

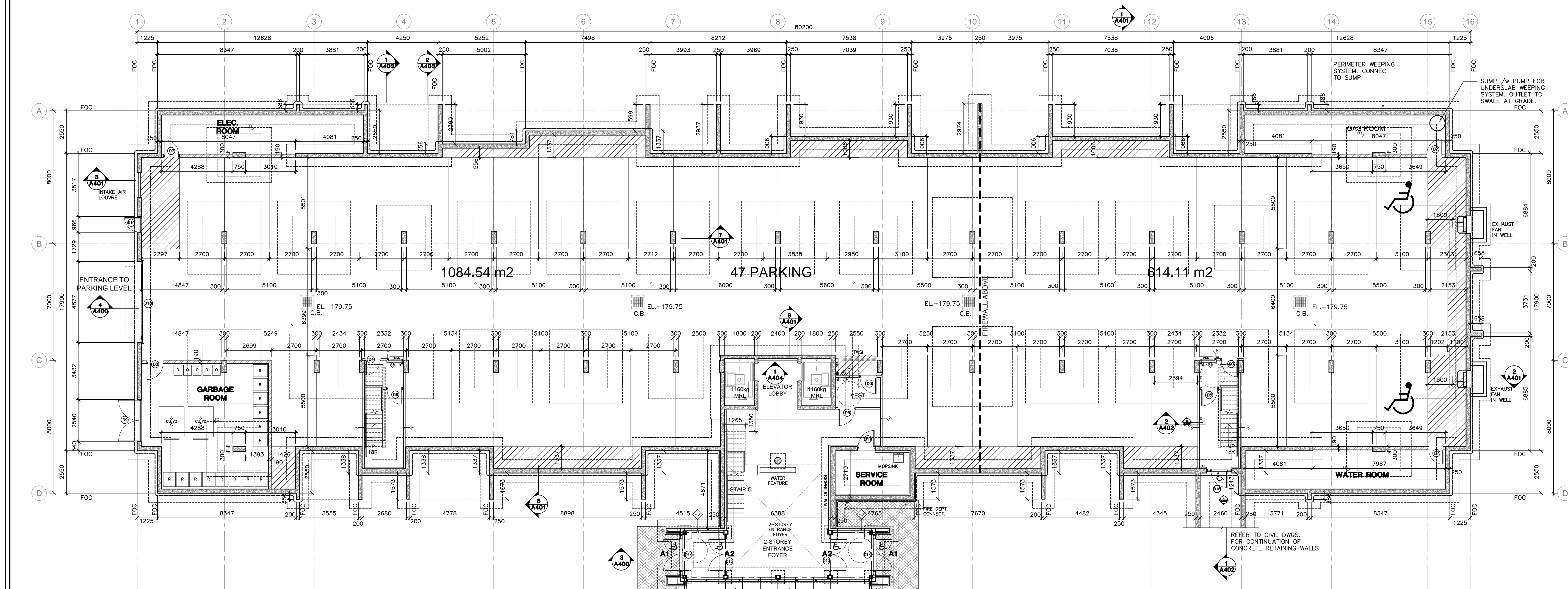
ROOF PLAN 1:125

PARAPET SCHEDULE

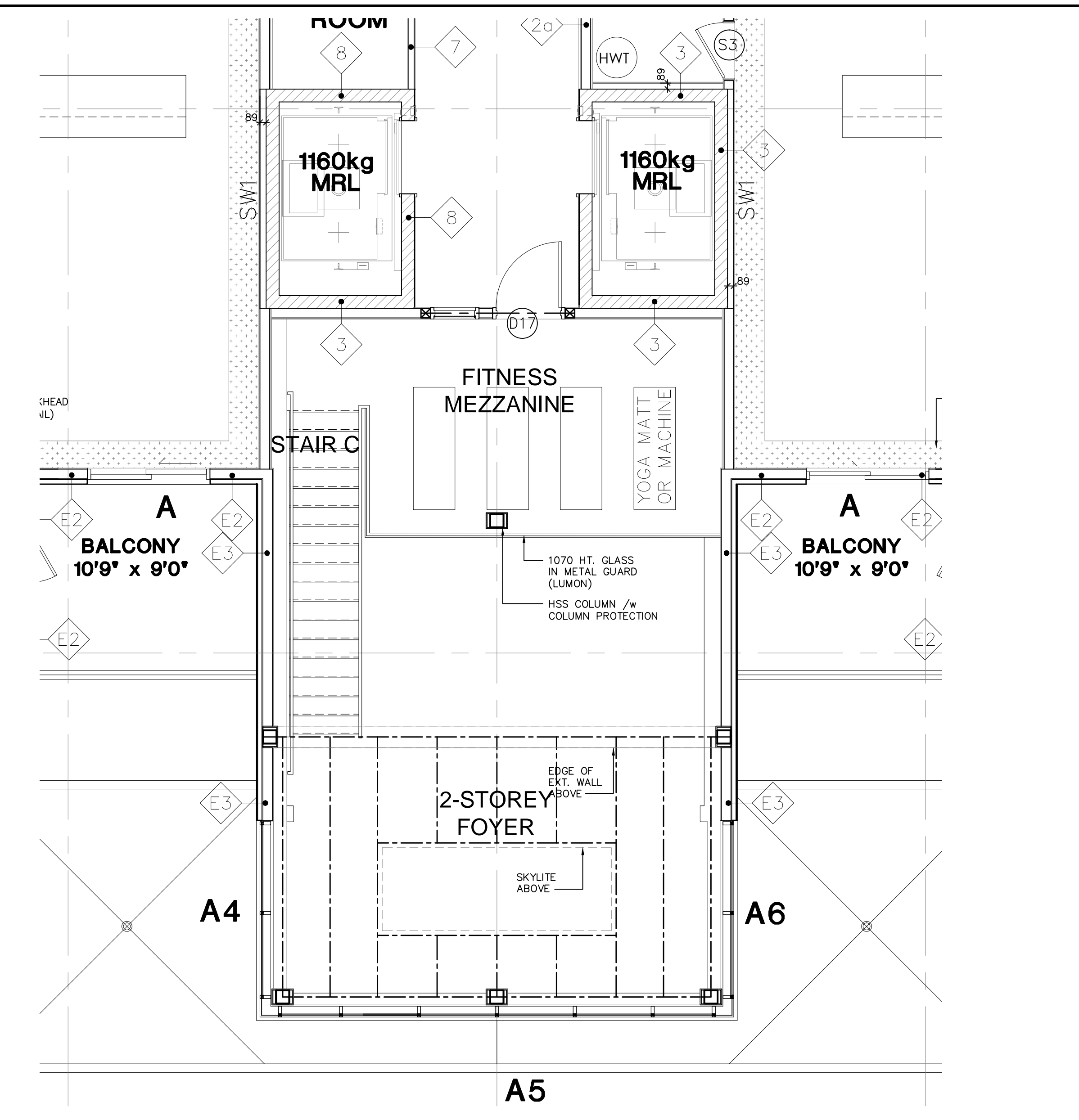
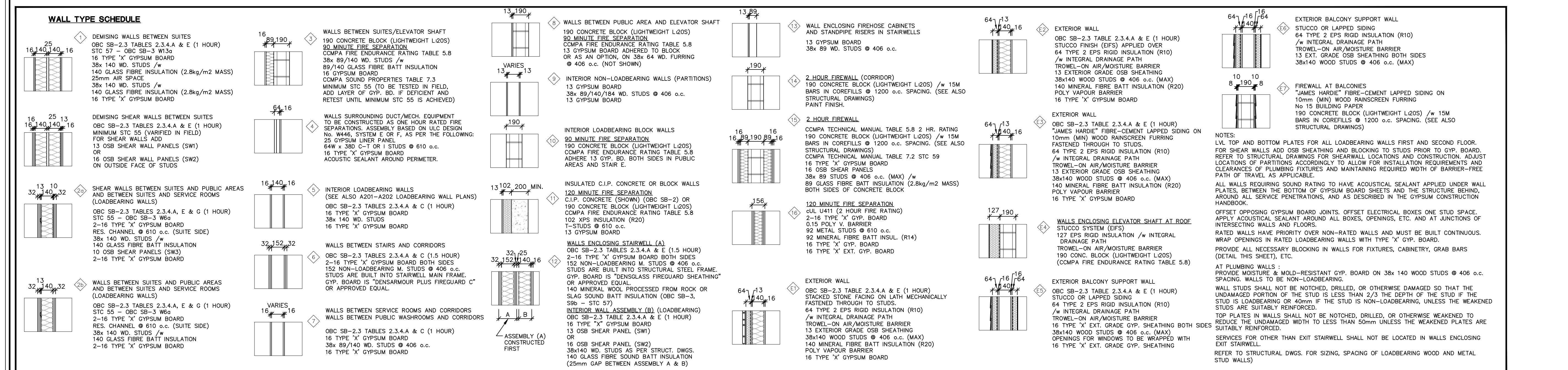
(P1)	BOXED PARAPET (SEE 11/A401)
(P2)	BOXED PARAPET (SEE 11/A401)
(P3)	BOXED PARAPET (SEE 11/A401)
(P4)	BOXED PARAPET (SEE 11/A401)
(P5)	600mm ABOVE ROOF DECK (SEE 11/A401)
(P6)	1000mm ABOVE ROOF DECK (SEE 11/A401)

NOTE:
 - ALL ROOF DRAINS TO BE SUMPED.
 - ALL RAINWATER LEADERS TO BE INSULATED FROM ROOF TO U/G PARKING.
 - ROOF SLOPES ARE AS INDICATED BY SLOPED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE.

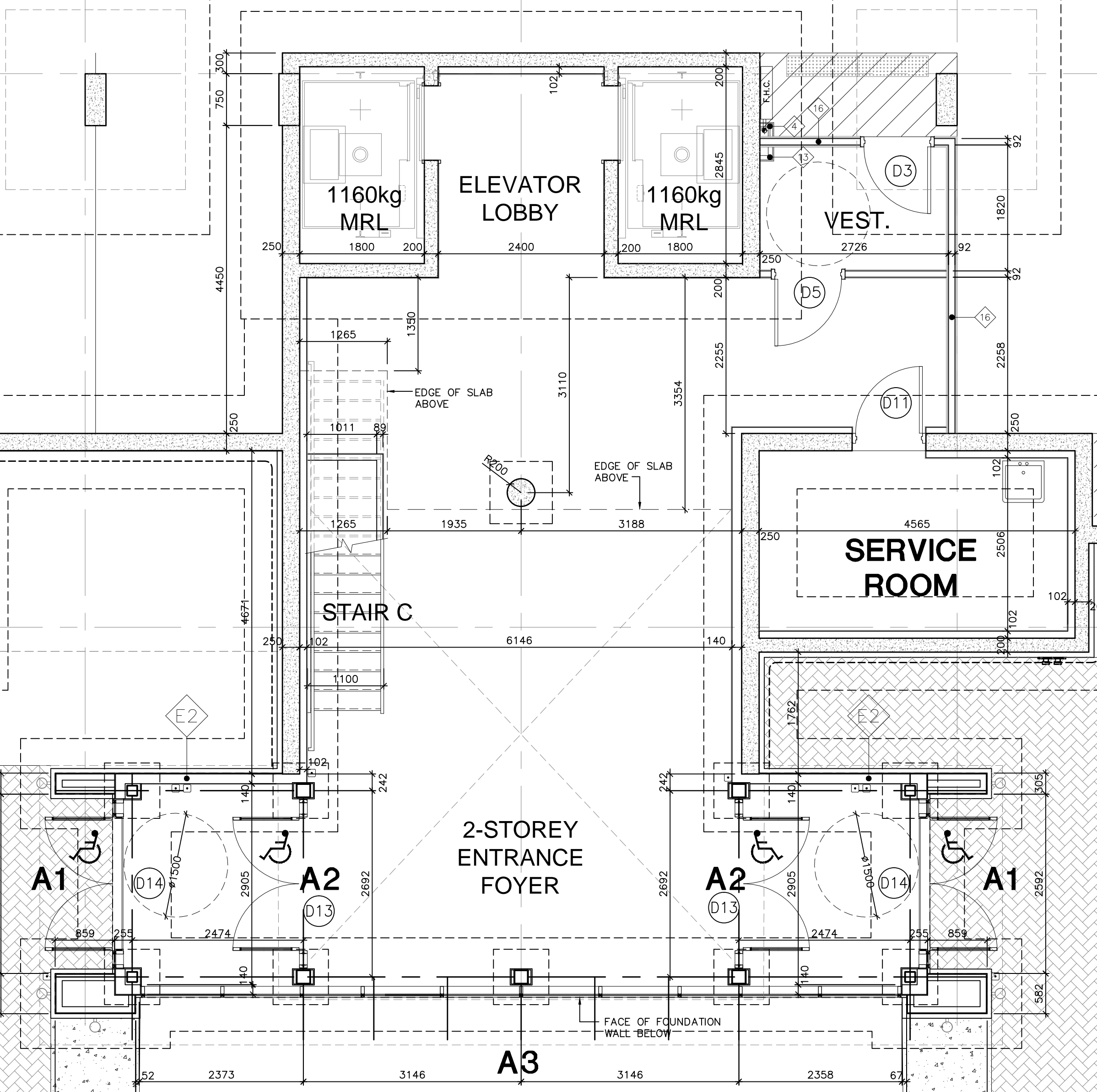
ROOF ANCHORS (DESIGN & LAYOUT BY OTHERS - SHOP DRAWINGS REQUIRED)
 CLIENT TO PROVIDE USE OF GROUND-BASED MAINTENANCE EQUIPMENT IN LIEU OF SUSPENDED MAINTENANCE EQUIPMENT REQUIRING ROOF ANCHORS.
 CBC 4.4.4. ANCHOR SYSTEMS ON BUILDING EXTERIOR
 CBC 4.4.4.1. ANCHOR SYSTEMS ON BUILDING EXTERIOR
 (1) WHERE SUSPENDED MAINTENANCE AND WINDOW CLEANING OPERATIONS ARE INTENDED TO BE CARRIED OUT ON THE EXTERIOR OF A BUILDING DESCRIBED IN ARTICLE 1.1.2.2 OF DIVISION A, ANCHOR SYSTEMS SHALL BE PROVIDED WHERE ANY PORTION OF THE ROOF IS MORE THAN 9 M ABOVE ADJACENT GROUND LEVEL.
 (2) EXCEPT AS PROVIDED IN SENTENCE (3), THE ANCHOR SYSTEMS IN SENTENCE (1) SHALL BE DESIGNED, INSTALLED AND TESTED IN CONFORMANCE WITH CAN/CSA-291, HEALTH AND SAFETY CODE FOR SUSPENDED EQUIPMENT OPERATIONS.
 (3) OTHER ANCHOR SYSTEMS MAY BE USED WHERE SUCH SYSTEMS PROVIDE AN EQUAL LEVEL OF SAFETY.
 (4) THE ANCHOR SYSTEM MATERIAL SHALL BE MADE OF STAINLESS STEEL, OR OTHER CORROSION RESISTANT BASE MATERIAL, OR FROM STEEL THAT IS HOT DIPPED GALVANIZED, IN ACCORDANCE WITH CAN/CSA-G184-M, HOT DIP GALVANIZING OF IRREGULARLY SHAPED ARTICLES.



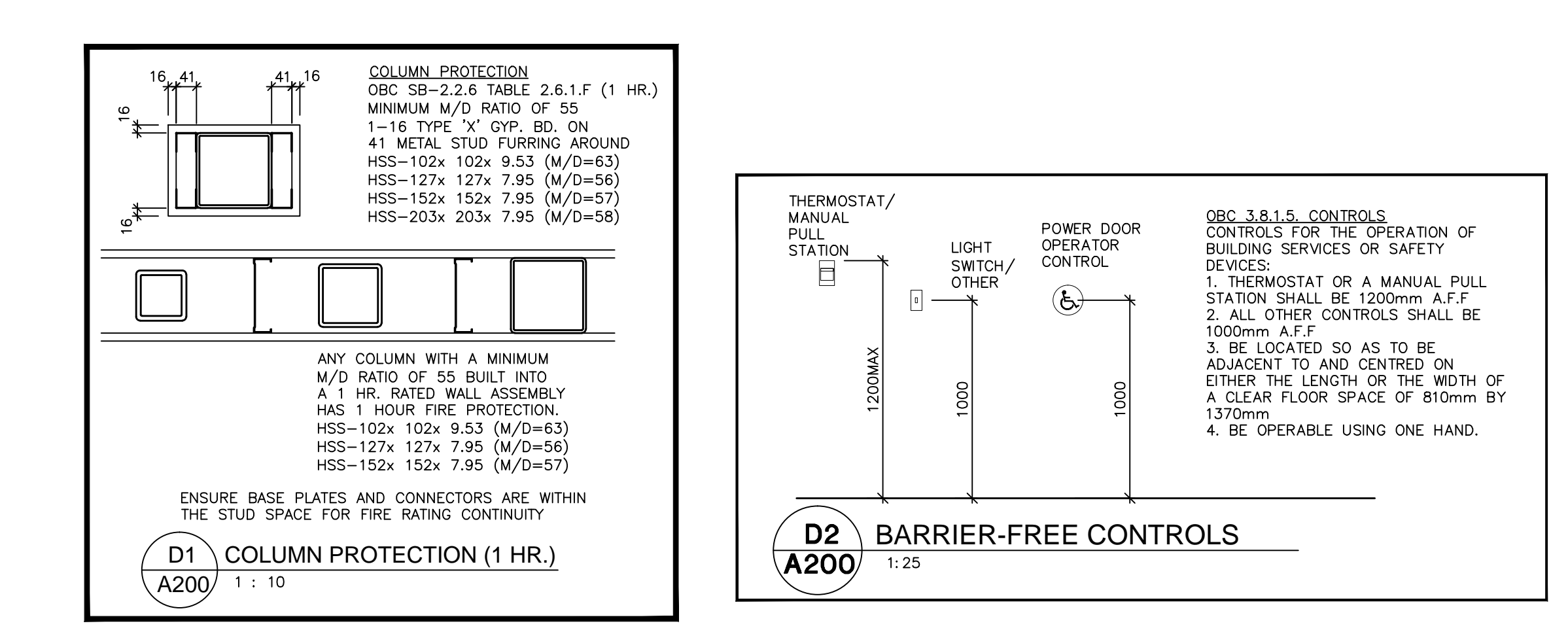
U/G PARKING PLAN - BLDG C
1:125 FOC = FACE OF CONCRETE



ELEVATOR LOBBY/2-STOREY FOYER PLAN
FIRST FLOOR LEVEL 1:50



ELEVATOR LOBBY/2-STOREY FOYER PLAN
U/G PARKING LEVEL 1:50



ISM Architects Inc.
 87 Toronto Street
 Barrie, ON L4N 1Y1
 T: 705.726.2342
 E: info@ismarchitects.ca

No.	REVISION	DATE
1.	CLIENT REVIEW	SEP 2020
2.	CLIENT CHANGES	NOV 2020
3.	COORDINATION	NOV 2020
4.	REMOVE GARBAGE ROOM	NOV 2020
5.	INCREASE BALCONY DEPTH	DEC 2020
6.	3 DEEP BALCONIES	DEC 2020
7.	NEW MAIN ENTRANCE	JAN 2021
8.	NEW FOOTPRINT	FEB 2021
9.	UPDATE PARKING PLAN	APR 2021
10.	UPDATE PRELIMINARY	APR 2021
11.	RELOCATE FIREWALL	MAY 2021
12.	NEW AVG. GRADE POLICY	OCT 1921
13.	CLIENT REVIEW	JAN 0922
14.	COORDINATION	FEB 1822

STAMP
 ONTARIO ASSOCIATION OF ARCHITECTS
 IAN S. MALCOLM
 LICENCE 2853

This document is the property of ISM Architects Inc. It is to be used only for the project and site identified on the title page. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of ISM Architects Inc. All rights reserved.

CLIENT: PRATT HOMES BARRIE
 301 KING ST. BARRIE ON L4N 6B5
 tel: 705.792.3883

PROJECT: ELEMENTS CONDO
 15 KNEESHAW DRIVE BARRIE, ON.

PROJECT INFORMATION:
 PROJECT No.: 204154
 DRAWN BY: RCM AF
 CHECKED BY: ISM
 DATE: DEC 17 21
 SCALE: AS NOTED

DRAWING: BLDG C
 96 UNIT APT. BUILDING
 15 KNEESHAW DR.
 ROOF PLAN
 U/G PARKING PLAN

DRAWING No.: **A200**