIGHT TO BE CONFIRMED BY TRUSS DESIGNER
VERSUS HEEL DETAIL (TYPICAL)
- NOTE:
PROVIDE ACOUSTICAL INSULATION FOR ALL BEDROOM AND BATHROOM WALLS TYP. / LAUNDRY/MECHANICAL ROOMS WALL & CEILING

14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION
NO.	DATE	DESCRIPTION
REVISIONS / ISSUE DATES		

HIGGINS

PETER HIGGINS
ARCHITECT

124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-8229
FAX: (416) 481-8084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: PROPOSED DEVELOPMENT AT

1 MILBURN ST
BARRIE, ONTARIO

DRAWN BY: L.B.M./S.A.	DATE: SEP 2016
CHECKED BY: P.J.H.	
SCALE: 3/16" = 1'-0"	BCIN 4208 3486
PROJECT NO: 16-033	DRAWING TITLE: NORTH ELEVATION (PART 1 OF 2)
	DRAWING NO: A12.1

ONTARIO ASSOCIATION
OF
ARCHITECTS
PETER HIGGINS
LICENSE
4308

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

SEE DRAWING A-1 FOR
GENERAL AND CONSTRUCTION NOTES



NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

XX - STEEL INSULATED DOOR C/W WITH GAS AND FUMES STRIPPING AND SELF CLOSER

DRAWN BY: L.B.M./ S.A	DATE: SEP 2016	
CHECKED BY: PJH.		
SCALE: 3/16" = 1'-0"	BCIN 4208 3486	
PROJECT NO: 16-033	DRAWING TITLE: NORTH ELEVATION (PART 2 OF 2)	

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT NORTH

These architectural drawings are the property of Peter Higgins Architect Inc., 124 merton Street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the forementioned tiled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES



AVERAGE GRADE CALCULATION:
227.44 + 229.53 + 229.43 + 230.10 + 227.75 / 5
= 228.85 M

SOUTH ELEVATION

- NOTE:
ALIGN HEADS OF WINDOWS & DOORS UNLESS OTHERWISE NOTED ON ALL ELEVATIONS/ SECTIONS/ PLANS. ADJUST THE SILL HEIGHTS ACCORDINGLY

NOTE:
WINDOW DIMENSIONS REFER TO FRAME SIZES
- NOTE:
ARCH. TO CONFIRM FINAL WINDOW SIZES ONCE SHOP DRAWINGS HAVE BEEN REVIEWED
- *NOTE:
FINAL KNEE WALL HEIGHT TO BE CONFIRMED BY TRUSS DESIGNER VERSUS HEEL DETAIL (TYPICAL)
- NOTE:
COPPER / LEAD COATED (TO BE DETERMINED)
DOWN PIPES- LOCATION TO BE CONFIRMED
- NOTE:
- ANY DIMENSION NOTED ON THE ELEVATIONS IS FINISHED.
- NOTE:
ENSURE ADEQUATE ROOF SEPARATION TO ALLOW FOR FASCIA AND EAVES TROUGH @ LOWER ROOF.
- NOTE:
PROVIDE ACOUSTICAL INSULATION FOR ALL BEDROOM AND BATHROOM WALLS TYP. / LAUNDRY/MECHANICAL ROOM'S WALL & CEILING

GENERAL CONSTRUCTION NOTES- TYPICAL UNIT:

NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

FOOTINGS AND FOUNDATIONS		TYPICAL INTERIOR		GARAGE	
(1) FOOTINGS (2) EXCAVATION (3) FOUNDATION (4) STEP FOOTINGS (5) KEEPING TILES	(6) FOUNDATION WALL (7) INSULATED FOUNDATION WALL (8) FOUNDATION BACKFILLING	(9) SHOWER / LAUNDRY MACHINE FLOOR PAN (10) BATHTUB AND SHOWER WALL (11) ACOUSTICAL TREATMENT (12) ACOUSTICAL TREATMENT (MECH. ROOM) (13) DOORS (14) MILLWORK	(15) PAINTING (16) DRYWALL (17) RESIDENTIAL - GUARD DESIGN LOADS (18) STAIRS INTERIOR HANDRAILS TO CONFIRM WITH O.B.C 9.8.1	(19) ACOUSTICAL TREATMENT (20) GAS AND EXHAUST FUMES PROTECTION (21) INSULATED INTERIOR WALL (22) INSULATED FLOOR ASSEMBLY (ABOVE)	
TYPICAL ENVELOPE					
(23) FLASHING (24) ROOF CONSTRUCTION - TRUSSES (25) DESIGN LOADS:	(26) FLAT INSULATED ROOF (27) FLAT INSULATED ROOF (28) FLAT ROOF VENTILATION (29) EAVESTROUGH / DOWNPIPES	(30) SKYLIGHT (FLAT ROOFS) (31) MASONRY VENEER EXTERIOR WALL (32) PANELLED EXTERIOR WALL (33) INSULATED FLOOR ASSEMBLY			

MECHANICAL ROOM DOOR		GARAGE / UNIT DOOR	
XX* - INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER	XX* - STEEL INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER		
TILED AREA			
XX* - ELECTRIC FLOOR WARMING UNDER TILED AREAS			

NO.	DATE	DESCRIPTION
14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION
REVISIONS / ISSUE DATES		

PETER HIGGINS
ARCHITECT

124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-6229
FAX: (416) 481-8084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: PROPOSED DEVELOPMENT AT

1 MILBURN ST
BARRIE, ONTARIO

DRAWN BY: L.B.M./S.A.
CHECKED BY: P.J.H.
SCALE: 1:100
PROJECT NO: 16-033

DATE: SEP 2016
BCIN 4208 3486
DRAWING TITLE: SOUTH ELEVATION

DATE: SEP 2016
BCIN 4208 3486
DRAWING NO: A-13.0

ONTARIO ASSOCIATION OF ARCHITECTS
OF
PETER HIGGINS
LICENCE 4308

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT
NORTH

These architectural drawings are the property of Peter Higgins Architect Inc, 124 merton Street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the forementioned titled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES



SOUTH ELEVATION (PART 1 OF 2)

GENERAL CONSTRUCTION NOTES- TYPICAL UNIT:

NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

FOOTINGS AND FOUNDATIONS	TYPICAL INTERIOR	GARAGE
1 FOOTINGS 2 EXCAVATION 3 FOUNDATION 4 STEP FOOTINGS 5 KEEPING TILES 6 FOUNDATION WALL 7 INSULATED FOUNDATION WALL 8 FOUNDATION BACKFILLING	9 SHOWER / LAUNDRY MACHINE FLOOR PAN 10 BATHUB AND SHOWER WALL 11 ACOUSTICAL TREATMENT 12 ACOUSTICAL TREATMENT (MECH. ROOM) 13 DOORS 14 MILLWORK 15 PAINTING 16 DRYWALL 17 RESIDENTIAL - GUARD DESIGN LOADS 18 STAIRS 19 INTERIOR HANDRAILS TO CONFIRM WITH O.B.C. 9.2.1	20 ACOUSTICAL TREATMENT 21 GAS AND EXHAUST FUMES PROTECTION 22 INSULATED INTERIOR WALL 23 INSULATED FLOOR ASSEMBLY (ABOVE)
TYPICAL ENVELOPE		
24 FLASHING 25 ROOF CONSTRUCTION - TRUSSES 26 DESIGN LOADS 27 FLAT INSULATED ROOF 28 FLAT INSULATED ROOF 29 FLAT ROOF VENTILATION 30 EAVESTROUGH / DOWNPIPES 31 SKYLIGHT (FLAT ROOFS) 32 MASONRY VENEER EXTERIOR WALL 33 PANELLLED EXTERIOR WALL 34 INSULATED FLOOR ASSEMBLY		
MECHANICAL ROOM DOOR	GARAGE / UNIT DOOR	
XX - INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER XX - ELECTRIC FLOOR WARMING UNDER TILED AREAS	XX - STEEL INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER	

14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION
NO.	DATE	DESCRIPTION
REVISIONS / ISSUE DATES		

HIGGINS

PETER HIGGINS
ARCHITECT

124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-8229
FAX: (416) 481-8084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: PROPOSED DEVELOPMENT AT

1 MILBURN ST
BARRIE, ONTARIO

DRAWN BY: L.B.M./S.A.	DATE: SEP 2016
CHECKED BY: P.J.H.	
SCALE: 3/16" = 1'-0"	BCIN 4208 3486
PROJECT NO: 16-033	DRAWING TITLE: SOUTH ELEVATION (PART 1 OF 2)

ONTARIO ASSOCIATION
OF
ARCHITECTS
PETER JAMES HIGGINS
LICENSE
4308

DRAWING NO: A-13.1

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

SEE DRAWING A-1 FOR
GENERAL AND CONSTRUCTION NOTES



<u>NOTE:</u> ALIGN HEADS OF WINDOWS & DOORS UNLESS OTHERWISE NOTED ON ALL ELEVATIONS/ SECTIONS/ PLANS. ADJUST THE SILL HEIGHTS ACCORDINGLY <u>NOTE:</u> WINDOW DIMENSIONS REFER TO FRAME SIZES	<u>NOTE:</u> COPPER / LEAD COATED (TO BE DETERMINED) DOWN PIPES- LOCATION TO BE CONFIRMED
<u>NOTE:</u> ARCH. TO CONFIRM FINAL WINDOW SIZES ONCE SHOP DRAWINGS HAVE BEEN REVIEWED	<u>NOTE:</u> - ANY DIMENSION NOTED ON THE ELEVATIONS IS FINISHED.
<u>*NOTE:</u> FINAL KNEE WALL HEIGHT TO BE CONFIRMED BY TRUSS DESIGNER VERSUS HEEL DETAIL (TYPICAL)	<u>NOTE:</u> PROVIDE ACOUSTICAL INSULATION FOR ALL BEDROOM AND BATHROOM WALLS TYP. / LAUNDRY/MECHANICAL ROOMS WALL & CEILING

NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

 HIGGINS	PETER HIGGINS ARCHITECT	
	124 MERTON STREET, SUITE 204 TORONTO, ONTARIO, M4S 2Z2 OFFICE: (416) 481-6229 FAX: (416) 481-9284 E-MAIL: phigginsarchitect@rogers.com	
PROJECT: PROPOSED DEVELOPMENT AT		
1 MILBURN ST BARRIE, ONTARIO		
DRAWN BY L.B.M./S.A	DATE: SEP 2016	
CHECKED BY: PJH.		
SCALE: 3/16" = 1'-0"	BCIN 4208 3486	
PROJECT NO: 16-033	DRAWING TITLE: SOUTH ELEVATION (PART 2 OF 2)	DRAWING NO: A-13.2

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

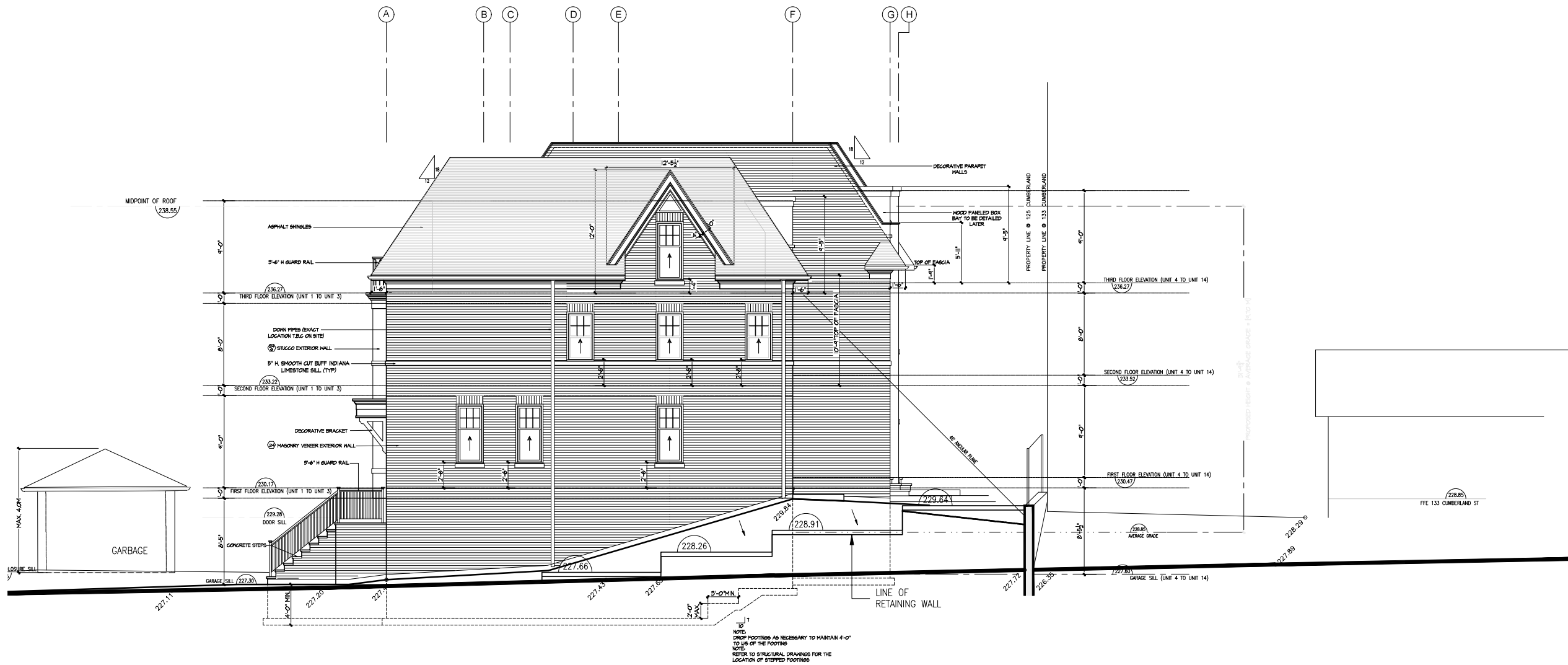
PROJECT NORTH

These architectural drawings are the property of Peter Higgins Architect Inc, 124 merton street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the forementioned titled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES



WEST ELEVATION

GENERAL CONSTRUCTION NOTES- TYPICAL UNIT:

NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

FOOTINGS AND FOUNDATIONS		TYPICAL INTERIOR		GARAGE	
1 FOOTINGS 2 EXCAVATION 3 FOUNDATION 4 STEP FOOTINGS 5 KEEPING TILES	6 FOUNDATION WALL 7 INSULATED FOUNDATION WALL 8 FOUNDATION BACKFILLING	9 SHOWER / LAUNDRY MACHINE FLOOR PAN 10 BATHTUB AND SHOWER WALL 11 ACOUSTICAL TREATMENT 12 ACOUSTICAL TREATMENT (MECH. ROOM) 13 DOORS 14 MILLWORK	15 PAINTING 16 DRYWALL 17 RESIDENTIAL - GUARD DESIGN LOADS 18 STAIRS 19 INTERIOR HANDRAILS TO CONFIRM WITH O.B.C 9.2.1	20 ACOUSTICAL TREATMENT 21 GAS AND EXHAUST FUMES PROTECTION 22 INSULATED INTERIOR WALL 23 INSULATED FLOOR ASSEMBLY (ABOVE)	
TYPICAL ENVELOPE		24 FLASHING 25 ROOF CONSTRUCTION - TRUSSES 26 DESIGN LOADS:	27 FLAT INSULATED ROOF 28 FLAT INSULATED ROOF 29 FLAT ROOF VENTILATION 30 EAVESTROUGH / DOWNPIPES	31 SKYLIGHT (FLAT ROOFS) 32 MASONRY VENEER EXTERIOR WALL 33 PANELLED EXTERIOR WALL 34 INSULATED FLOOR ASSEMBLY	

MECHANICAL ROOM DOOR		GARAGE / UNIT DOOR	
XX - INSULATED DOOR C/W WITH GAS AND FUMES STRIPPING AND SELF CLOSER		XX - STEEL INSULATED DOOR C/W WITH GAS AND FUMES STRIPPING AND SELF CLOSER	
TILED AREA			
XX - ELECTRIC FLOOR WARMING UNDER TILED AREAS			

NOTE: ALIGN HEADS OF WINDOWS & DOORS UNLESS OTHERWISE NOTED ON ALL ELEVATIONS/ SECTIONS/ PLANS. ADJUST THE SILL HEIGHTS ACCORDINGLY NOTE: WINDOW DIMENSIONS REFER TO FRAME SIZES	NOTE: COPPER / LEAD COATED (TO BE DETERMINED) DOWN PIPES- LOCATION TO BE CONFIRMED
NOTE: ARCH. TO CONFIRM FINAL WINDOW SIZES ONCE SHOP DRAWINGS HAVE BEEN REVIEWED	NOTE: - ANY DIMENSION NOTED ON THE ELEVATIONS IS FINISHED.
*NOTE: FINAL KNEE WALL HEIGHT TO BE CONFIRMED BY TRUSS DESIGNER VERSUS HEEL DETAIL (TYPICAL)	NOTE: ENSURE ADEQUATE ROOF SEPARATION TO ALLOW FOR FASCIA AND EAVES TROUGH @ LOWER ROOF.
	NOTE: PROVIDE ACOUSTICAL INSULATION FOR ALL BEDROOM AND BATHROOM WALLS TYP. / LAUNDRY/MECHANICAL ROOMS WALL & CEILING

14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION
NO.	DATE	DESCRIPTION
REVISIONS / ISSUE DATES		

HIGGINS

PETER HIGGINS
ARCHITECT

124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-6229
FAX: (416) 481-8084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: PROPOSED DEVELOPMENT AT

1 MILBURN ST
BARRIE, ONTARIO

DRAWN BY: L.B.M./S.A.	DATE: SEP 2016
CHECKED BY: P.J.H.	
SCALE: 3/16" = 1'-0"	BCIN 4208 3486

DRAWING TITLE:
WEST ELEVATION

DRAWING NO:
A-14.0

ONTARIO ASSOCIATION OF ARCHITECTS
OF
PETER HIGGINS
LICENSE
4308

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT NORTH

These architectural drawings are the property of Peter Higgins Architect Inc, 124 merton Street, Suite 204, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the forementioned titled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES

14	AUG 14,19	ISSUED FOR BUILDING PERMIT
13	FEB 11,19	REVISED FOR SPA-3RD
12	OCT 25,18	REVISED FOR SPA-3RD
11	SEP 5,18	REVISED FOR SPA-3RD
10	AUG 24,18	REVISED FOR SPA-3RD
9	APR 16,18	REVISED FOR SPA-2ND
8	FEB 14,18	REVISED FOR SPA
7	JAN 24,18	REVISED FOR SPA
6	NOV 16,17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19,16	ISSUED FOR PRECONSULTATION
1	SEP 15,16	ISSUED FOR DISCUSSION
NO.	DATE	DESCRIPTION
REVISIONS / ISSUE DATES		

HIGGINS

PETER HIGGINS
ARCHITECT

124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-6229
FAX: (416) 481-8084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: PROPOSED DEVELOPMENT AT

1 MILBURN ST
BARRIE, ONTARIO

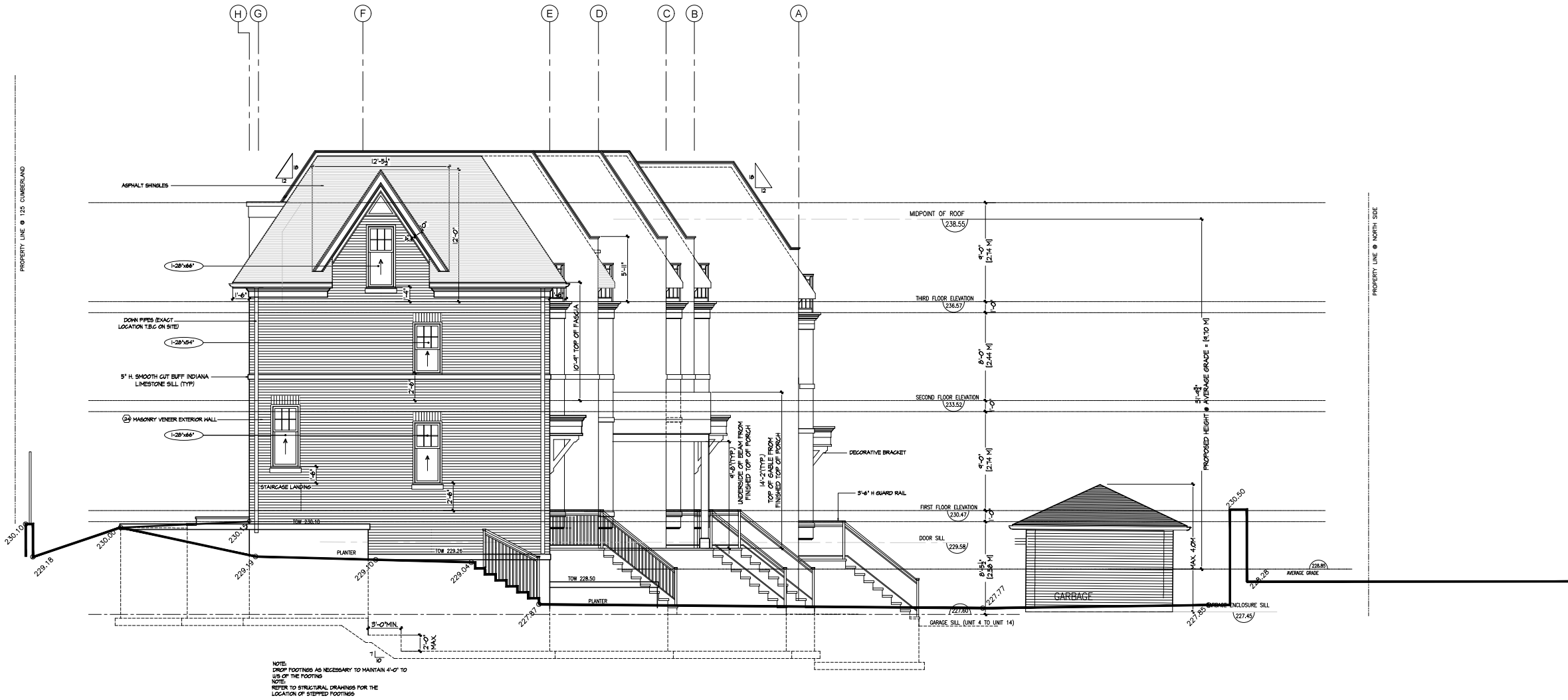
DRAWN BY: L.B.M./S.A.	DATE: SEP 2016
CHECKED BY: P.J.H.	
SCALE: 3/16" = 1'-0"	BCIN 4208 3486

PROJECT NO:
16-033

DRAWING TITLE:
EAST ELEVATION

DRAWING NO:
A-15.0

ONTARIO ASSOCIATION OF ARCHITECTS
OF
PETER HIGGINS
LICENSE
4308



EAST ELEVATION

GENERAL CONSTRUCTION NOTES- TYPICAL UNIT:

NOTE: FOR FURTHER INFORMATION PLEASE REFER TO GENERAL/CONSTRUCTION NOTES SHEET

FOOTINGS AND FOUNDATIONS

(1) FOOTINGS
(2) EXCAVATION
(3) FOUNDATION
(4) STEP FOOTINGS
(5) KEEPING TILES
(6) FOUNDATION WALL
(7) INSULATED FOUNDATION WALL
(8) FOUNDATION BACKFILLING

TYPICAL INTERIOR

(23) SHOWER / LAUNDRY MACHINE FLOOR PAN
(24) BATHUB AND SHOWER WALL
(25) ACoustICAL TREATMENT
(26) ACoustICAL TREATMENT (MECH. ROOM)
(27) DOORS
(28) MILLWORK
(29) PAINTING
(30) DRYWALL
(31) RESIDENTIAL - GUARD DESIGN LOADS
(32) STAIRS
(33) INTERIOR HANDRAILS TO CONFIRM WITH O.B.C. 9.2.7

GARAGE

(34) ACoustICAL TREATMENT
(35) GAS AND EXHAUST FUMES PROTECTION
(36) INSULATED INTERIOR WALL
(37) INSULATED FLOOR ASSEMBLY (ABOVE)

TYPICAL ENVELOPE

(38) FLASHING
(39) ROOF CONSTRUCTION - TRUSSES
(40) DESIGN LOADS
(41) FLAT INSULATED ROOF
(42) FLAT INSULATED ROOF
(43) FLAT ROOF VENTILATION
(44) EAVESTROUGH / DOWNPIPES
(45) SKYLIGHT (FLAT ROOFS)
(46) MASONRY VENEER EXTERIOR WALL
(47) PANELLLED EXTERIOR WALL
(48) INSULATED FLOOR ASSEMBLY

MECHANICAL ROOM DOOR

XX - INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER

TILED AREA

XX - ELECTRIC FLOOR WARMING UNDER TILED AREAS

GARAGE / UNIT DOOR

XX - STEEL INSULATED DOOR C/M WITH GAS AND FUMES STRIPPING AND SELF CLOSER

NOTE:
ALIGN HEADS OF WINDOWS & DOORS UNLESS OTHERWISE NOTED ON ALL ELEVATIONS/ SECTIONS/ PLANS. ADJUST THE SILL HEIGHTS ACCORDINGLY
NOTE:
WINDOW DIMENSIONS REFER TO FRAME SIZES

NOTE:
ARCH. TO CONFIRM FINAL WINDOW SIZES ONCE SHOP DRAWINGS HAVE BEEN REVIEWED

*NOTE:
FINAL KNEE WALL HEIGHT TO BE CONFIRMED BY TRUSS DESIGNER VERSUS HEEL DETAIL (TYPICAL)

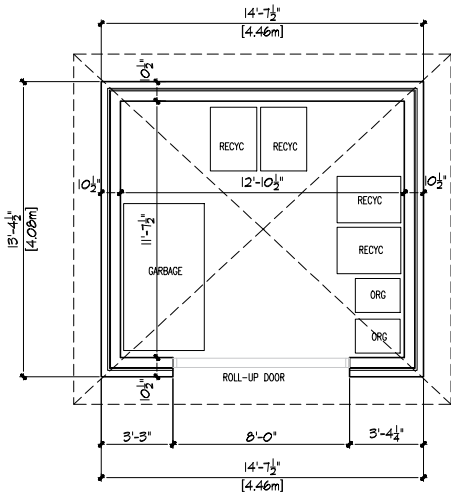
NOTE:
COPPER / LEAD COATED (TO BE DETERMINED)
DOWN PIPES- LOCATION TO BE CONFIRMED

NOTE:
- ANY DIMENSION NOTED ON THE ELEVATIONS IS FINISHED.

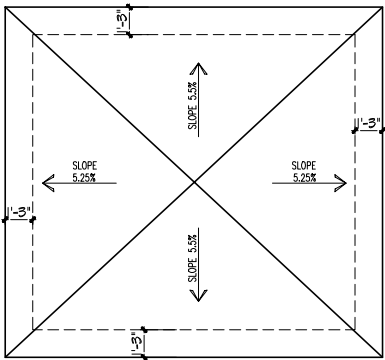
NOTE:
ENSURE ADEQUATE ROOF SEPARATION TO ALLOW FOR FASCIA AND EAVES TROUGH @ LOWER ROOF.

NOTE:
PROVIDE ACOUSTICAL INSULATION FOR ALL BEDROOM AND BATHROOM WALLS TYP. / LAUNDRY/MECHANICAL ROOMS WALL & CEILING

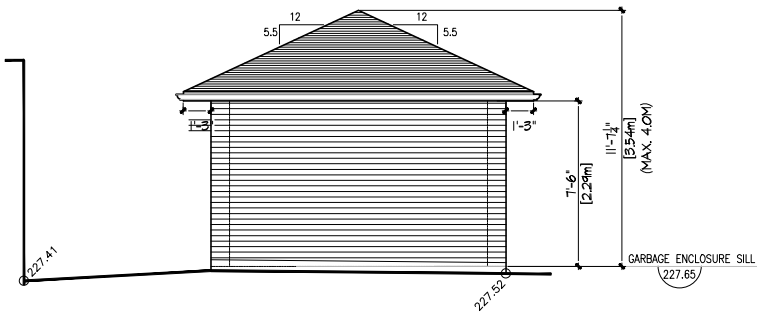
GARBAGE ENCLOSURE



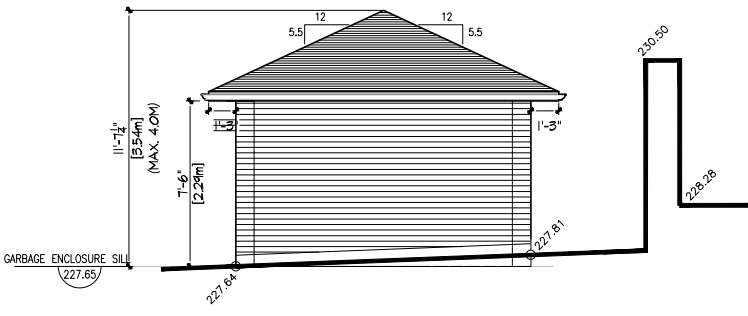
PLAN



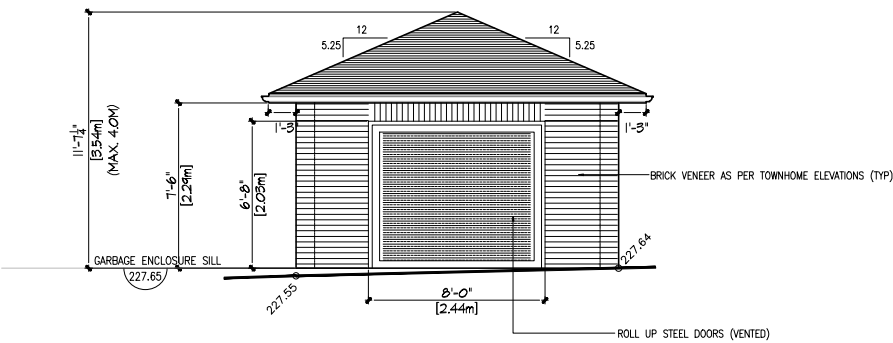
ROOF PLAN



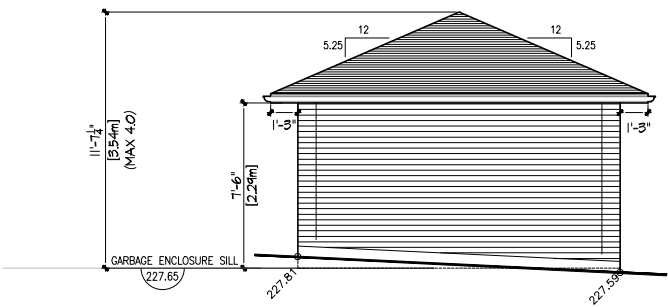
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

NOTE:
ALL BEAMS ARE FLASHED UNLESS OTHERWISE NOTED
ALL POSTS ARE 3-2x6 IN 2x6 WALL AND 3-2x4 IN 2x4 WALL
UNLESS OTHERWISE NOTED
ALL LVL BEAMS MUST BE 2.0E

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT NORTH

These architectural drawings are the property of Peter Higgins Architect Inc, 1560 Bayview Avenue, Suite 302, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/agency responsible for the construction of the aforementioned titled project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

SEE DRAWING A-1 FOR GENERAL AND CONSTRUCTION NOTES

14	AUG 14, 19	ISSUED FOR BUILDING PERMIT
13	FEB 11, 19	REVISED FOR SPA-3RD
12	OCT 25, 18	REVISED FOR SPA-3RD
11	SEP 5, 18	REVISED FOR SPA-3RD
10	AUG 24, 18	REVISED FOR SPA-3RD
9	APR 16, 18	REVISED FOR SPA-2ND
8	FEB 14, 18	REVISED FOR SPA
7	JAN 24, 18	REVISED FOR SPA
6	NOV 16, 17	REVISED FOR SPA
5	JUN 7, 17	REVISED FOR SPA
4	FEB 6, 17	REVISED OR COFA
3	JAN, 2017	ISSUED FOR COFA
2	SEP 19, 16	ISSUED FOR PRECONSULTATION
1	SEP 15, 16	ISSUED FOR DISCUSSION
NO.	DATE	DESCRIPTION
REVISIONS / ISSUE DATES		

HIGGINS PETER HIGGINS ARCHITECT INC.

124 MERTON STREET, SUITE 204
TORONTO, ONTARIO, M4S 2Z2
OFFICE: (416) 481-6229
FAX: (416) 481-6084
E-MAIL: phigginsarchitect@rogers.com

PROJECT: ONE MILBURN ST
BARRIE, ON

DRAWN BY: L.B.J.M. DATE: JAN 2017

CHECKED BY: P.J.H.

SCALE: 1/4" = 1'-0"

PROJECT NO: 16-049 DRAWING TITLE: GARBAGE ENCLOSURE DRAWING NO: A16.0

ONTARIO ASSOCIATION OF ARCHITECTS
PETER HIGGINS
LICENSE 4308