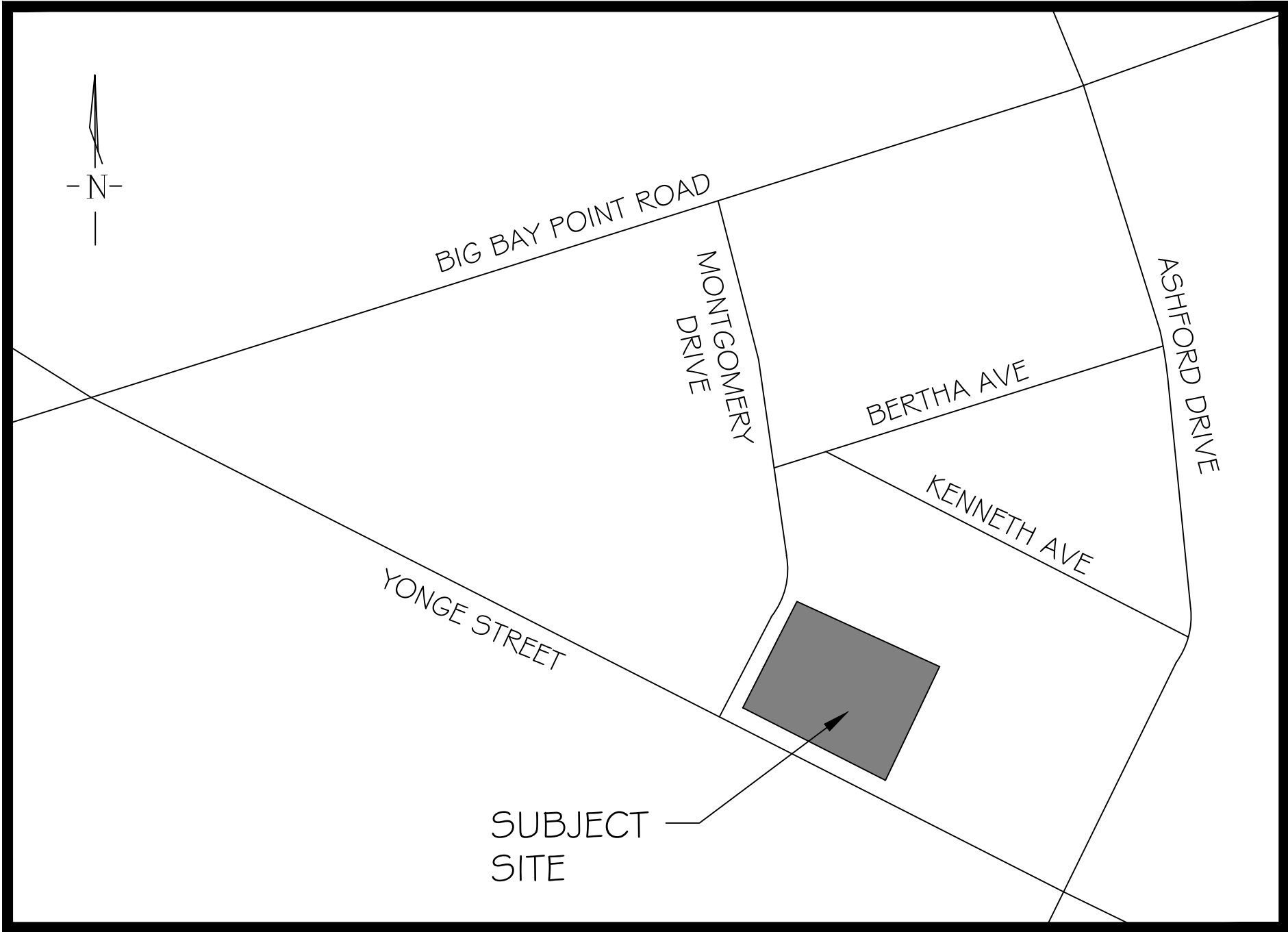


667-675 YONGE STREET, BARRIE, ON

MUNICIPAL FILE: D28-089-2021

LANDMARK ENVIRONMENTAL GROUP LTD.

PROJECT NO. LA 637-21



KEY PLAN N.T.S.

DRAWING LIST

EX-1	EXISTING CONDITIONS
TP-1	TREE PRESERVATION PLAN 1
TP-2	TREE PRESERVATION PLAN 2
LC-1	LANDSCAPE CONCEPT PLAN
LF-1	FENCE DETAILS
LD-1	LANDSCAPE DETAILS 1

CLIENT:

TRAN GROUP
667-675 YONGE STREET
BARRIE, ON
L4N 4E8

MUNICIPALITY:



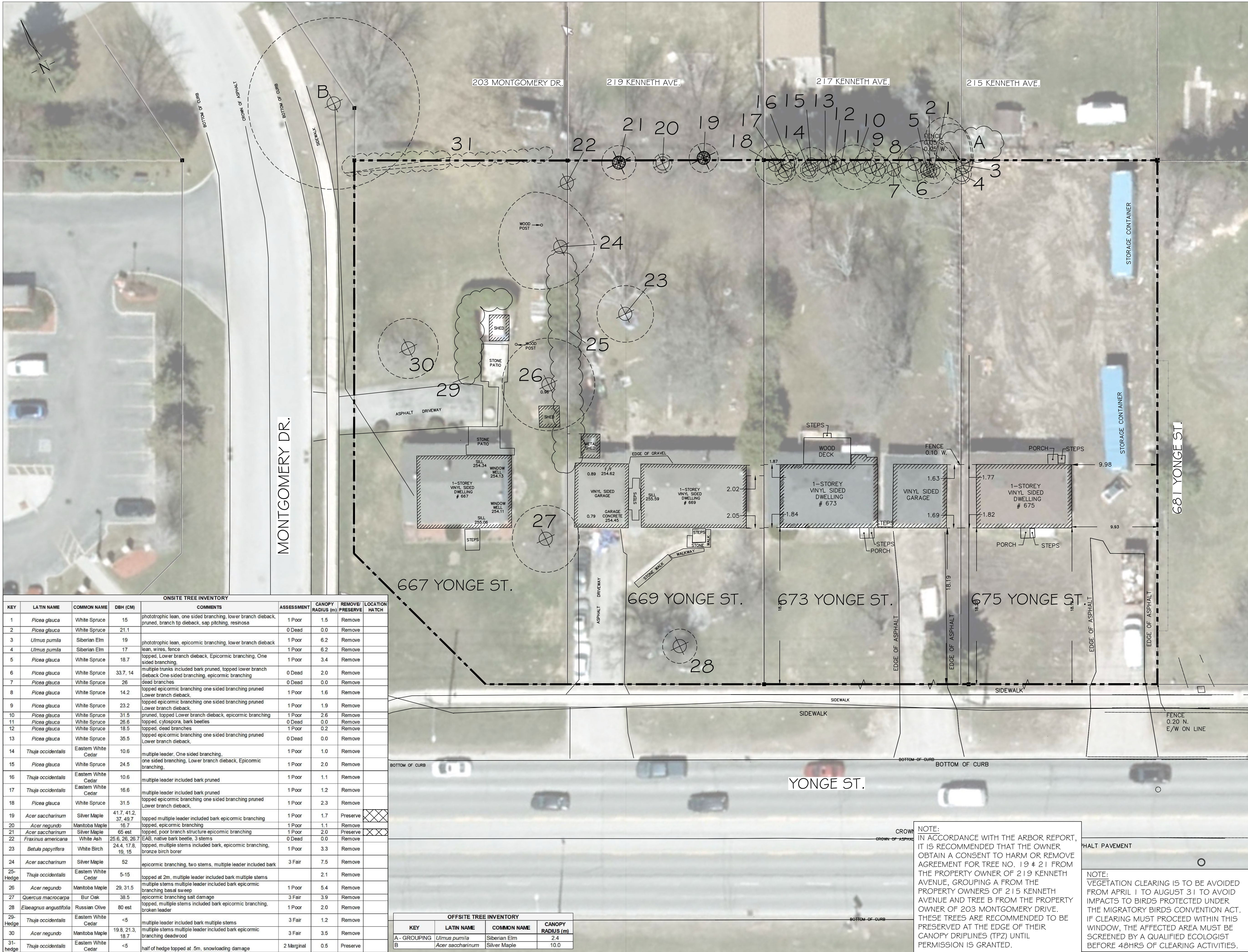
CITY OF BARRIE
70 COLLIER STREET, P.O. BOX 400,
BARRIE, ON
L4M 4T5

LANDSCAPE ARCHITECT:

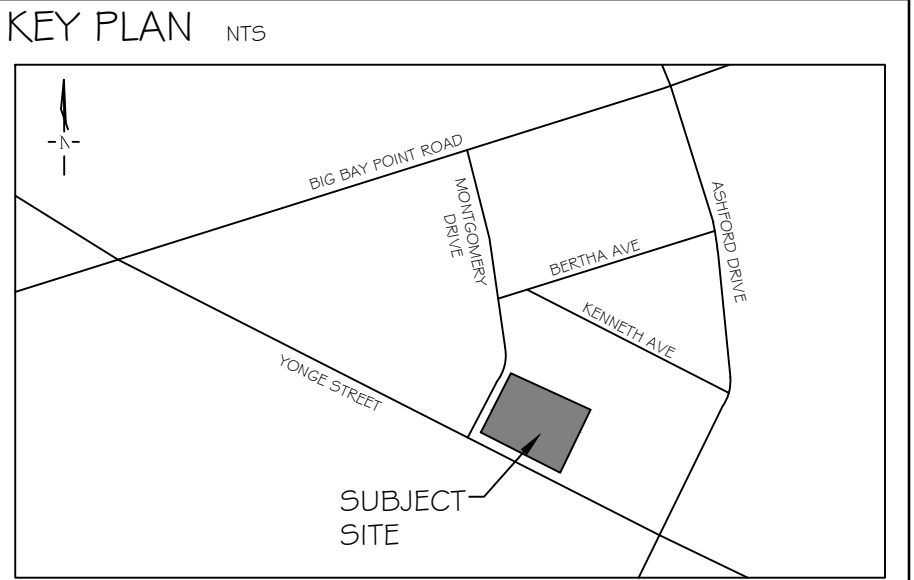


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ENVIRONMENTAL GROUP LTD
Landscape Architects
Consulting Arborists
Urban Forestry

LANDSCAPE ARCHITECTS
& CONSULTING ARBORISTS
OFFICE: 705-796-1122
info@LEGroupLtd.com
www.LEGroupLtd.com



*TREE LOCATIONS CAPTURED THROUGH TRIMBLE GNSS UNIT AND ARCGIS SOFTWARE



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction.

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- LEGEND**
- ON-SITE TREE LOCATION WITH CANOPY
 - BOUNDARY TREE LOCATION WITH CANOPY
 - OFFSITE TREE LOCATION WITH CANOPY
 - HEDGE LOCATION WITH CANOPY

TREE INVENTORY TABLE LOCATION HATCH

ONSITE TREE	
BOUNDARY TREE	

NO.	DATE	BY	REVISIONS
1	FEB. 23, 2022	S.K.	AS PER SITE GRADING PLAN UPDATES

STAMP

APPROVAL

BASE DATA OBTAINED FROM RUDY MAK SURVEYING LTD. (P/N 21-31 20/08/2021). AERIAL SOURCED FROM SIMCOE COUNTY GIS.

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CLIENT:

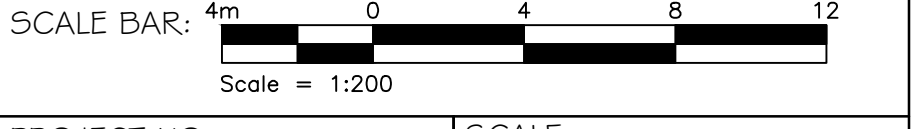
TRAN GROUP

PROJECT:

667-675 YONGE STREET
BARRIE, ON

DRAWING:

EXISTING CONDITIONS



PROJECT NO.:

LA 637-21

MUNICIPAL FILE NO.:

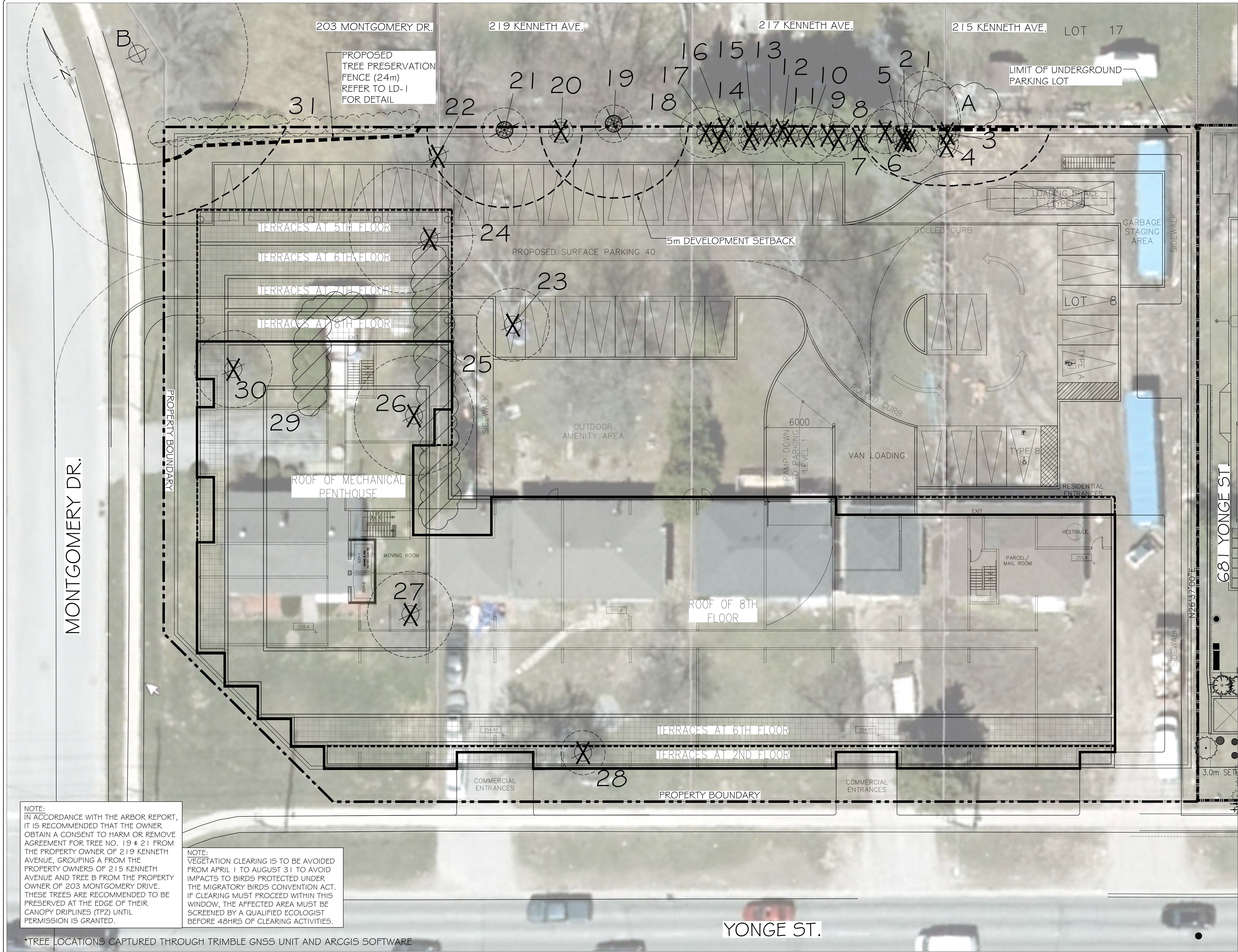
D28-089-2021

DRAWN BY: B.B, S.K. **CHECKED BY:** J.H. **DRAWING No.:** EX-1

NOTE:
IN ACCORDANCE WITH THE ARBOR REPORT, IT IS RECOMMENDED THAT THE OWNER OBTAIN A CONSENT TO HARM OR REMOVE AGREEMENT FOR TREE NO. 19 & 21 FROM THE PROPERTY OWNER OF 219 KENNETH AVENUE, GROUPING A FROM THE PROPERTY OWNERS OF 215 KENNETH AVENUE AND TREE B FROM THE PROPERTY OWNER OF 203 MONTGOMERY DRIVE. THESE TREES ARE RECOMMENDED TO BE PRESERVED AT THE EDGE OF THEIR CANOPY DRIPLINES (TP2) UNTIL PERMISSION IS GRANTED.

NOTE:
VEGETATION CLEARING IS TO BE AVOIDED FROM APRIL 1 TO AUGUST 31 TO AVOID IMPACTS TO BIRDS PROTECTED UNDER THE MIGRATORY BIRDS CONVENTION ACT. IF CLEARING MUST PROCEED WITHIN THIS WINDOW, THE AFFECTED AREA MUST BE SCREENED BY A QUALIFIED ECOLOGIST BEFORE 48HRS OF CLEARING ACTIVITIES.

KEY	LATIN NAME	COMMON NAME	CANOPY RADIUS (m)
A - GROUPING	Ulmus pumila	Siberian Elm	2.4
B	Acer saccharinum	Silver Maple	10.0



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*TREE LOCATIONS CAPTURED THROUGH TRIMBLE GNSS UNIT AND ARCGIS SOFTWARE

KEY PLAN

NTS

GENERAL NOTES

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LEGEND

2

ONSITE TREE LOCATION WITH CANOPY

2

BOUNDARY TREE LOCATION WITH CANOPY

A

OFFSITE TREE LOCATION WITH CANOPY

HEDGE LOCATION WITH CANOPY

RECOMMENDED FOR REMOVAL

TREE PRESERVATION FENCE

X

TREE TO BE REMOVED

5m DEVELOPMENT SETBACK

NO.	DATE	BY	REVISIONS
1	FEB. 23, 2022	S.K.	AS PER SITE GRADING PLAN UPDATES

STAMP

APPROVAL

SITE PLAN OBTAINED FROM ARCHITECTURE UNFOLDED (P/N 21-31 04/01/2022). AERIAL FROM SIMCOE COUNTY GIS. GRADING PLAN PROVIDED BY PINESTONE ENGINEERING LTD. 11661-REV-0.DWG TRANS ON FEB. 18, 2022

LANDMARK ENVIRONMENTAL GROUP LTD

Landscape Architects Consulting Arborists Urban Forestry

LANDSCAPE ARCHITECTS & CONSULTING ARBORISTS

OFFICE: 705-796-1122

info@LEGGroupLtd.com

www.LEGroupLtd.com

CLIENT:

TRAN GROUP

PROJECT:

667-675 YONGE STREET
BARRIE, ON

DRAWING:

TREE PRESERVATION PLAN I

SCALE BAR:

Scale = 1:150

PROJECT NO.:

LA 637-21

MUNICIPAL FILE NO.:

D28-089-2021

DRAWN BY:

B.B, S.K.

CHECKED BY:

J.H.

DRAWING No.:

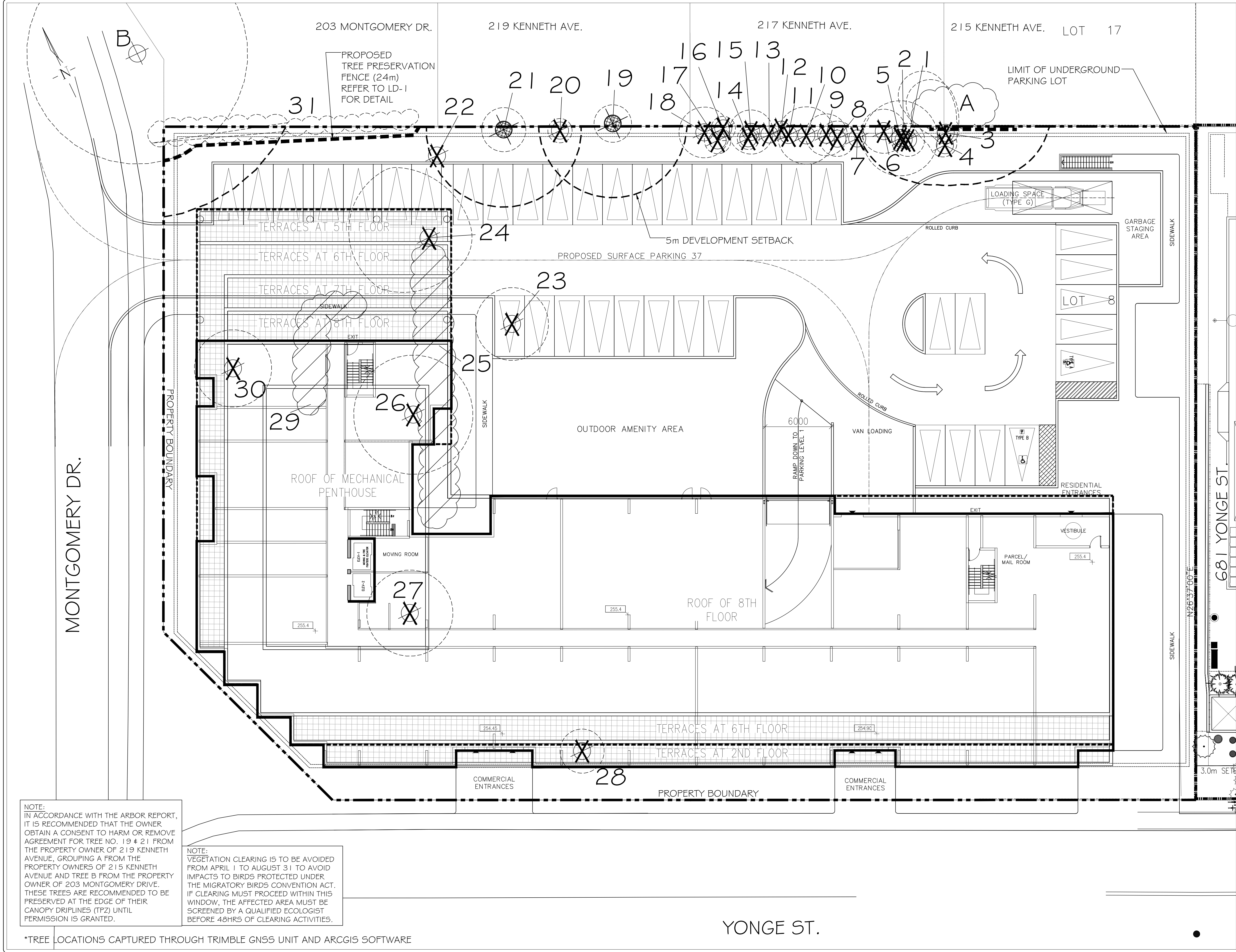
TP-1

SCALE:

1:150

DATE:

DECEMBER 14, 2021



NOTE:
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IT IS RECOMMENDED THAT THE OWNER
OBTAIN A CONSENT TO HARM OR REMOVE
AGREEMENT FOR TREE NO. 19 & 21 FROM
THE PROPERTY OWNER OF 219 KENNETH
AVENUE, GROUPING A FROM THE
PROPERTY OWNERS OF 215 KENNETH
AVENUE AND TREE B FROM THE PROPERTY
OWNER OF 203 MONTGOMERY DRIVE.
THESE TREES ARE RECOMMENDED TO BE
PRESERVED AT THE EDGE OF THEIR
CANOPY DRIPLINES (TFZ) UNTIL
PERMISSION IS GRANTED.

NOTE:
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FROM APRIL 1 TO AUGUST 31 TO AVOID
IMPACTS TO BIRDS PROTECTED UNDER
THE MIGRATORY BIRDS CONVENTION ACT.
IF CLEARING MUST PROCEED WITHIN THIS
WINDOW, THE AFFECTED AREA MUST BE
SCREENED BY A QUALIFIED ECOLOGIST
BEFORE 48HRS OF CLEARING ACTIVITIES.

*TREE LOCATIONS CAPTURED THROUGH TRIMBLE GNSS UNIT AND ARCGIS SOFTWARE

KEY PLAN

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LEGEND

- 2 ONSITE TREE LOCATION WITH CANOPY
- 2 BOUNDARY TREE LOCATION WITH CANOPY
- A OFFSITE TREE LOCATION WITH CANOPY
- HEDGE LOCATION WITH CANOPY
- RECOMMENDED FOR REMOVAL
- TREE PRESERVATION FENCE
- TREE TO BE REMOVED
- 5m DEVELOPMENT SETBACK

NO.	DATE	BY	REVISIONS
1	FEB. 23, 2022	S.K.	AS PER SITE GRADING PLAN UPDATES

STAMP

APPROVAL

SITE PLAN OBTAINED FROM ARCHITECTURE UNFOLDED (P/N 21-31 04/01/2022).

GRADING PLAN PROVIDED BY PINESTONE ENGINEERING LTD. 11661-REV-0.DWG TRANS ON FEB. 18, 2022

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CLIENT:

TRAN GROUP

PROJECT:

667-675 YONGE STREET

BARRIE, ON

DRAWING:

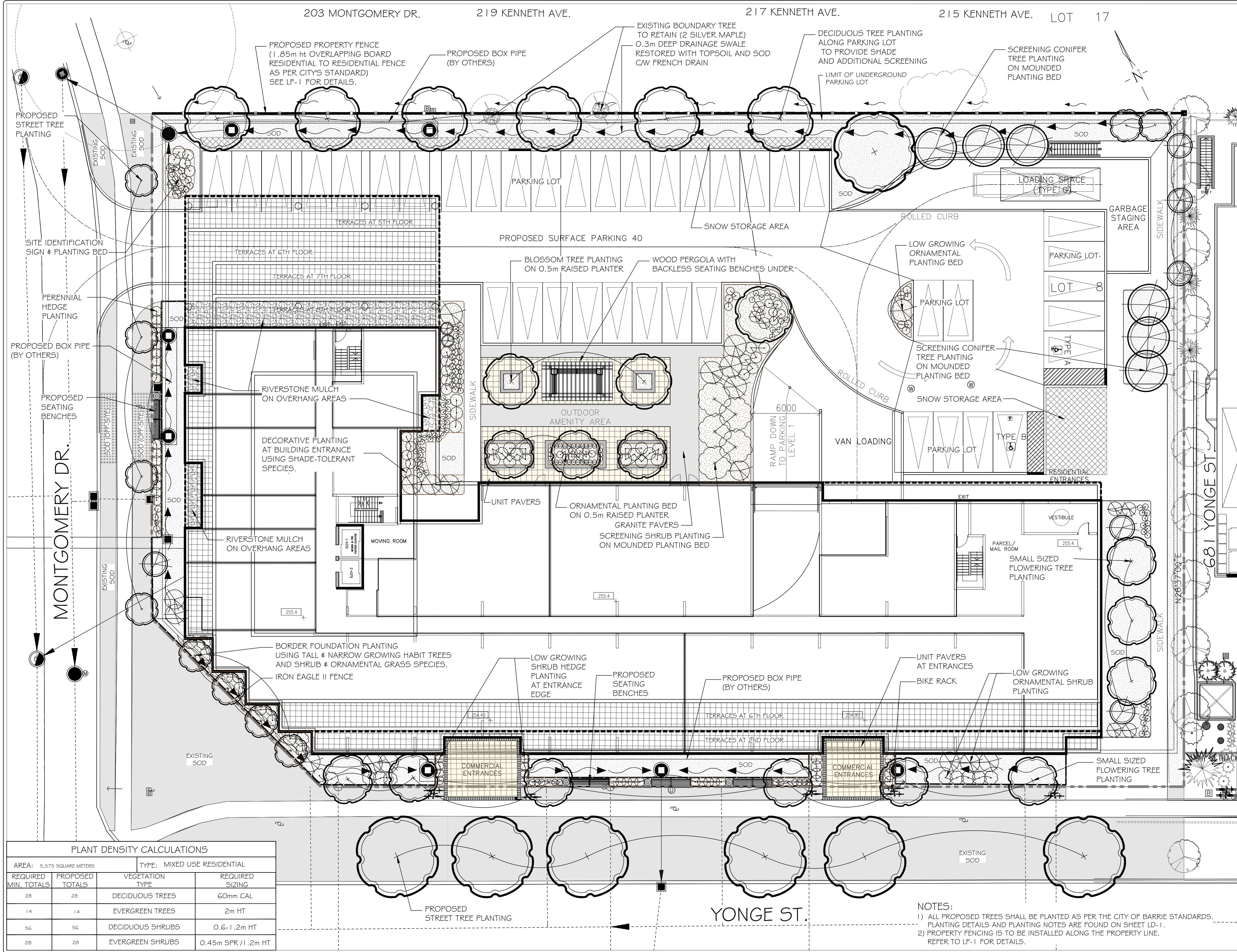
TREE PRESERVATION PLAN 2

SCALE BAR:

3m 0 3 6 9

Scale = 1:150

PROJECT NO.:	SCALE:
LA 637-21	1:150
MUNICIPAL FILE NO.:	DATE:
D28-089-2021	DECEMBER 14, 2021
DRAWN BY:	CHECKED BY:
B.B., S.K.	J.H.
DRAWING No.:	
TP-2	



KEY PLAN

NTS

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LEGEND

PROPOSED DECIDUOUS TREE

PROPOSED DECIDUOUS SHRUBS

PROPOSED PERENNIALS / GRASSES

EXISTING BOUNDARY TREES TO RETAIN

SOD AREAS (708m²)

MULCH TREATMENT AREA FOR MOUNDED PLANTING BEDS (247m²)

SNOW STORAGE AREA

PROPOSED CONIFEROUS TREE

PROPOSED EVERGREEN SHRUBS

PLANT KEY

SOD AREAS (OFF-SITE) (20m²)

RIVERSTONE MULCH AREA (73m²)

PROJECT BOUNDARY

WOOD FENCE (B&S | 20G)

IRON EAGLE II FENCE

STAMP

APPROVAL

SITE PLAN OBTAINED FROM ARCHITECTURE UNFOLDED (P/N 21-31 04/01/2022).
GRADING PLAN PROVIDED BY PINESTONE ENGINEERING LTD.
11661-REV-0.DWG TRANS ON FEB. 18, 2022

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CLIENT:

TRAN GROUP

PROJECT:

667-675 YONGE STREET
BARRIE, ON

DRAWING:

LANDSCAPE CONCEPT PLAN

SCALE BAR:

Scale = 1:150

PROJECT NO.:

LA 637-21

SCALE:

1:150

MUNICIPAL FILE NO.:

D28-089-2021

DATE:

DECEMBER 14, 2021

DRAWN BY:

S.K.

CHECKED BY:

J.H.

DRAWING No.:

LC-1

PLANT DENSITY CALCULATIONS			
AREA: 5,575 SQUARE METERS		TYPE: MIXED USE RESIDENTIAL	
REQUIRED MIN. TOTALS	PROPOSED TOTALS	VEGETATION TYPE	REQUIRED SIZING
28	28	DECIDUOUS TREES	60mm CAL
14	14	EVERGREEN TREES	2m HT
56	56	DECIDUOUS SHRUBS	0.6-1.2m HT
28	28	EVERGREEN SHRUBS	0.45m SPR / 1.2m HT

NOTES:

- ALL PROPOSED TREES SHALL BE PLANTED AS PER THE CITY OF BARRIE STANDARDS. PLANTING DETAILS AND PLANTING NOTES ARE FOUND ON SHEET LD-1.
- PROPERTY FENCING IS TO BE INSTALLED ALONG THE PROPERTY LINE. REFER TO LF-1 FOR DETAILS.

432

30

135

279

25

65

TREE PRESERVATION AREA

NO UNAUTHORIZED TREE CUTTING, REMOVALS, OR DISTURBANCE IS PERMITTED IN THIS AREA

FONT: ARIAL BOLD
HEIGHT: 35mm / SPACING: 15mm

FONT: ARIAL
HEIGHT: 15mm / SPACING: 10mm

1. SIGNS MUST BE FABRICATED FROM WEATHER RESISTANT MATERIAL.

2. SIGNS ARE TO BE SECURELY FASTENED AND PLACED IN 50 METER INTERVALS ALONG ALL TREE PRESERVATION FENCING.

3. SIGNS MUST REMAIN POSTED FOR THE DURATION OF THE PROJECT OR UNTIL APPROVAL TO REMOVE PRESERVATION FENCING IS PROVIDED BY THE MUNICIPALITY.

4. ALL DIMENSIONS ARE IN MILLIMETRES.

5. THIS DETAIL IS TO BE USED IN CONJUNCTION WITH BSD-1230 AND BSD-1232.

The City of
BARRIE

STANDARD DETAIL

TREE PRESERVATION
AREA TEMPLATE

REV No.
1

DATE: JUNE 2015

SCALE: N.T.S.

APPROVED

DATE: *June 8, 2015*

.....*gmw*.....
DIRECTOR OF ENGINEERING

BSD-1231

2400

150mm (6'-0") PAGE WIRE FENCING

50 x 50 x 1800 STEEL "T" BAR POSTS
SPACED 2400 ON CENTRE, TOP 200mm
TO BE PAINTED WITH FLORESCENT
YELLOW OR ORANGE PAINT

1200

TREE PRESERVATION NOTIFICATION
SIGNAGE PLACED ALONG LENGTH OF
FENCE AT 50 METER INTERVALS.
REFER TO DETAIL BSD-1231

1. THIS DETAIL IS USED IN CONJUNCTION WITH BSD-1233 -SEDIMENTATION CONTROL FENCE.

2. PAGE WIRE FENCE TO BE ATTACHED TO CEDAR RAIL POSTS WITH "U" SHAPED GALVANIZED NAILS ON EACH HORIZONTAL STRAND.

3. USE A MINIMUM OF FOUR (4) 100MM, 16 GAUGE GALVANIZED T-POST CLIPS TO ATTACH PAGE WIRE FENCE TO EACH "T" BAR POST.

4. "T" BARS ARE TO BE DRIVEN INTO THE GROUND TO A MINIMUM DEPTH OF 600mm.

5. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.

6. THIS DETAIL TO BE USED IN CONJUNCTION WITH BSD-1230, BSD-1231, BSD-1234 AND BSD-1235.

The City of
BARRIE

STANDARD DETAIL

TREE PRESERVATION
FENCING

REV No.
1

DATE: JUNE 2015

SCALE: N.T.S.

APPROVED

DATE:

.....*gmw*.....
DIRECTOR OF ENGINEERING

BSD-1232

SEE TABLE BELOW FOR HEIGHT AND SPACING
(NOTE: PANELS MAY BE CUT TO SUIT)

900mm
3/4"

CLEAR BETWEEN PICKETS

BALL POST CAP
OR PYRAM

100 (4")
25 (1")

PANEL HEIGHT

65 (2 1/2")
140 (5 1/2")

FINISHED GRADE

PRE-PUNCTURED RAILS
FOR PICKET INSERTION

CONCRETE FOOTING

PANEL HEIGHT ***	PANEL WIDTH	POST SETTING (CENTRE TO CENTRE)
<914mm (36") 914mm (36") 1219mm (48") 1524mm (60") 1828mm (72")	2432mm (95 3/4")	2565mm (101")
2134mm (84") 2438mm (96") 2743mm (108") 3048mm (120") >3048mm (120")	1899mm (74 3/4")	2032mm (80")

SPECIFICATIONS:

POSTS, RAILS & PICKETS: COLD FORMED STEEL TUBING
INTERIOR & EXTERIOR GALVALUME™ COATING
CHROMATE CONVERSION COATING ELECTROCHEMICALLY
APPLIED THERMALLY BAKED POLYESTER POWDER
COATING - MINIMUM FILM THICKNESS 2.5 mils

FITTINGS: 12 GAUGE STAMP FORGED
FACTORY FINISH AS ABOVE

WELDS: STAINLESS STEEL

COLOURS: STANDARD COLOURS ARE BLACK,
SEMI-BLACK, BROWN, GREY,
WHITE & FOREST GREEN
CUSTOM COLOURS AVAILABLE UPON REQUEST

WARRANTY: 5 YEAR MAINTENANCE FREE

NOTE: ALL TYPE OF GATES AVAILABLE
TAMPER PROOF NOT AVAILABLE
L-CAT PROTECTION AVAILABLE UPON REQUEST

POSTS: 76mm x 76mm (3"x3"),
14 GAUGE, 5040 OR 5041 40

POST FLANGES: 203mm x 203mm (8"x8") x 13mm (1/2") OR
254mm x 254mm (10"x10") x 13mm (1/2")

RAILS: 38mm x 64mm (1 1/2" x 2 1/2") , 16 GAUGE

PICKETS: 19mm x 38mm (3/4" x 1 1/2") , 16 GAUGE

COMMENTS:

TITLE

IRON EAGLE II SERIES
SILVER EAGLE c/w FULL RINGS

DRAWING No.
S-03

REF:

CHK'D

DATE: JAN 2010

IRON EAGLE INDUSTRIES INC. 1256 CARDIFF BLVD. MISSISSAUGA ONT. TEL 905-670-2558 FAX 905-670-2538
www.iron eagleind.com

TREE PRESERVATION NOTES

1. THE INTENT OF THE TREE PRESERVATION PLAN IS TO PROVIDE PROTECTION AND PRESERVATION FOR EXISTING TREES ON THE SUBJECT PROPERTY. THEREFORE, ALL TREES ARE TO BE PRESERVED UNLESS OTHERWISE INDICATED IN THE PLAN OR THE ARBORIST'S REPORT. CONTACT THE LANDSCAPE ARCHITECT TO CONFIRM THE REMOVAL/RETENTION STATUS OF ANY TREES ON SITE, PRIOR TO CLEARING AND GRUBBING. THE OWNER WILL TAKE EVERY PRECAUTION TO PROTECT AND PRESERVE THE TREES APPROVED TO BE RETAINED IN ACCORDANCE WITH THE APPROVED PLANS.
2. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING OR CONSTRUCTION WORKS, THE REQUIRED HOARDING WILL BE ERCTED 5M OUTSIDE OF THE OUTERMOST DRIPLINE OF ANY TREE TO BE RETAINED, IN ACCORDANCE WITH THE HOARDING DETAIL, AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. ERECTION OF ANY PROTECTION FENCING LESS THAN 5M SHALL BE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ERECT AND MAINTAIN ALL HOARDING AS PER THE APPROVED DETAIL, PRESERVATION NOTES AND LOCATIONS SHOWN ON THE DRAWINGS.
- 4.NO STORAGE OF EQUIPMENT OR VEHICLES, NOR ANY STOCKPILING OF MATERIAL IS TO OCCUR WITHIN THE AREA OF PRESERVATION/PROTECTION. TREES SLATED FOR PROTECTION WILL NOT BE USED FOR RIGGING OR WRAPPING. THE PROTECTION/PRESERVATION AREA SHALL NOT BE USED TO EMPTY CONTAMINANTS, REFUELING OR REPAIR OF VEHICLES OR EQUIPMENT.
5. TREES LOCATED ON THE IMMEDIATE EDGE OF THE CONSTRUCTION WORKS ARE TO BE PRUNED IN THE INTEREST OF SAFETY, IN ACCORDANCE WITH APPROVED ARBORICULTURAL PRACTICES.
6. TREE LOCATIONS ARE APPROXIMATE AND THEREFORE VERIFICATION ON SITE IS REQUIRED.
7. SHOULD A TREE REQUIRED TO BE PROTECTED BECOME DAMAGED OR REMOVED WITHOUT WRITTEN PERMISSION OF THE CITY OF BARRIE OR THE LANDSCAPE ARCHITECT, THE CONTRACTOR OR OWNER WILL BE RESPONSIBLE FOR REPLACEMENT OF THE TREE OF EQUAL CALIPER AND ACCEPTABLE TREE SPECIES AT THE DISCRETION AND SATISFACTION OF THE LANDSCAPE ARCHITECT.
8. THE WORK COMPLETED BY THE CONTRACTOR WILL NOT CAUSE OR EXACERBATE FLOODING CONDITIONS OR CAUSE SEDIMENT BUILDUP OVER THE ROOTZONE OF PROTECTED TREES. NO GRADING SHALL TAKE PLACE WITHIN THE TREE PRESERVATION AREA UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
9. ANY REQUIRED LIMB TRIMMING SHALL BE UNDER THE DIRECT SUPERVISION OF THE LANDSCAPE ARCHITECT OR A QUALIFIED ARBORIST.
10. PRESERVATION FENCING TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED DETAIL. FILTER FABRIC TO BE INSTALLED IN CONJUNCTION WITH THE APPROVED ENGINEERING DRAWINGS.
11. HOARDING/TREE PRESERVATION MAY BE COMPLETED IN CONJUNCTION WITH SEDIMENTATION CONTROL.

1. THE DRIP LINE IS MEASURED FROM THE OUTER MOST LIMIT OF BRANCHING WITHIN THE CROWN OF THE TREE. THE FURTHEST DISTANCE SHALL APPLY TO THE ENTIRE PERIMETER OF THE CROWN.

2. WHEN CONSTRUCTION AND/OR REMOVALS ARE LIMITED TO ONE SIDE OF A TREE AND/OR GROUP OF TREES THE LIMIT OF PRESERVATIONS SHALL BE DETERMINED BY THE DRIP LINE. IN THE EVENT THAT INDIVIDUAL TREES ARE BEING PRESERVED WHERE MORE THAN 1/3 OF THE ROOT ZONE WILL BE DISTURBED THE LIMIT OF PRESERVATION SHALL BE 1.5 TO 2 TIMES THE LIMIT OF CANOPY OR AS DIRECTED BY THE CITY OF BARRIE.

3. PRESERVATION FENCING TO BE INSTALLED AS PER BSD-1232. THE APPLICATION OF FILTER FABRIC IS ONLY REQUIRED WHEN FENCING DOUBLES AS SILTATION CONTROL AS PER BSD-1233.

4. NOTICE OF REMOVAL SIGNAGE IS TO BE PLACED AT 50m INTERVALS AS PER BSD-1230.

5. THERE IS TO BE NO GRADING, CONSTRUCTION OF SWALES, CATCH BASINS OR OTHER DRAINAGE CONTROLS PLACED WITHIN THE LIMIT OF PRESERVATION.

6. WITHIN THE DEFINED LIMIT OF PRESERVATION THERE WILL BE:

- NO CHANGE OF ALTERATION TO EXISTING GRADES
- NO TRENCHING
- NO REMOVAL OF UNDER STORY VEGETATION
- NO ADDITION OF FILL OR EXCAVATIONS
- NO STORAGE OF MATERIALS OR EQUIPMENT
- NO DISPOSAL OF ANY LIQUIDS i.e. GAS, PAINT, OIL
- NO INTRUSION BY VEHICLES OR EQUIPMENT
- NO INTRUSION BY PEDESTRIANS
- NO MAN-HOLES OR OTHER INFRASTRUCTURE INCLUDING UTILITIES.

7. THE LOCATION OF THE PROPERTY LIMIT IS NOT SHOWN IN THIS DETAIL AS IT IS NOT RELEVANT TO THE ESTABLISHMENT OF PRESERVATION LIMITS OR ASSOCIATED SETBACK REQUIREMENTS.

PRESERVATION LIMIT

5.0m MINIMUM SETBACK TO FOUNDATION LIMIT

TREE PRESERVATION OR SILTATION CONTROL FENCING AS PER BSD-1232 AND BSD-1233
INSTALLED A PRESERVATION LIMIT AS DEFINED BY THE LIMIT OF CANOPY

The City of
BARRIE

STANDARD DETAIL

LIMIT OF TREE PRESERVATION
FOR DEVELOPMENT APPROVALS

REV No.
1

DATE: JUNE 2015

SCALE: N.T.S.

APPROVED

DATE: *June 8, 2015*

.....*gmw*.....
DIRECTOR OF ENGINEERING

BSD-1235

FORMERLY BSD-21A

MAX 2440 O.C.

A

B

A

B

300

1850

900

300

300

SECTION A-A

CAP

38 x 140 SCREEN RAIL

38 x 140 CAP

38 x 89 UPPER SUPPORT RAIL OFFSET ON CENTRE LINE, FASTEN TO POST WITH GALVANIZED HANGERS (see Fig. 1)

140 x 140 POST

19 x 140 x 1800 SCREEN BOARDS WITH A 25mm OVERLAP

38 x 89 LOWER SUPPORT RAIL OFFSET ON CENTRE LINE, FASTEN TO POST WITH GALVANIZED HANGERS (see Fig. 1)

FINISHED GRADE (AFTER SOD APPLICATION)

COMPACTED SELECT SUBGRADE (95% S.P.M.D.D.) OR UNDISTURBED SOIL

300 DIA. CONCRETE FOOTING (20MPa) WITH DOMED TOP

Fig. 1

150

50

SECTION B-B

1. ALL LUMBER TO BE PRETREATED WITH AN APPROVED BROWN, MICRONIZED COPPER WOOD PRESERVATIVE OR APPROVED EQUIVALENT.

2. FENCE LOCATIONS AND DIMENSIONS MUST BE IN ACCORDANCE WITH APPLICABLE LANDSCAPE LAYOUT AND APPROVED DRAWINGS.

3. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED.

4. ALL HARDWARE TO BE HOT DIP GALVANIZED.

5. FOR SLOPE ACCOMMODATION SEE ALSO BSD-1207.

The City of
BARRIE

STANDARD DETAIL

OVERLAPPING BOARD
RESIDENTIAL TO RESIDENTIAL
FENCE

REV No.
1

DATE: JUNE 2015

SCALE: N.T.S.

APPROVED

DATE: *June 8, 2015*

.....*gmw*.....
DIRECTOR OF ENGINEERING

BSD-1206

GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works.

The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site.

Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction.

All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction.

The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void.

It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings.

The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc. If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

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LEGEND

1	FEB. 23, 2022	S.K.	AS PER SITE GRADING PLAN UPDATES
NO	DATE	BY	REVISIONS
STAMP		APPROVAL	

LANDMARK

ENVIRONMENTAL GROUP LTD

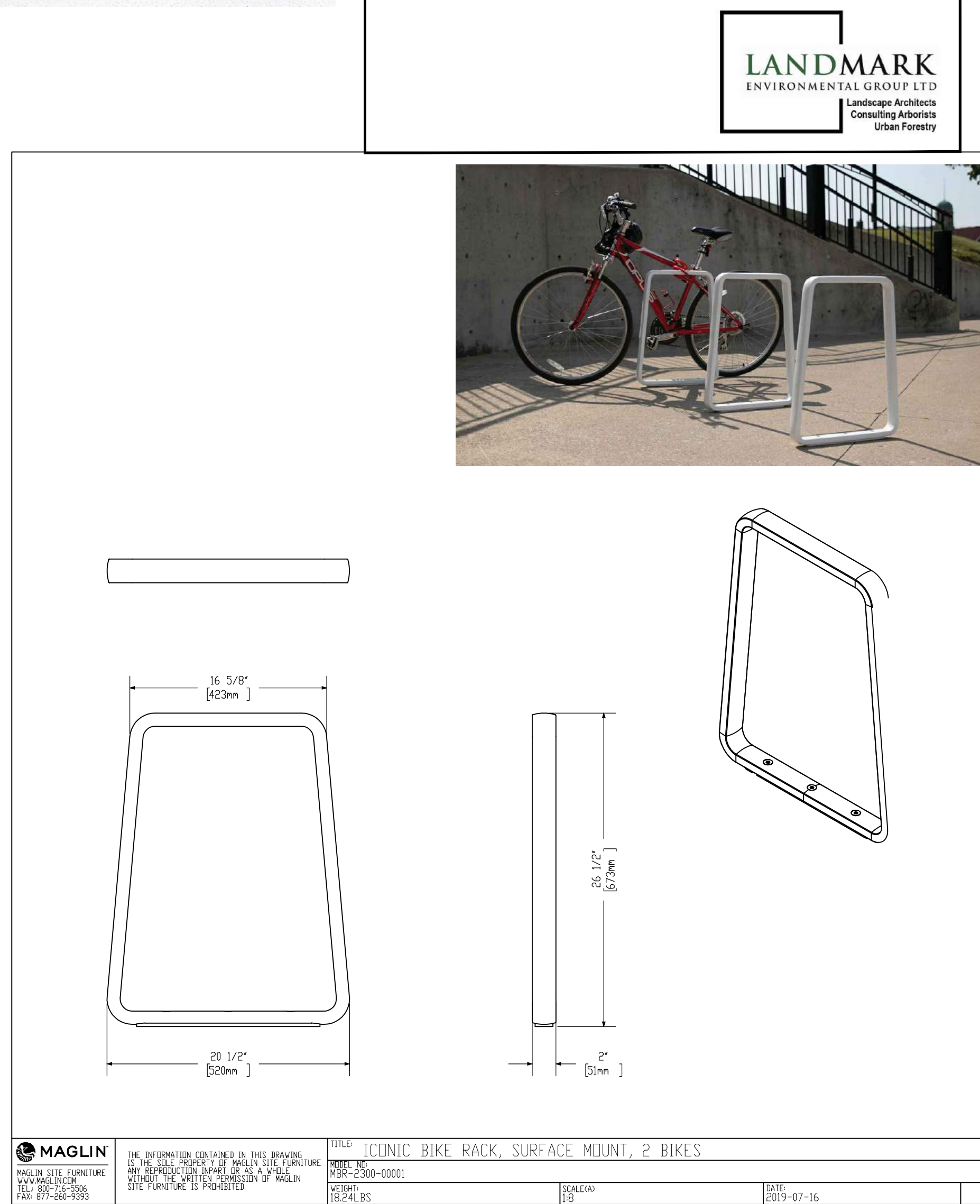
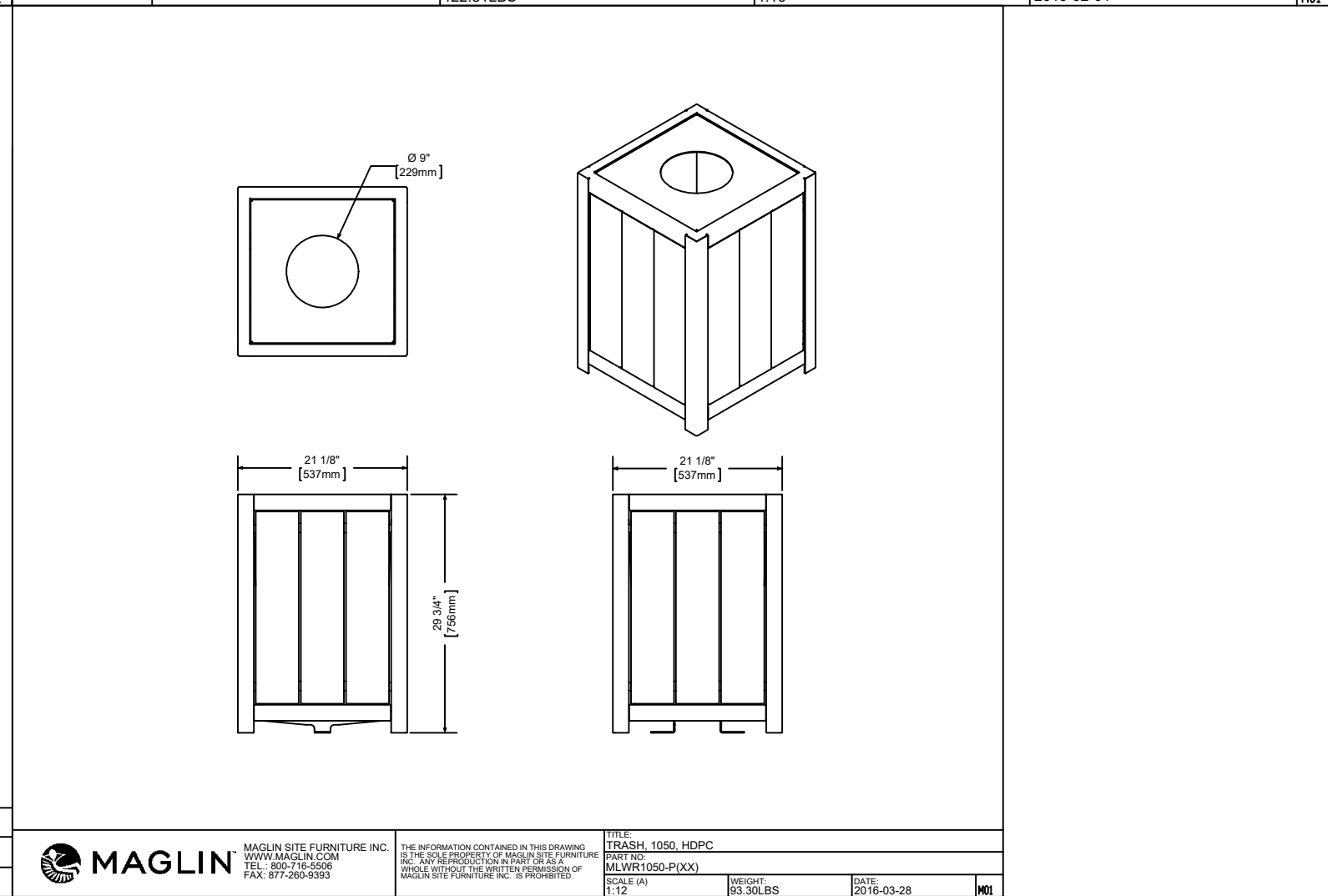
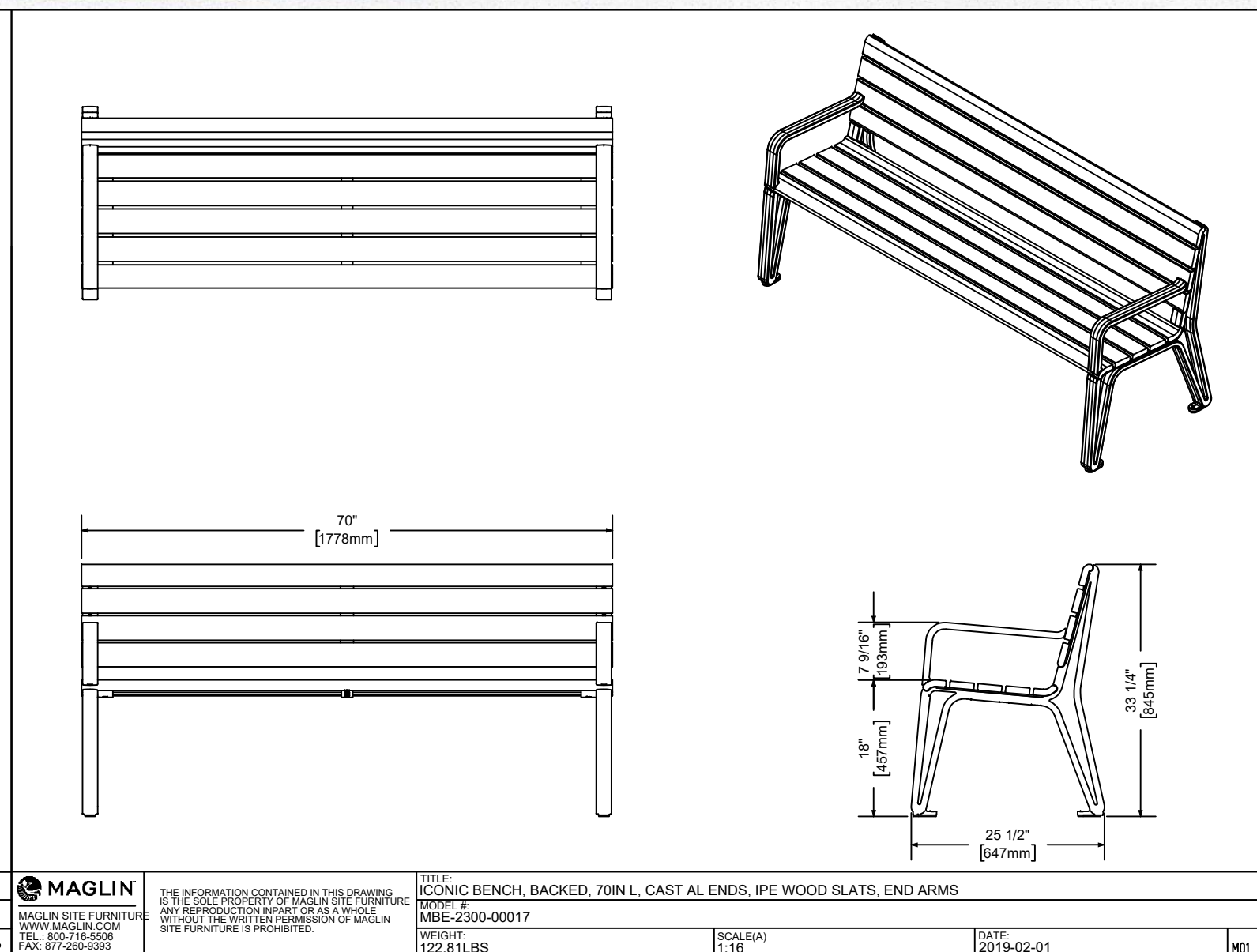
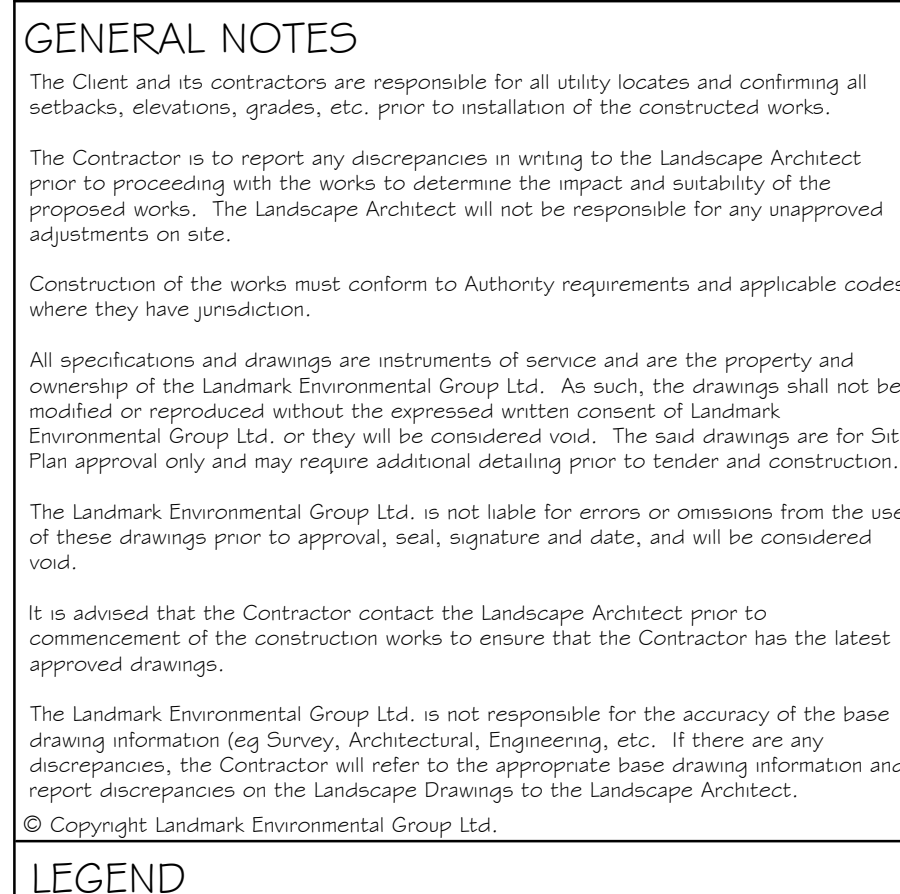
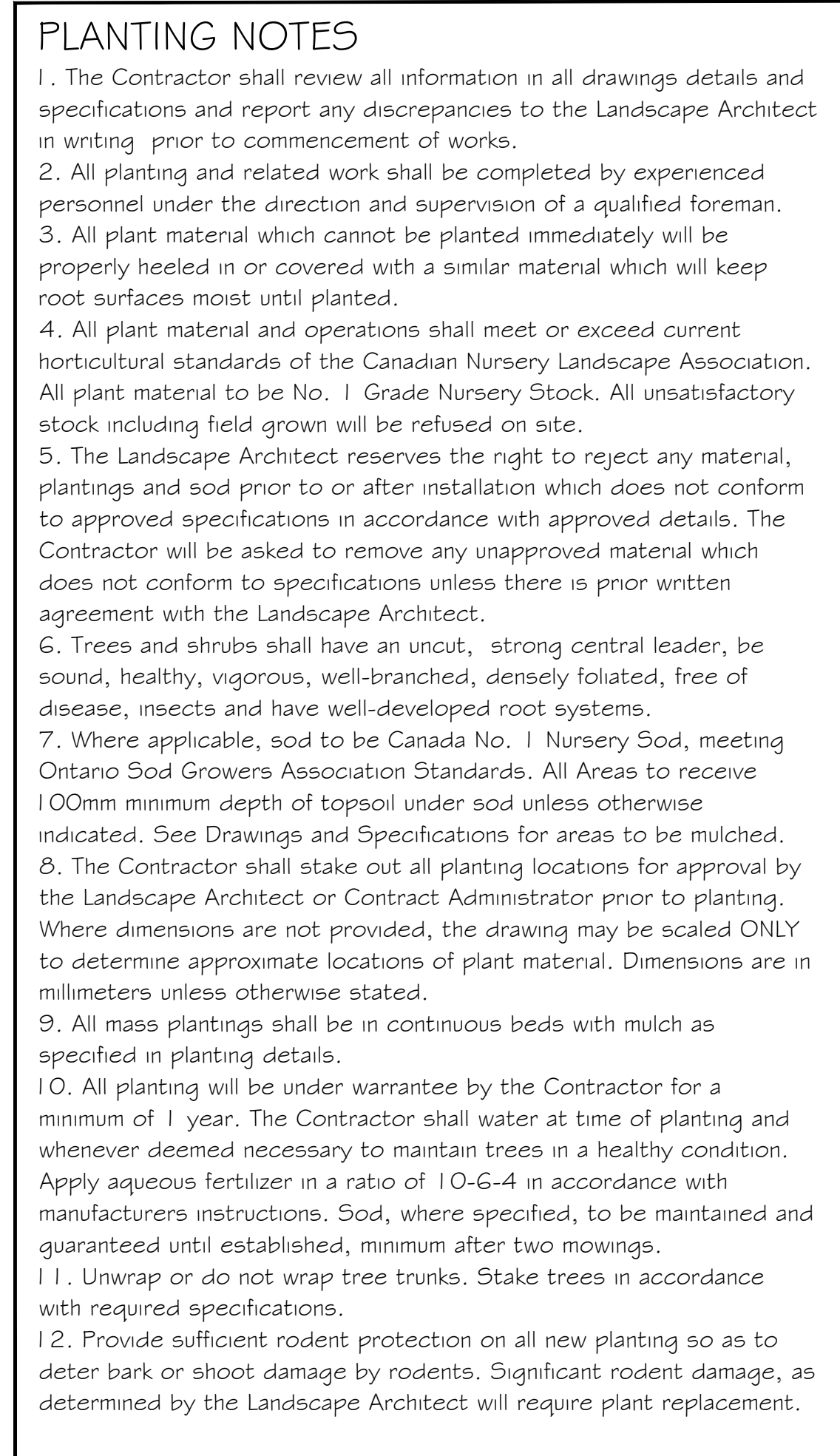
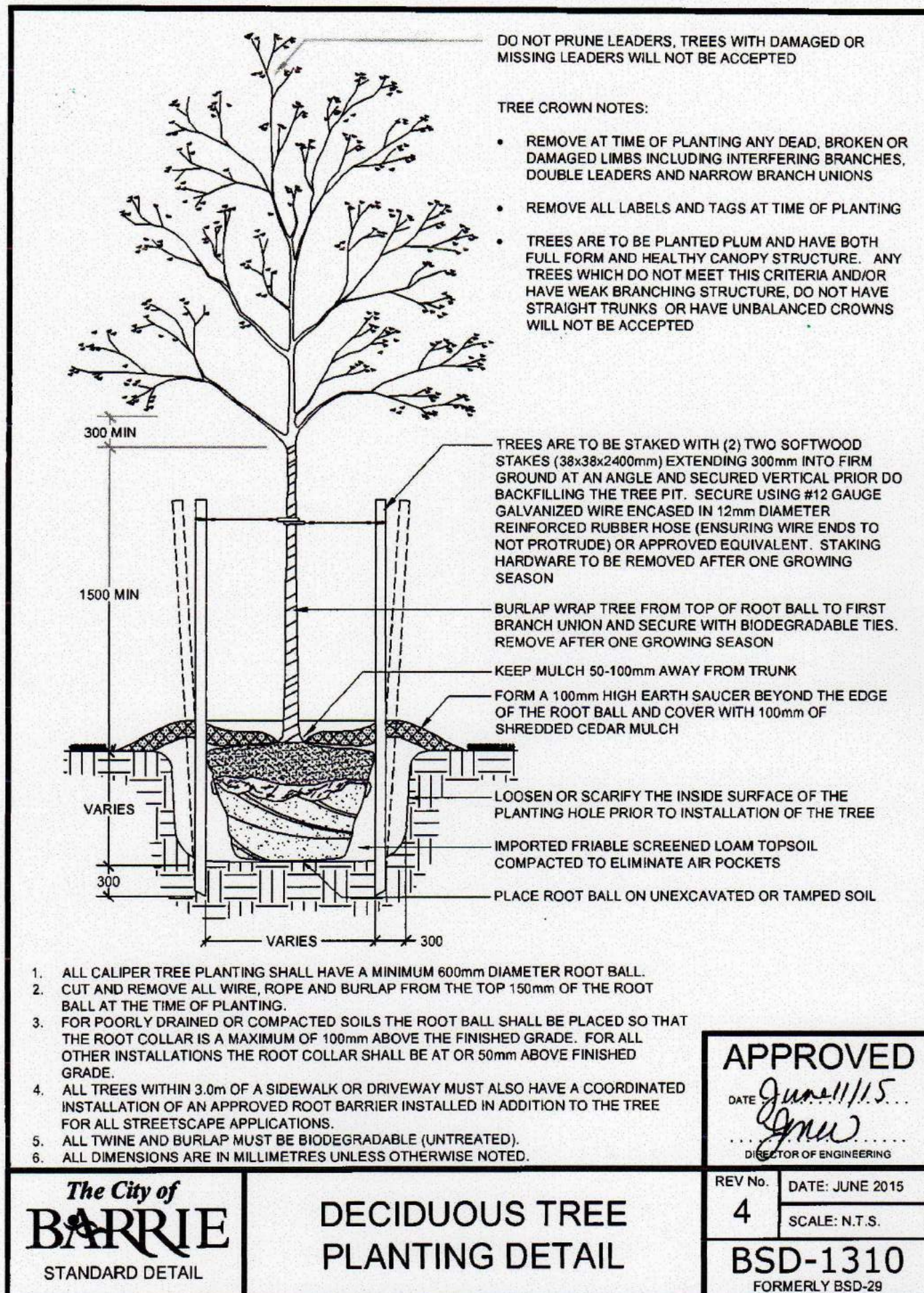
Landscape Architects
Consulting Arborists
Urban Forestry

LANDSCAPE ARCHITECTS
& CONSULTING ARBORISTS

OFFICE: 705-796-1122

info@LEGroupLtd.com
www.LEGroupLtd.com

CLIENT:		TRAN GROUP	
PROJECT:		667-675 YONGE STREET BARRIE, ON	
DRAWING:		FENCE DETAILS	
SCALE BAR:			
PROJECT NO.:	LA 637-21	SCALE:	N.T.S
MUNICIPAL FILE NO.:	D28-089-2021	DATE:	DECEMBER 14, 2021
DRAWN BY:	CHECKED BY:	DRAWING No.:	
B.B, S.K	J.H	LF-I	



I	FEB.23,2022	S.K	AS PER SITE GRADING PLAN UPDATES
NO	DATE	BY	REVISIONS



CLIENT:	
TRAN GROUP	
PROJECT:	
667-675 YONGE STREET BARRIE, ON	
DRAWING:	
LANDSCAPE DETAILS I	
SCALE BAR:	
PROJECT NO.:	SCALE:
LA 637-2 I	N.T.S
MUNICIPAL FILE NO.:	DATE:
D28-089-202 I	DECEMBER 14, 202
DRAWN BY:	DRAWING No.:
S.K	LD- I
CHECKED BY:	
J.H	