

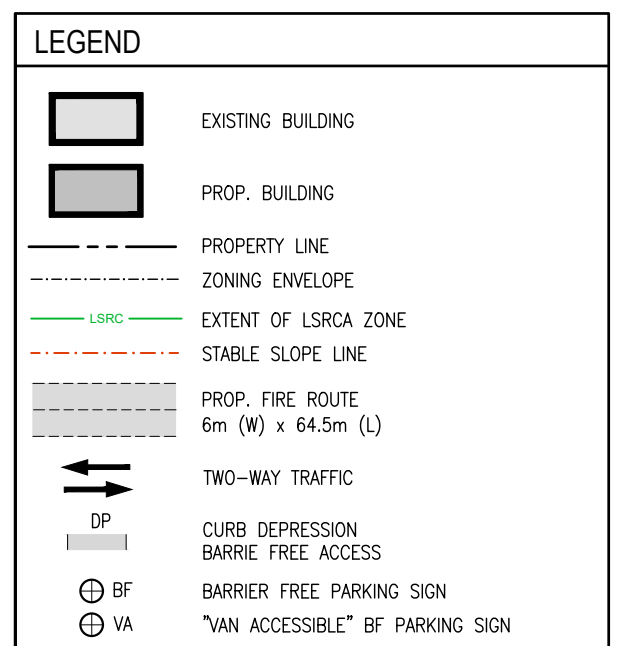
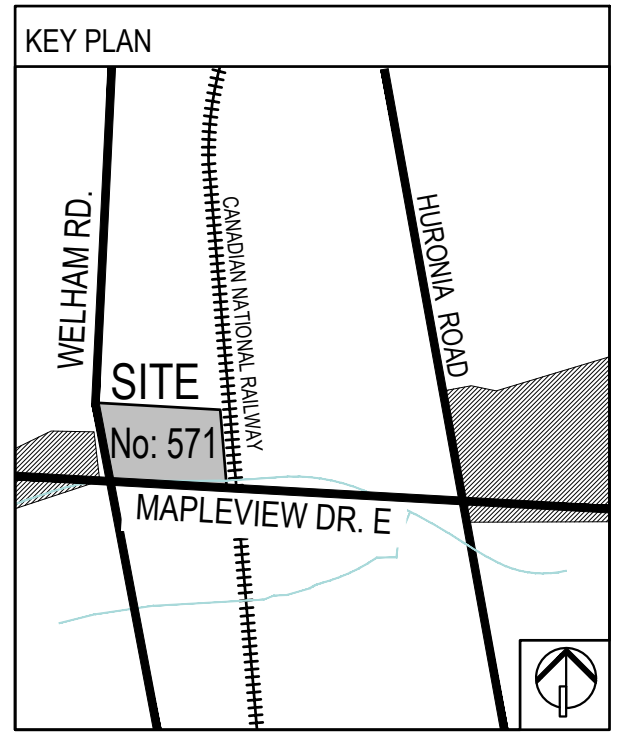
SURVEY INFORMATION		
INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM THE FOLLOWING SURVEY:		
PART OF LOTS 9 AND 10, CONCESSION 12, TOWNSHIP OF INNISFIL CITY OF BARRIE, COUNTY OF SIMCOE		
RUDY MAC SURVEYING LTD. ONTARIO LAND SURVEYORS 89 BIG BAY POINT ROAD BARRIE, ONTARIO L4N 8M5 (705) 722-3845		
OBSERVED REFERENCE POINTS (ORP) DERIVED FROM GPS OBSERVATIONS USING THE LEICA SMARTNET NETWORK, UTM ZONE 17, NAD 83 (CSRS) (2010 EPOCH) COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10		
POINT ID	NORTHING	EASTING
ORP A	606019.35	4910543.31
ORP B	606228.38	4910614.97
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THE PLAN.		

DEVELOPMENT STATISTICS		
BUILDING AREA/COVERAGE	1,376sqm	6,280sqm
IMPERVIOUS AREA	7,043sqm	12,659sqm
LANDSCAPE AREA	16,145sqm	5,625sqm
SITE AREA TOTAL: GI ZONE	24,564sqm	24,564sqm

PROPOSED BUILDING STATISTICS / OBC		
• BLDG. CLASSIFICATION: OBC 3.2.2.6.3: GROUP F, DIVISION 1, ONE STOREY		
• ACCESSORY CLASSIFICATION - OCCUPANCY D (OFFICES)		
• NONCOMBUSTIBLE CONSTRUCTION		
• SPRINKLERED BUILDING		

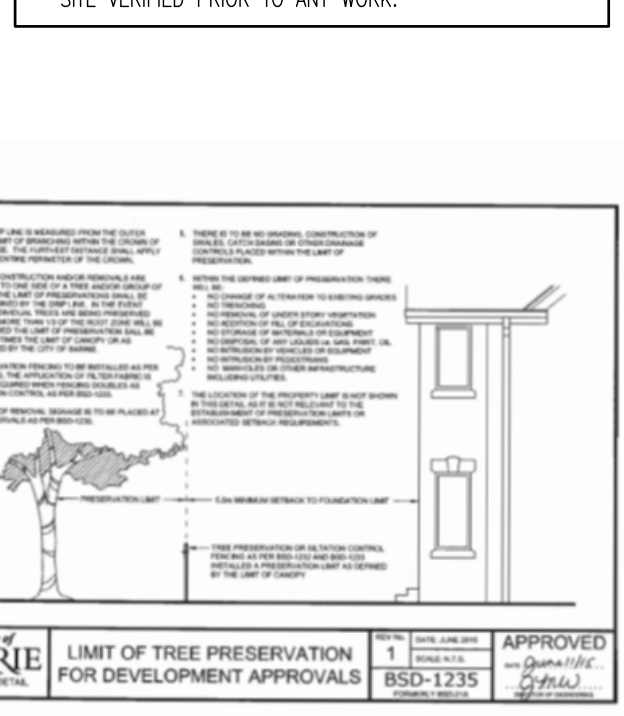
ZONING STANDARDS MATRIX			
1. ZONING	ZONING BY-LAY 2009-141	EXISTING	PROPOSED
2. SITE AREA	GENERAL INDUSTRIAL (GI) w/ PORTION ENVIRONMENTAL PROTECTION (EP)	EXISTING INDUSTRIAL BUILDING	PROPOSED CRUMB MANUFACTURING FACILITY - GI ZONE
3. LOT FRONTAGE	MIN. 700m	32,805sqm / 8.10ac	24,564sqm / 6.07ac
4. SETBACKS	NORTH (INTERIOR SIDE YARD) - 3.0m SOUTH (EXTERIOR SIDE YARD) - 10.0m WEST (FRONT YARD) - 7.0m EAST (REAR YARD) - 15.0m	NORTH SIDE YARD - 12.23m WEST (FRONT YARD) - 13.946m	NORTH (INTERIOR SIDE YARD) - 46.48m SOUTH (INTERIOR SIDE YARD) - 12.00m WEST (FRONT YARD) - 35.42m EAST (REAR YARD) - 56.66m
5. COVERAGE	MAX. 60%	EXIST. BLDG. AREA - 1,376sqm (14,811sf)	25.6% (6,280sqm) - COVERAGE EXIST. BUILDING - 1,376sqm (14,811sf) PROP. MANUFAC. FACILITY - 4,904sqm (52,787sf) TOTAL COVERED AREA - 6,280sqm (67,598sf)
6. BUILDING HEIGHT	NO LIMIT	EXIST. 1 STOREY BLDG. BLDG. HEIGHT: 15.2m	PROPOSED 1 STOREY BLDG. BLDG. HEIGHT: 8.9m

ZONING BY-LAY 2009-141			
EXISTING	PROPOSED	EXISTING	PROPOSED
BLDG. GFA - 1,376sqm (14,811sf)	EXIST. BLDG. GFA - 1,376sqm (14,811sf) PROP. MANUFAC. FACILITY - 4,904sqm (52,787sf) PROP. STORAGE MEZZANINE - 165sqm (1,776sf) TOTAL PROP. GFA - 6,445sqm (69,374sf)	BLDG. GFA - 1,376sqm (14,811sf)	EXIST. BLDG. GFA - 1,376sqm (14,811sf) PROP. MANUFAC. FACILITY - 4,904sqm (52,787sf) PROP. STORAGE MEZZANINE - 165sqm (1,776sf) TOTAL PROP. GFA - 6,445sqm (69,374sf)
EXIST. INDUSTRIAL BUILDING: 1 SPACE / 70sqm PARKING REQUIRED: 19.6 SPACES BF PARKING - 1 SPACE (INCL.)	EXIST. INDUSTRIAL BUILDING: 1 SPACE / 70sqm PARKING REQUIRED: 19.6 SPACES BF PARKING - 1 SPACE (INCL.)	EXISTING PARKING: 20 SPACES BF PARKING - 1 SPACE (EXIST.)	EXIST. PARKING: 20 SPACES PARKING PROVIDED: 70 SPACES TOTAL SITE PARKING PROVIDED: 90 SPACES BF PARKING: 3 SPACES (INCL.) PROPOSED: 3 SPACES (INCL.) PROVIDED - 6 SPACES
PROPOSED BUILDING: MANUFACTURING FACILITY 1 SPACE / 70sqm PARKING REQUIRED - 70 SPACE (4,904sqm / 70sqm = 70) BF PARKING - 3 SPACES (INCL.)	PROPOSED BUILDING: MANUFACTURING FACILITY 1 SPACE / 70sqm PARKING REQUIRED - 70 SPACE (4,904sqm / 70sqm = 70) BF PARKING - 3 SPACES (INCL.)		
9. LOADING	B/W 3,000sqm - 7,499sqm OF GFA REQ. 2 LOADING SPACES		



SURVEY INFORMATION	
PLAN OF SURVEY PART OF LOT 9 & 10, CONCESSION 12, CITY OF BARRIE	
DATED: OCT. 02, 2020	
RUDY MAC SURVEYING ONTARIO LAND SURVEYORS	
89 BIG BAY POINT ROAD BARRIE, ONTARIO L4N 8M5 TEL: (705) 722-3845 E-MAIL: MAIL@MACSURVEYING.COM	

- GENERAL NOTES
- ALL DRAWING DOCUMENTS LISTED IN THIS SET ARE FOR INFORMATION PURPOSES ONLY.
 - ALL SITE BOUNDARY AND PERIMETER INFORMATION INDICATED IN THIS SITE PLAN WAS TAKEN FROM SURVEY DRAWING AS NOTED.
 - EXISTING BUILDING INFORMATION USED IN THIS DOCUMENTATION WAS TAKEN FROM ARCHITECT. DRAWINGS, PREPARED BY: IAN S. MALCOLM ARCHITECT, DATED MARCH 1989.
 - THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION. ALL AREAS AND DIMENSIONS TO BE SITE VERIFIED PRIOR TO ANY WORK.



Tree Protection and Removal Plan Appendix "B" by P & A Urban Forestry Consulting Ltd. to be read in conjunction with Arborist Report Rev. #1 Oct. 17, 2020 and Tree Inventory/Action Table Appendix "A". info@paurbanforestryconsulting.com

PRE-CON FILE NO: D28-043-2019

DATE	DESCRIPTION	BY
1. FEB. 11, 2020	ISSUED FOR COORDINATION	RD
2. MAR. 15, 2020	ISSUED FOR COORDINATION	RD
3. MAY 22, 2020	ISSUED FOR STABLE SLOPE REVIEW	RD
4. MAY 26, 2020	ISSUED FOR COORDINATION	RD
5. JUN. 01, 2020	ISSUED FOR COORDINATION	RD
6. JUL. 07, 2020	ISSUED FOR SPA APPLICATION	RD
7. OCT. 14, 2020	REVISED FOR SPA APPLICATION	RD

PROJECT ARCHITECT: J. CAMPITELLI
ASSISTANT DESIGNER: RD
DRAWN BY: RD
CHECKED BY: J.C.
DATE: OCT 17, 2020
SCALE: 1:400
SHEET NO.: 270.18 D

INDUSTRIAL DEVELOPMENT PROPOSED CRUMB MANUFACTURING FACILITY

571 WELHAM RD. BARRIE, ON.

E360S ENVIRONMENTAL & SOLUTIONS

10 BUR OAK AVENUE, UNIT 3, MARKHAM, ON L6C 0A2
TEL: 905-887-8900 FAX: 905-887-9400
E-MAIL: INFO@E360S.COM

CONSULTANTS: JOSEPH N. CAMPITELLI ARCHITECT INC.

This drawing, as an instrument of service, is provided by and to the project owner (P&A Urban Forestry Consulting Ltd.) and the contractor (P&A Urban Forestry Consulting Ltd.) and is the property of P&A Urban Forestry Consulting Ltd. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Architect of any variations from the supplied information. The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical, engineering information, etc., which is shown on this drawing. Refer to the appropriate engineering professional before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by the Architect in regards to the environmental condition of the site to assist the drawing reader. This drawing is not to be used for construction purposes and is not intended to be used for such purposes.

Legend

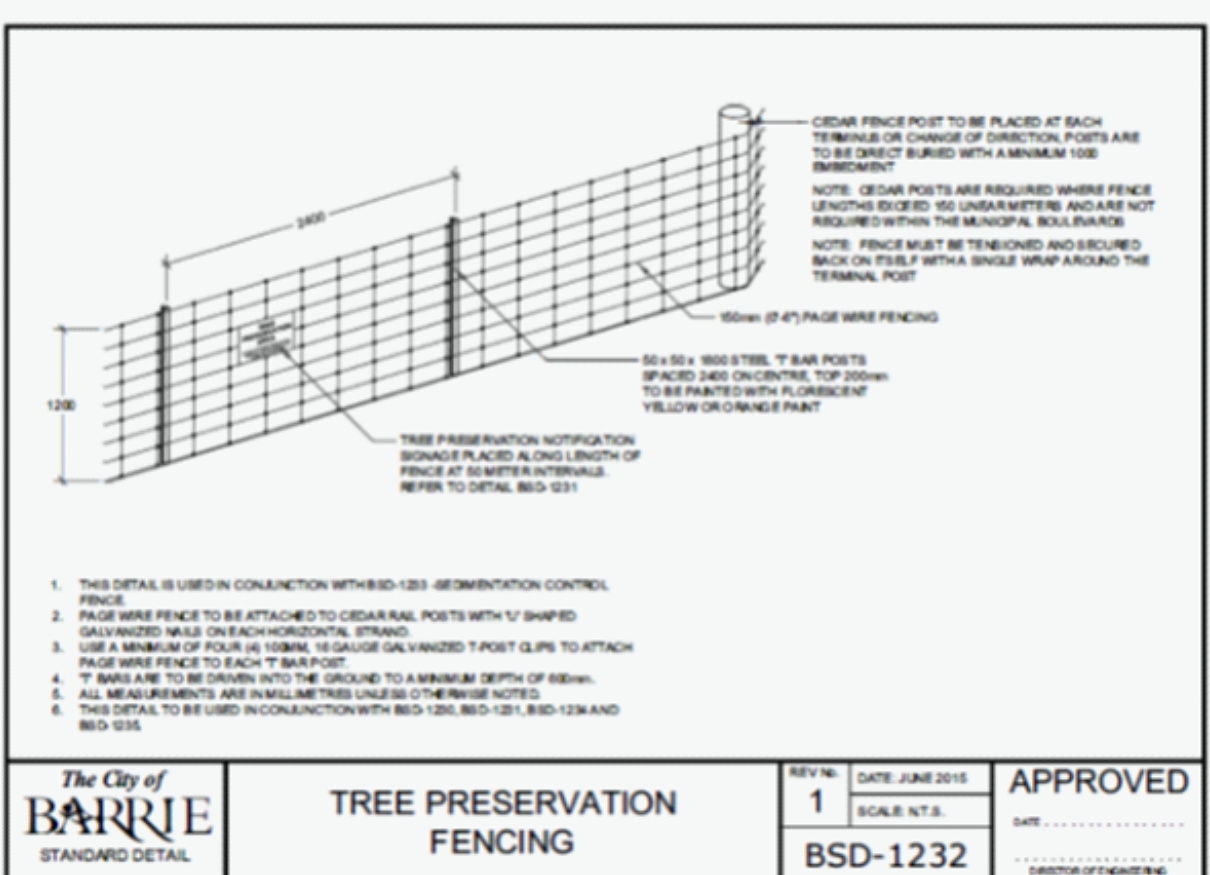
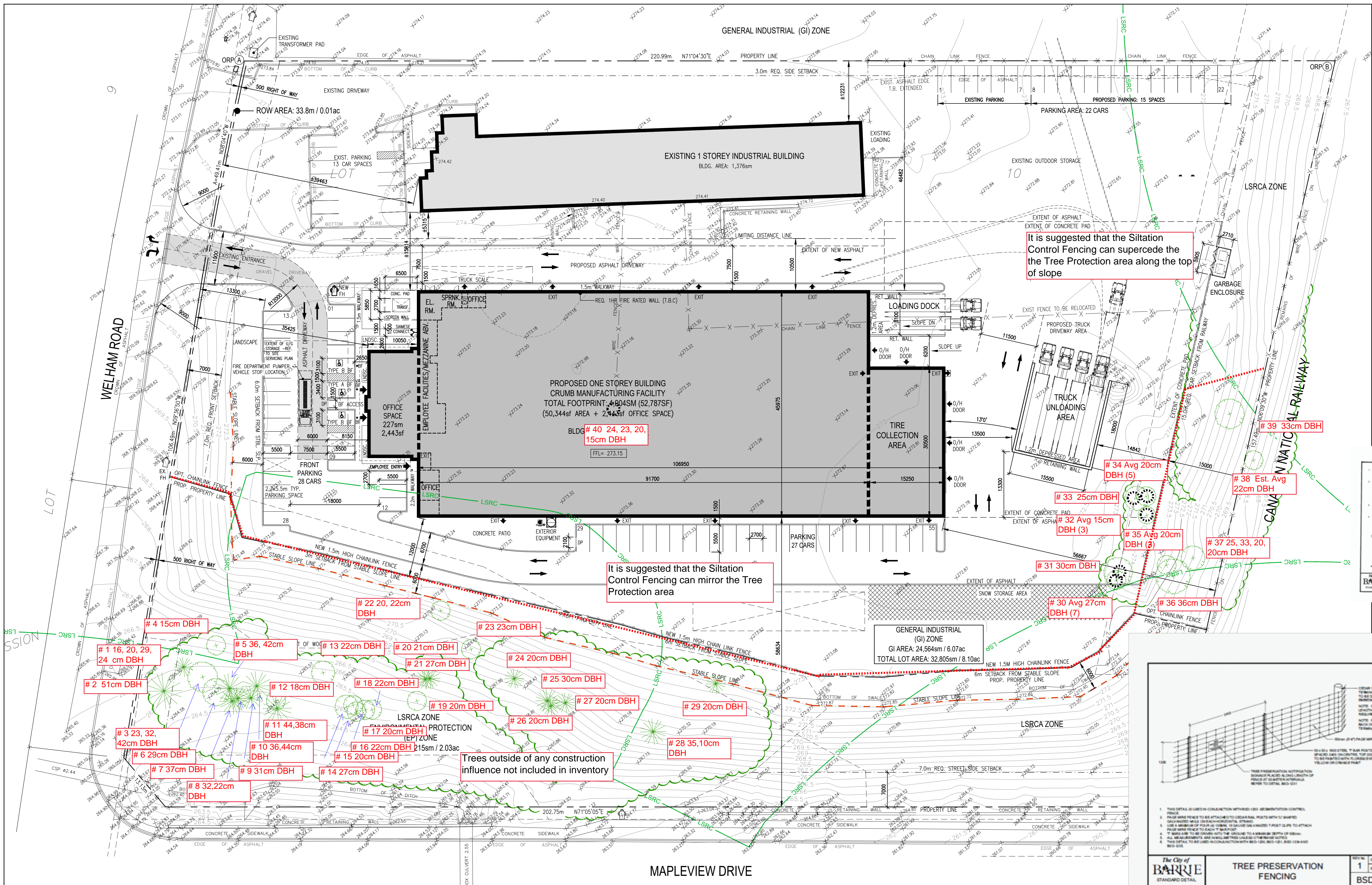
- Tree Protection Barrier (Potential Siltation Control Fencing as well)
- Tree To Remove

Rev. #1 October 17, 2020
Page 18 of 18

Tree Protection and Removal Plan Appendix "B" by P & A Urban Forestry Consulting Ltd. to be read in conjunction with Arborist Report Rev. #1 Oct. 17, 2020 and Tree Inventory/Action Table Appendix "A". info@paurbanforestryconsulting.com

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L.100