

Excellence   Reliance   Innovation

## Urban Design Brief

Applicant: Pratt Hansen Group Inc.

'elements condominiums' (previously referred to as Bistro 6 West)

723 Mapleview Drive East

## Applications for Site Plan Control & Plan of Condominium Exemption

February 2021

The Jones Consulting Group Ltd.

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## 1.0 INTRODUCTION

This Urban Design Brief has been prepared on behalf of the Pratt Hansen Group inc. in support of applications for Site Plan Control and Plan of Condominium Exemption associated with the 'elements condominiums' project which was previously known as 'Bistro 6 West'. The lands subject to these applications comprise a portion (3.15 hectares) of Block 3 on the Hewitt's Gate Block Plan of subdivision (51M-1176). The lands are also described as Block 598 on the Hewitt's Gate draft approved plan of subdivision (City File #: D12-426) (**Figure 1**). The lands are located adjacent to the future Kneeshaw Drive major collector road and the Bistro 6 Condominium.

**Figure 1. Site Location**



This purpose of this Brief is to evaluate the urban design merits of the proposed development and to demonstrate how the proposed development conforms to the Urban Design Policies of the Official Plan and the Urban Design and Sustainable Development Guidelines for the Salem and Hewitt's Secondary Plan Areas.

## 2.0 PROPOSED DEVELOPMENT

The applicant has submitted applications for Site Plan Control and Exemption from Plan of Condominium approval, each of which are detailed below:

The **purpose of the application for Site Plan Control** is to facilitate the development of three 6-storeys condominium residential buildings (**Figure 2**).

The **purpose of the Exemption from Plan of Condominium** requests an exemption under Section 9(6) of the Condominium Act to facilitate the development of three 6-storey residential buildings with a total of 348 condominium units.

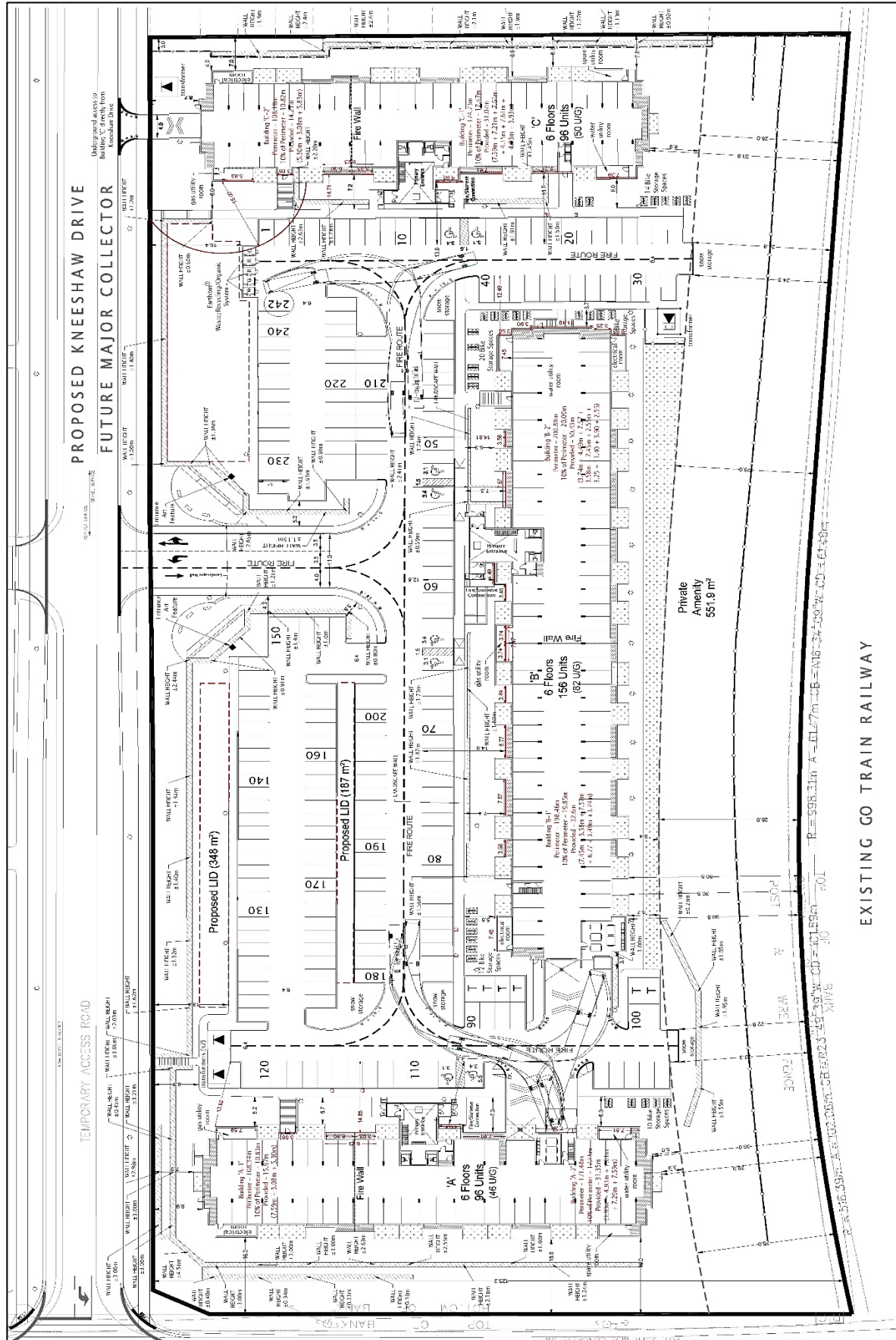
The proposed development consists of the following:

- 348 condominium residential units.
- Total residential gross floor area of 34,335 square metres.
- 420 total parking spaces of the following breakdown:
  - 228 typical surface parking spaces (8 of which have EV charging stations)
  - 6 tandem parking spaces
  - 8 barrier-free surface parking spaces
  - 175 typical underground parking spaces
  - 3 underground barrier-free parking spaces
- 64 bicycle parking spaces.
- 4,200 square metres of amenity area (surface and balconies).
- Total gross floor area of 110% of the lot area or 3.43 hectares.
- Landscape area of 54% of the lot area or 1.70 hectares.

Access to the proposed Site Plan is provided from Kneeshaw Drive, a major collector road. The drive-aisle is 11.0 metres wide and provides access to all three buildings. Access to the underground parking is provided from the internal road network for buildings 'A' and 'B' and directly from Kneeshaw Drive for Building 'C'.



### Figure 2. Proposed Site Plan



### 3.0 DESIGN ELEMENTS

Professional renderings have been prepared for Buildings 'A', 'B' and 'C' as illustrated in **Figures 3-5**. A strong upscale design theme is consistently applied to each of the 3 buildings, while also complementing the Bistro 6 buildings. The following points describe the design elements that are unique to this development.

**Figure 3. Proposed Building A**



**Figure 4. Proposed Building B**



**Figure 5. Proposed Building C**





## 1. Design Theme – ‘elements condominium’:

Appendix A contains the brand document for the ‘elements condominium’ which explains the design approach that influenced the building shape, features, materials, amenities, and colour palette. The ‘elements condominium’ is based on biophilic design which as described below:

*Biophilic design is a concept used within the Building industry to increase occupant connectivity to the natural environment through the use of direct nature, indirect nature, and space and place conditions. Used in a residential building scale, it is proven that this idea has health, environmental, and economic benefits for building occupants and urban environments, with few drawbacks.*

*Incorporating direct or indirect elements of nature into the built environment have been demonstrated through research to reduce stress, blood pressure levels and heart rates, whilst increasing productivity, creativity and self reported rates of well-being.*

### **Concept Behind Elements Condominiums**

*Studies have shown that surrounding yourself with nature improves your overall wellness. When immersed in nature, you experience feelings of joy, peace, and freedom. Connecting with these feelings brings you mental clarity and will uplift with your inner spirit. These positive emotions can help improve your quality of life. Elements Condominiums aims to enhance the quality of the residents’ lives by bringing them the ability to connect with nature while living a healthy, active lifestyle in a beautiful setting.*

### **Elements Condominiums Is All About The Experience**

*Attention to details will wow the residents and give them an ultimate feeling of luxury within a place they will be proud to call home. Much like a resort getaway, Elements is a collection of impressive experiences that embrace the elements. Residents will love waterfalls, fire features, indoor plant-life and over-sized solarium patios that will literally have them floating within nature’s elements - year round.*

As outlined on page 4 of Appendix A, a colour palette has been created that centres on the elements of ‘night’, ‘earth’, ‘water’, ‘air’ and ‘fire’.

**Figure 6. Colour Palette**



Appendix A also lists the elements and features that will implement biophilic design and create a unique community for residents and visitors:

#### **BRAND EXPERIENCE IDEAS FOR EXTERIOR**

- *Plants everywhere with exterior living wall systems*
- *Lighting on exterior to feel grand and distract from parking*
- *Main building faces the sunrise and will have large windows*
- *Running track, outdoor gym equipment, children's park*
- *Hydration stations*
- *Front entrance outdoor waterfalls for ambiance upon arrival*
- *Outdoor community sitting areas with wood burning fireplaces*
- *Covered bicycle racks encouraging local bike transportation and physical activity*
- *Car charging stations to encourage electric cars*
- *Amazing front entrances with glass and fire features*
- *Custom Elements art installations from world renowned sculptor, Ron Baird*

#### **BRAND EXPERIENCE IN BUILDING / UNITS**

- *Living plants and live trees in foyer of buildings*
- *Stunning gas fireplace in foyers*
- *Strategically placed lighting to create ambiance*
- *Intentional diffuser scent for lobbies*
- *Over-sized solarium patios, enclosed in glass walls to enjoy year-round*
- *Hook for swinging chair on patio (infrastructure to create hook for swing)*
- *Unique chandelier lighting on all solarium patios*
- *Creative areas designed for special lighting for ambiance*
- *Small niched areas or built-in shelving / hooks / to encourage plant life / herb garden*
- *Built-in water filter systems to support less plastic waste and local consumption*
- *Built-in air filter systems to improve air quality (key for post Covid 19 consumer behavior)*
- *Exercise room located in all condominiums on main entrance level*

#### **ELEMENTS BALCONIES**

- *Spend more time outdoors in comfort and style*
- *Windows are easy to use and are constructed with high quality materials that require little maintenance*
- *Enjoy the protection from wind, rain, and UV rays*
- *Your balcony can be used year-round*
- *Provides added safety for kids and pets*
- *Enhances the security and privacy of your home*
- *Glass balconies add acoustic and insulating value*

#### **LIVING SPACES**

- *Functional open design to the kitchen allows for interaction with your guests*
- *Double sliding patio doors open up to the solarium deck to increase your livable space*

#### **WELCOMING EXTERIORS**

- *An attractive building helps keep its value*
- *Covered entrance way with large timbers to get you out of the rain*
- *Visitor bike racks near entrance*

## 2. Key Design 'element' #1 – Ron Baird Art & Vines

As discussed during our pre-consultation meeting with the City of Barrie, this site is constrained, in terms of grades, by Kneeshaw Drive, the Metrolinx rail line and Mapleview Drive East. These constraints have necessitated the installation of a series of retaining walls in the site, most notably along Mapleview Drive East and Kneeshaw Drive.

The design team has worked very hard over the past several months developing a design approach that will result in the retaining walls becoming a positive design element through the use of extensive vine planting that will create 'living walls' and custom artwork created by local artist Ron Baird (who designed the iconic Spirit Catcher mounted at Barrie's waterfront and many other installations in the City).

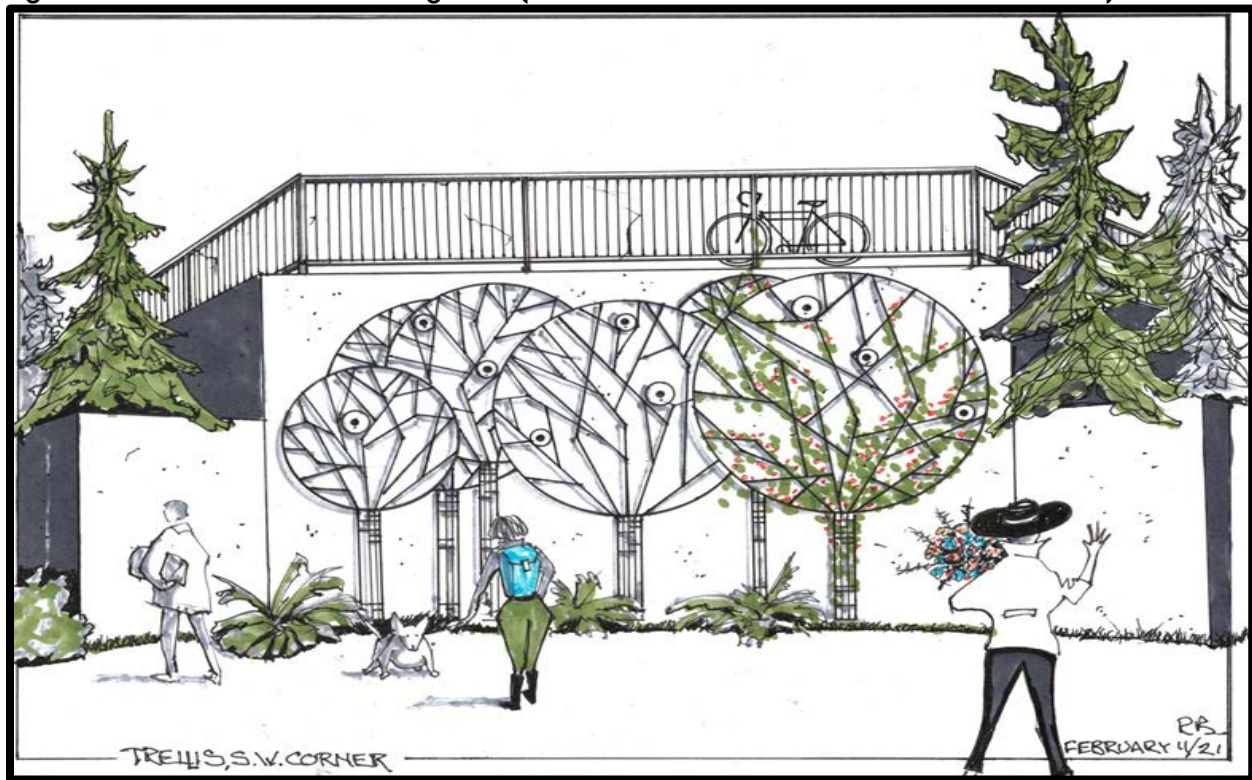
The artwork is composed of a trellis of stainless-steel rings that will be mounted six inches from the wall (Figures 7 & 8). The design will not only be aesthetically pleasing, it will greatly improve the visual impact of the retaining walls, and is also expected to deter graffiti artists.

**Figure 7. Ron Baird Art for Retaining Walls**





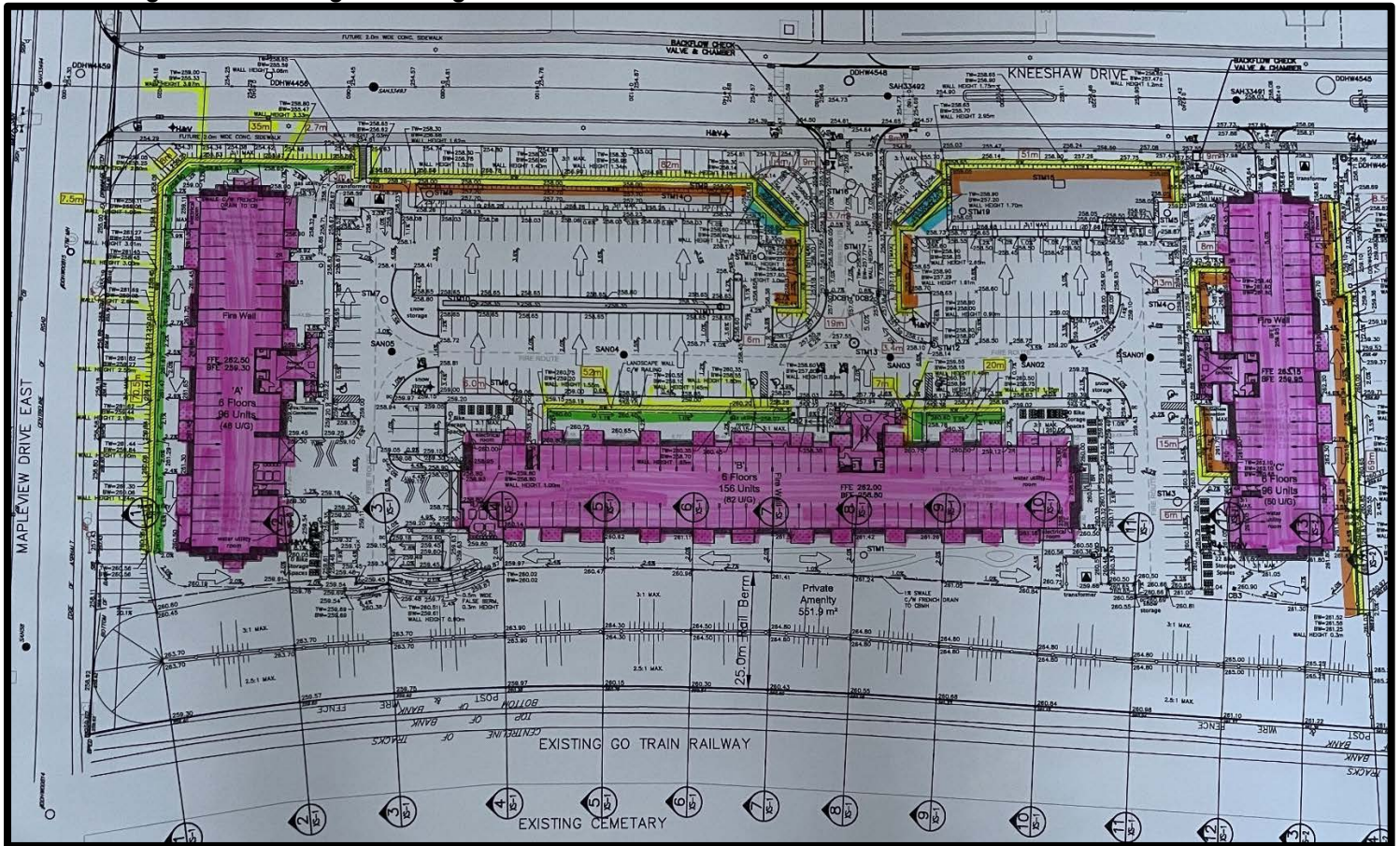
Figure 8. Ron Baird Art for Retaining Walls (southwest corner of Kneeshaw Drive and MVDE)



In order to ensure that the artwork remains a focal point, and not diminished by overabundance across the site, Karen Hansen has worked with Ron Baird to define the locations where the artwork will be most prominent and then define the areas where there is a transition to a less prominent areas. As illustrated in **Figure 9**, the retaining walls aesthetic design elements are as follows:

- **Green:** Walls shown in green highlighting will be the primary focus and with artwork, vines, birdhouses, sculptures and other small integrated elements. These prominent walls are located along the Maplevue Drive East Frontage and southerly along Kneeshaw Drive to the pedestrian stairway. The prominent walls are also at the main entrance to the site and along the building face of building 'B'.
- **Orange:** Walls shown in orange would provide a transition between the areas of primary focus. These walls would contain only vine elements.
- **Blue:** Walls in blue would have integrated waterfall features. Refer to point 3 below for additional detail.

Figure 9. Retaining wall design focus



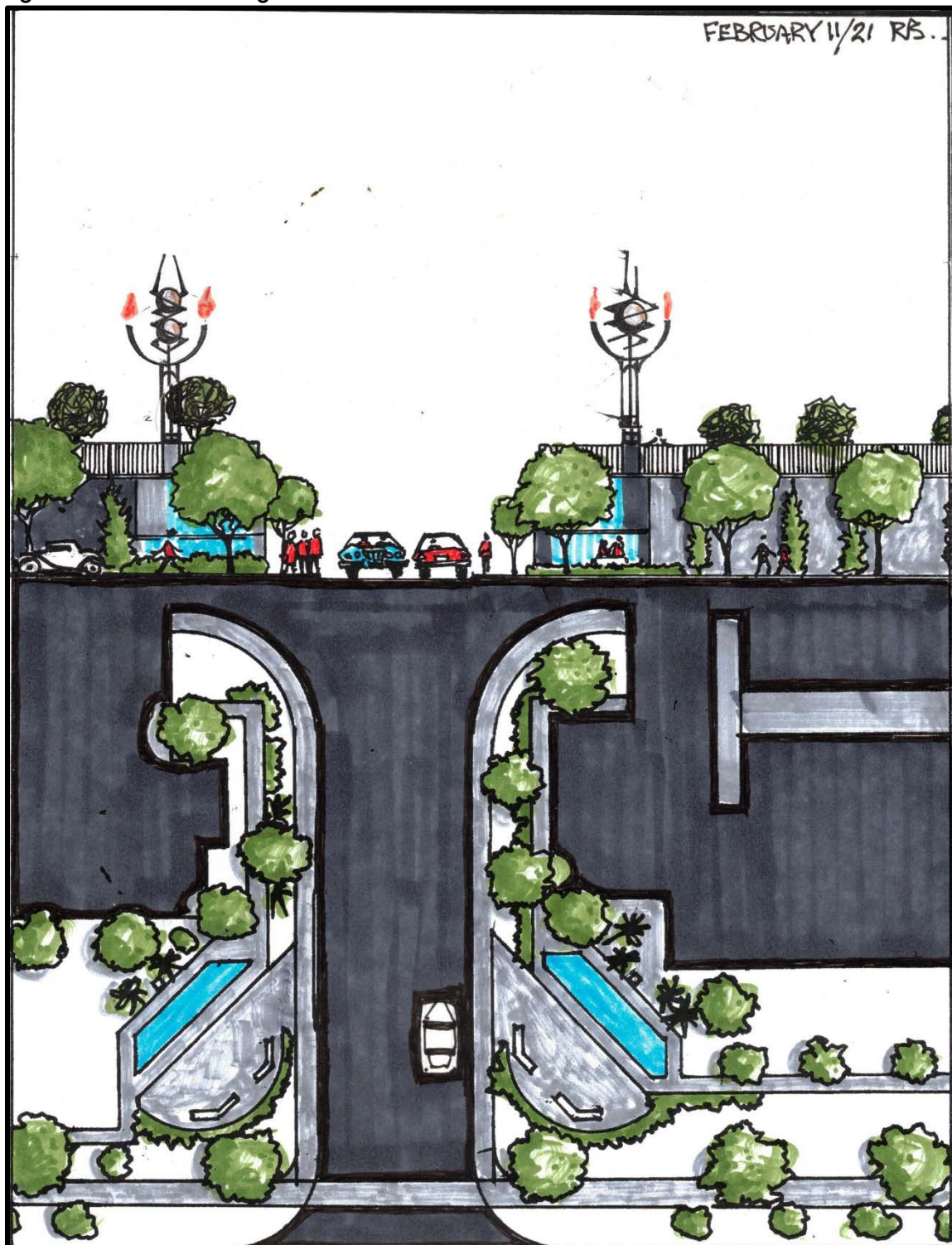
### 3. Key Design 'element' #2 – Dynamic Entrance Feature

The main entrance to the site at Kneeshaw Drive has been designed to be a dynamic space that activates the streetscape through uniquely designed stepped, angled and terraced retaining walls, water features, public art, vines, seating areas, and enhanced landscaping. **Figure 10** provides an artist illustration from Ron Baird, while the detailed Landscape and Engineering design submission contains the implementation specifics.

Karen Hansen has been working with Ron Baird to create a kinetic art sculpture that includes a natural gas feature which builds on the biophilic design elements of earth and fire. The feature will be a centerpiece to the design and will move and activate and key times during the day.



Figure 10. Ron Baird design of Entrance Feature



#### 4. Key Design 'element' #3 – Solariums

The prominent design theme in the building design is the introduction of oversized solariums that will replace typical balconies found in most other residential condominium projects. These solariums will provide large, enhanced amenity area for the residents, which is unique in Barrie, while also contributing strong vertical architectural design elements to the building façade (**Figure 11**). Each solarium will include chandeliers which will brighten the space, engage people at street level and create the feeling of a more open built environment.

**Figure 11. Proposed Solariums**



#### 5. Key Design 'element' #4 – Main Building Entrances & Landscaping

Each building has been designed with a large open main foyer that form the basis of the solarium element described in point 4 above. Each entrance uniquely houses a mature living tree to allow residents to engage with nature inside.

The main building entrances have also been strategically placed to align with the main drive aisles in the site to ensure they are focal points and are easily accessible.

Landscaping has been provided throughout the entire site, where possible. Enhanced landscaping is provided within the front yard along Maplevue Drive East and along the exterior side yard fronting onto Kneeshaw Drive to improve the streetscape.

## 6. Key Design 'element' #5 – Green Roofs & Architecture

Building on the nature element, the buildings will contain a series of green roofs at various elevations to enhance the building aesthetic and soften the building massing (**Figure 12**).

**Figure 12. Proposed Green Roofs**



As illustrated in Figures 3-5 the roof and face of the building have been articulated, and parapets have been added to create architectural variation.

Please refer to **Figure 13** for an image depicting various design features.



Figure 13. Design Features



## SITE FEATURES

1. Ron Baird Art + Vines
2. Green Roofs
3. Vertical Solariums
4. Solarium Chandeliers'
5. Living Lobby Tree
6. Roof Articulation
7. Parapets
8. Aligned Entrances

**elements**  
CONDOMINIUMS

## 4.0 Policy Review

The City's Official Plan contains general Urban Design Guidelines in Section 6.5, and a more specific policy in section 9.4.3 of the Hewitt's Secondary Plan. The following subsections assess the proposed developments conformity with these urban design policies.

### 4.1 City of Barrie Official Plan Urban Design Guidelines

According to Section 9.4.4.1 of the Hewitt's Secondary Plan, the General Design Guideline policies in the Official Plan (Section 6.5.2.2a) apply to new development except for policies 6.5.2.2. c) and d) iii), v) and vi).

#### *a) Building and Siting*

- i. *Buildings should be designed to complement and contribute to a desirable community character in terms of massing and conceptual design.*

The residential buildings have been massed and designed to provide a transition in height from Maplevue Drive East toward the approved townhouses and single detached dwellings to the south of Building C.

- ii. *The design of a building's roof should screen mechanical equipment from public view and contribute to an attractive streetscape.*

The design of the roofs provides architectural variation, and no mechanical equipment is visible.

- iii. *Large exposed blank walls should be avoided. All visible sides of a building should be finished and treated similarly to the front. Where exposed walls exist, screening through landscaping should be encouraged.*

Generous use of glazing, variation in building materials and colours, and the integration of solariums ensure that there are no blank walls.

- iv. *Cultural heritage resources and cultural facilities shall be conserved pursuant to the City's Heritage Strategy.*

There are no cultural heritage buildings currently on the property.

- v. *Building entrances should be well-defined and accessible to pedestrians and persons with disabilities.*

The drive aisles face directly toward each of the building's main entrances, so they are well-defined and the entrances are terraced with green roofs to improve their visual presence. The entrances to the buildings are accessible to pedestrians and persons with disabilities.

- vi. *Pedestrian links should be designed to promote the safety of the user and be fully accessible between the commercial and residential properties.*

Sidewalks will be located along Kneeshaw Drive and Maplevue Drive East. There are also proposed internal walkways throughout the proposed development. The pedestrian walkways and the orientation and setback of the development promotes safety and accessibility.

No commercial uses are proposed or currently adjacent to the subject lands.

- vii. *Corner locations should emphasize the building, not the car, as the dominant feature of the site. Setbacks at these corner locations should accommodate space for landscaping, pedestrian amenities, and interesting architectural features.*

Building A's setback to Maplevue Drive East emphasizes the building as opposed to the car and along Kneeshaw Drive the Plan accommodates space for landscaping, public seating, pedestrian walkways, and interesting architectural features such as the waterfalls, and Ron Baird artwork for the retaining walls.

## *b) Parking Areas*

- i. Linking parking areas, driveways and access points should be encouraged to reduce the number of turns onto and off the major road. These mutual entrances will be encouraged and clearly identified.*

The drive-aisles to each building are all connected to the main access drive-aisle, and the accesses to the underground parking have been linked, where possible. Buildings A and B share a mutual access and Building C has access to the underground parking component directly from Kneeshaw Drive.

- ii. Adequate disability parking spaces will be provided where required.*

The required number of accessible parking spaces are provided.

- iii. Properties of depths greater than 60 metres (200 feet) should have smaller parking areas, divided by landscaped islands and strips. The visual impact of these parking lots should be softened through berming and planting.*

The subject lands have a depth greater than 60 metres. The surface parking areas have been divided into two main areas, separated by the drive-aisle, pedestrian walkway, and landscaping. The parking area in the north of the property includes an island that will accommodate low impact development features. The surface parking is generally surrounded by landscaping or low impact development features.

- iv. Major parking, loading and delivery areas, as well as garbage enclosures should be confined to the rear of the buildings.*

Parking stalls, snow storage, and garbage areas are located internally to the site in the rear or side of all buildings except for the garbage enclosures for Building C which are located behind the decorative retaining walls in the exterior side yard.

## *c) Landscaping*

- i. Minimum planting strips in accordance with the Urban Design Manual shall be provided along the street frontage and should contain planting materials and street furniture (lighting, seating, and bus shelters) consistent with any themes established by the municipality.*

Landscaping is provided along both street frontages to the greatest extent possible which includes incorporating landscaping within the retaining walls. The proposed development includes 54% landscaped area; whereas the requirement is 25%. Landscaping has also been integrated vertically on the terracing and internally with a mature tree in the foyer.

- ii. Where commercial uses abut residential uses, they should be properly screened through a combination of landscaping, berming and fencing measures.*

No commercial uses are currently proposed to abut the subject lands.

- iii. No Environmental Protection Area should be included in the minimum landscaping standard.*

Not proposed.

- iv. Landscaping should seek to utilize native vegetation, and water conservation practices wherever feasible.*

A detailed landscape plan has been prepared in support of the Site Plan Control submission.

## *d) Environmental Features*

- i. Redevelopment proposals including infill, and intensification, or change of use should address opportunities to re-naturalize piped or channelized watercourses in the design.*

This is a greenfield development proposal.

- ii. All contiguous woodlands greater than 0.2 hectares are protected by the City's Tree Preservation By-law, irrespective of ownership, maturity, composition, and density. The City will control development adjacent to woodlands to prevent destruction of trees.*

The Hewitt's Secondary Plan was supported by a detailed Natural Heritage Assessment that identifies the core natural areas and required buffers. The subject lands do not contain the natural heritage system.

- iii. The City shall encourage the maintenance and preservation of other natural heritage features which are not designated Environmental Protection Area through land dedication for Open Space purposes. Where development is permitted, it should be sensitive to the requirements of the natural heritage features and should consider retention of the subject features. Natural heritage features should be evaluated to determine their suitability for acquisition and incorporation into the municipal open space system.*

There are no natural heritage features on the property.

- iv. Wherever possible the protection of treed areas, hedgerows and other natural areas shall be incorporated into the design, and the planting of new trees shall be encouraged.*

A Tree Preservation Plan has previously been submitted and all trees have been removed, in accordance with the approved Tree Preservation Plan.

- v. Development adjacent to an Environmental Protection Area should be designed to incorporate the Area's natural features and provide for their long-term protection, subject to the results of an Environmental Impact Study that may be required. Environmentally significant features such as those listed in Section 4.7.2.1 (a) and mature vegetation should be incorporated as integral components to proposed development. (Mod G (r)(ii))*

The subject lands are not adjacent to environmental protection areas.

- vi. The City may consider the reduction or re-allocation of development densities in order to preserve existing woodlands, mature trees, and other natural areas and features which are not identified within the Environmental Protection Area designation of this Plan.*

There are no natural heritage features on the property.

- vii. Where existing trees have been substantially removed and land stripping and/or the removal of topsoil has occurred prior to an application for development or during the process of obtaining approval for any development of a site, Council may impose conditions of such approval in accordance with the intent of the City's tree cutting by-law.*

Existing trees have been removed.

#### *e) Signage*

- i. Signs shall complement the architectural design and materials of the buildings and be satisfactorily located on site in accordance with the Sign By-law.*

The proposed signage on each of the buildings complement the architectural design and materials of the buildings and represents the theme of the proposed development.

#### *f) Utilities*

- i. Consideration shall be given to the location of utilities within the public rights-of-way as well as on private property within appropriate easements. Utilities shall be clustered or grouped where possible to minimize visual impact. The City encourages utility providers to consider innovative methods of containing utility services on or within streetscape features such as gateways, lamp posts, and transit shelters.*

Utilities have been appropriately located.

#### *g) Energy Efficient Urban Design*

- i. Energy efficiency shall be encouraged through community, site, and building design measures that use energy efficient building materials, energy conserving landscaping, building orientation that uses shade and sunlight to advantage, panels for solar energy, appropriate lighting, "green" roofs, and other methods.*



Energy conservation measures have been considered. The Site Plan includes electric car charging stations, and built-in water filter systems. Natural elements inside and outside of the buildings have also been incorporated to combat the effects of climate change. Additional consideration will be given towards other green building practices at the time of design/construction.

- ii. *In reviewing development applications, the City may request a report on energy efficiency with the objective of achieving a high level of energy conservation in a sustainable manner.*

A report has not been requested.

- iii. *The maintenance and upgrading of existing buildings to increase energy efficiency is encouraged.*

No existing buildings are on the property.

- iv. *Energy efficiency is promoted through the development of a compact urban form that encourages the use of transit, cycling, and walking, a mix of housing and employment uses to shorten commuting trips, and focusing major developments on transit routes.*

The proposed Site Plan integrates design features that will encourage pedestrian activity such as enhanced landscaping, bicycle storage, and pedestrian walkways. Electric vehicle charging stations have also been included in the design.

## 4.2 Hewitt's Secondary Plan Urban Design and Sustainable Development Policies

In accordance with Policy 9.4.3, the City has prepared Urban Design and Sustainable Development Policies for the Salem and Hewitt's Secondary Plan areas. All development applications shall be evaluated to ensure that they are consistent with the Guidelines. In my opinion, the proposed Site Plan conforms to the Guidelines as evidenced by the following:

- a) **Planning Principles:** The proposed development conforms to the Planning Principles in the Official Plan and Hewitt's Secondary Plan.
- b) **Master Plan:** The proposed development conforms to the Community Structure and Hewitt's Master Plan as confirmed by the City during Pre-Consultation.
- c) **Community Sustainability:** The proposed development represents compact and pedestrian oriented development by utilizing the subject lands for three residential buildings for a total of 348 residential units, encouraging pedestrian activity with the proposed pedestrian walkways, providing bicycle storage, and including electric car charging stations. The subject lands are also located within 500 metres of a Go Transit Station which encourages multi-modal transportation.
- d) **Natural Heritage & Parkland System:** The proposed development does not include natural heritage features. Parkland dedication and cash-in-lieu has been paid in accordance with the Hewitt's Master Parkland Agreement.
- e) **Stormwater Management:** Stormwater management will occur in off-site stormwater management ponds. Low Impact Development facilities have been incorporated into the design.
- f) **Circulation and Movement:** The site has been designed to create an efficient pedestrian and vehicle circulation system by providing one main drive-aisle that connects to all three buildings. An internal walkway system is also proposed that provides access to Kneeshaw Drive.
- g) **Pathways:** Pedestrian Pathways are incorporated throughout the site.
- h) **Streetscapes:** The streetscape will be enhanced along Mapleview Drive East with landscaping and proposed Building A. Enhanced landscaped and entrance features are also proposed along Kneeshaw Drive to improve the streetscape.
- i) **Boulevards – Mixed Use Nodes and Corridors:** The subject lands are not located along a Mixed-Use Corridor or within a Mixed-Use Node.
- j) **Landscaping:** Detailed landscape plans have been submitted in support of the proposed Site Plan.



- k) **Accessibility and Universal Design:** The proposed development has been designed to be barrier-free and conform to barrier-free access requirements as set out in the Ontario Building Code.
- l) **Safe Community Design:** The site has been designed to generally conform to the principles of Crime Prevention through Environmental Design (CPTED).
- m) **Gateways:** The Hewitt's Secondary Plan identifies gateway locations. The subject lands are not located within a gateway.
- n) **Utilities:** The utilities have been identified in the detailed design submission package.
- o) **Street Furniture – Mixed Use Nodes and Corridors:** The subject lands are not located along a Mixed-Use Corridor or within a Mixed-Use Node.
- p) **Seating:** There are two proposed seating areas located on both sides of the main entrance near the waterfall feature.
- q) **Transit Shelters:** Through the Pre-Consultation process, the City identified a transit shelter will be located on the southeast of the Kneeshaw and Mapleview Drive intersection which will be accessible by the internal pedestrian walkways.
- r) **Public Art:** Ron Baird has been commissioned to prepare a sculpture for the retaining walls, as described in Section 3.0 above.
- s) **Lighting:** A Photometric Plan has been submitted in support of the proposed Site Plan.
- t) **Waste Receptacles:** Waste for buildings 'A' and 'B' will be collected in the building. Waste from building 'C' will be located within inground 'Earthbins' as shown on the Site. The 'Earthbins' will not be visible from any public street due to the grade change and landscaping. Additional waste receptacles for the outdoor amenity areas will be reviewed as part of site plan approval.
- u) **Public Signage:** Signage locations and requirements will be confirmed during the site plan approval process.
- v) **Private Signage:** Proposed signage includes the condominium name on each of the buildings.
- w) **Parking:** Each building contains underground parking in addition to surface parking. Accessible parking spaces and six EV charging stations have been included in the plan.
- x) **Building and Site Sustainability:** The plan provides a range of unit sizes and the developer will be using high quality building materials. The theme of the proposed development is the integration of the natural world with the built environment, as such, landscaping has been included, where possible including inside the buildings, pedestrian walkways are included, bicycle storage has been provided and lastly, low impact development facilities have been incorporated, among other design features as explained in Section 3.0.
- y) **Residential Buildings:** The proposed Site Plan includes three residential buildings that will provide a total of 348 condominium units.

## 5.0 Conclusion

The approval of the Site Plan Control and Plan of Condominium applications will facilitate a development consisting of three 6-storey residential buildings that are well-designed, incorporate architectural variation, integrate the natural environment, and diversify the streetscape.

The style of the development is innovative and will encourage pedestrian activity and will have a positive impact on the surrounding community.

Respectfully Submitted

**THE JONES CONSULTING GROUP LTD.**



Ray Duhamel, M.C.P., MCIP, RPP  
Partner

A handwritten signature in blue ink, likely belonging to Kayly Robbins.

Kayly Robbins, M.Pl  
Planner

# **APPENDIX A**

## **'elements condominium' brand document**

# elements

C O N D O M I N I U M S

LIVE IN YOUR **ELEMENT**

*Pratt Homes*

# elements

C O N D O M I N I U M S

LIVE IN YOUR **ELEMENT**

*Pratt Homes*

# elements

C O N D O M I N I U M S

LIVE IN YOUR **ELEMENT**

*Pratt Homes*



# elements

CONDOMINIUMS



LIVE IN YOUR **ELEMENT**



EARTH



WATER



AIR



FIRE



FROM  
THE **300's**

[elementscondos.ca](https://elementscondos.ca)

*Pratt Homes*



WATER



AIR



EARTH



FIRE



A SAMPLE OF OUR BRAND FONTS

# Human Nature

## Biophilic Design

Biophilic design is a concept used within the building industry to increase occupant connectivity to the natural environment through the use of direct nature, indirect nature, and space and place conditions. Used in a residential building scale, it is proven that this idea has health, environmental, and economic benefits for building occupants and urban environments, with few drawbacks.

Incorporating direct or indirect elements of nature into the built environment have been demonstrated through research to reduce stress, blood pressure levels and heart rates, whilst increasing productivity, creativity and self reported rates of well-being.

OUR BRAND COLOURS

Night

Earth

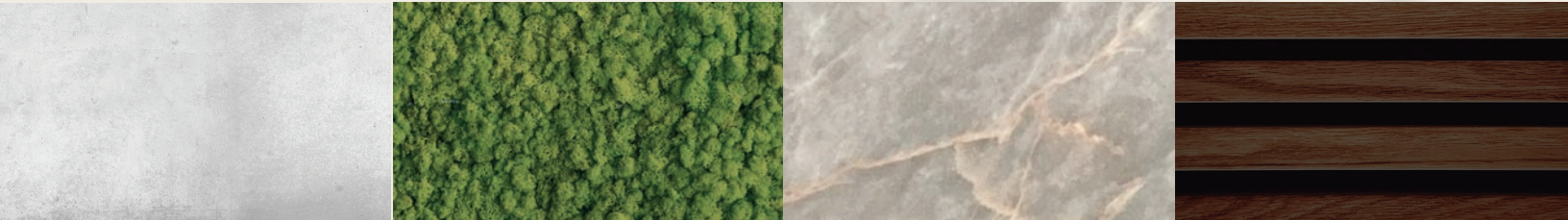
Water

Air

Fire



Pratt Homes





# elements

CONDOMINIUMS



EARTH



WATER



AIR



FIRE



LIVE IN YOUR **ELEMENT**

FROM  
THE

# 300's

elementscondos.ca

*Pratt Homes*



EARTH



WATER



AIR



FIRE

LIVE IN YOUR **ELEMENT**





# elements

## C O N D O M I N I U M S

**Imagine living in a condominium that feels like a vacation getaway.** In response to today's day and age where people are staying local and working from home, we are creating a community like non-other. A place where one feels at home on every inch of the property and not just within their condo unit.

With beautiful shared entrance spaces and exterior experiences, Elements Condominiums will be loved by all residents and their guests. Elements is a perfect backdrop to creating meaningful memories and moments while surrounded by carefully crafted experiences of the senses.

As human's, we have an innate tendency to connect with nature and all living things and Elements Condominiums is embracing just that. Surrounding the residents in all of nature's key elements is the passion behind this community. People will naturally gravitate, and feel at home here!

### Concept Behind Elements Condominiums

Studies have shown that surrounding yourself with nature improves your overall wellness. When immersed in nature, you experience feelings of joy, peace, and freedom. Connecting with these feelings brings you mental clarity and will uplift with your inner spirit. These positive emotions can help improve your quality of life. Elements Condominiums aims to enhance the quality of the residents' lives by bringing them the ability to connect with nature while living a healthy, active lifestyle in a beautiful setting.

### Elements Condominiums Is All About The Experience

Attention to details will wow the residents and give them an ultimate feeling of luxury within a place they will be proud to call home. Much like a resort getaway, Elements is a collection of impressive experiences that embrace the elements. Residents will love waterfalls, fire features, indoor plant-life and over-sized solarium patios that will literally have them floating within nature's elements - year round.

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EARTH



WATER



AIR



FIRE

LIVE IN YOUR **ELEMENT**



# elements

## C O N D O M I N I U M S

### BRAND EXPERIENCE IDEAS FOR EXTERIOR

- Plants everywhere with exterior living wall systems
- Lighting on exterior to feel grand and distract from parking
- Main building faces the sunrise and will have large windows
- Running track, outdoor gym equipment, children's park
- Perhaps hydrate stations / bottle fill-up
- Front entrance outdoor waterfalls for ambiance upon arrival
- Outdoor community sitting areas with wood burning fireplaces
- Covered bicycle racks encouraging local bike transportation and physical activity
- Car charging stations to encourage electric cars
- Amazing front entrances with glass and fire features
- Custom Elements art installations from world renowned sculptor, Ron Baird

### BRAND EXPERIENCE IN BUILDING / UNITS

- Living plants and live trees in foyer of buildings
- Stunning gas fireplace in foyers
- Strategically placed lighting to create ambiance
- Intentional diffuser scent for lobbies
- Over-sized solarium patios, enclosed in glass walls to enjoy year-round
- Hook for swinging chair on patio (infrastructure to create hook for swing)
- Unique chandelier lighting on all solarium patios
- Creative areas designed for special lighting for ambiance
- Build small niched areas or built-in shelving / hooks / to encourage plant life / herb garden
- Built-in water filter systems to support less plastic waste and local consumption
- Built-in air filter systems to improve air quality (key for post Covid 19 consumer behavior)
- Exercise room located in all condominiums on main entrance level

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## C O N D O M I N I U M S

Some nice wording we found during research:

### ELEMENTS BALCONIES

- Spend more time outdoors in comfort and style
- Windows are easy to use and are constructed with high quality materials that require little maintenance
- Enjoy the protection from wind, rain, and UV rays
- Your balcony can be used year-round
- Provides added safety for kids and pets
- Enhances the security and privacy of your home
- Glass balconies add acoustic and insulating value

### LIVING SPACES

- Functional open design to the kitchen allows for interaction with your guests
- Double sliding patio doors open up to the solarium deck to increase your livable space

### WELCOMING EXTERIORS

- An attractive building helps keep its value
- Covered entrance way with large timbers to get you out of the rain
- Visitor bike racks near entrance



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CONDOMINIUMS



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